

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number 091884
PERMIT ISSUED
JAN - 3 2006
CITY OF PORTLAND

This is to certify that SEASIDE HEALTHCARE INC /The Pochebit Co, Inc.

has permission to Renovate existing kitchen & room

AT 850 BAXTER BLVD

166 A0100011

provided that the person or persons term or condition accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or service closed-in. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Cass 1-3-06

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 1/3/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1834	Issue Date:	CBL: 166 A010001
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Location of Construction: 850 BAXTER BLVD	Owner Name: SEASIDE HEALTHCARE LLC	Owner Address: 222 ST JOHN ST	Phone:
Business Name:	Contractor Name: The Pochebit Co, Inc.	Contractor Address: 171 Warren Ave. Portland	Phone 2077973369
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone:

Past Use: Commecial - Seaside Nursing Home	Proposed Use: Commecial - Seaside Nursing Home - renovate existing kitchen dishroom	Permit Fee: \$273.00	Cost of Work: \$28,000.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type
Proposed Project Description: Renovate existiting kitchen dishroom		Signature:		Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Condition <input type="checkbox"/> Denied				
		Signature:		Date:

Permit Taken By: dmartin	Date Applied For: 12/23/2005	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zon <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Mino <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Us <input type="checkbox"/> Interpretatio <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landma <input type="checkbox"/> Does Not Require Revie <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Condition <input type="checkbox"/> Denied
	Date:	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICAN	ADDRESS	DATE	PHO
RESPONSIBLE PERSON IN CHARGE OF WORK, TIT		DATE	PHO

11/29/06

-

Plumbing
OK.

Rough-in -
OK.

Location of Construction: 850 BAXTER BLVD	Owner Name: SEASIDE HEALTHCARE LLC	Owner Address: 222 ST JOHN ST	Phone:
Business Name:	Contractor Name: The Pochebit Co, Inc.	Contractor Address: 171 Warren Ave. Portland	Phone 2077973369
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone:

Dept: Zoning	Status: Approved	Reviewer: Ann Machado	Approval Date: 12/28/2005
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 01/03/2005
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) HVAC installation was not reviewed or approved as a part of this permit.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Cptn Greg Cass	Approval Date: 01/03/2006
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) All construction to comply with NFPA 101 Chapter 32			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICAN

ADDRESS

DATE

PHO

RESPONSIBLE PERSON IN CHARGE OF WORK, TIT

DATE

PHO



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 850 BAXTER BOULEVARD			
Total Square Footage of Proposed Structure to RENOVATION	Square Footage of Lot		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 166 A 010	Owner: FIRST ATLANTIC CORP 222 ST JOHN ST. PORTLAND ME		Telephone: 874-2700
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: THE POCHERBY CO 171 WARREN AVE PORTLAND, ME		Cost Of Work: \$ 28,000- Fee: \$ 273 C of O Fee: \$
Current Specific use: <u>NOVISING HOME KITCHEN</u>	Proposed Specific use: <u>RE - FRAMME EXISTING WALL, DOOR OPENINGS ALL NON LOAD BEARING</u>		
Project description: <u>RENOVATE EXISTING KITCHEN DSH ROOM RE - FRAMME EXISTING WALL, DOOR OPENINGS ALL NON LOAD BEARING</u>			
Contractor's name, address & telephone: <u>THE POCHERBY CO INC 171 WARREN AVE 797 3369</u>			
Who should we contact when the permit is ready: <u>MIKE WAITE</u>			
Mailing address: <u>Phone: 776-463</u>			

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 12/23/05

DEC 23 2005

This is not a permit; you may not commence ANY work until the permit is issued.

RECEIVED

✓# 27006

230 State Road
 US Route 1
 Kittery, ME. 03904
 Phone - (207) 439-7300
 Fax - (207) 439-7989

THIS DRAWING IS THE PROPERTY OF THE BOELTER COMPANIES AND IS LOANED SUBJECT TO THE CONDITION THAT IT IS NOT MODIFIED, REVISED, REPRODUCED OR DISTRIBUTED IN WHOLE OR IN PART, DIRECTLY OR INDIRECTLY, EXCEPT WITH THE CONSENT OF AND UNDER THE SUPERVISION OF THE BOELTER COMPANIES

EQUIPMENT SCHEDULE

ITEM	QTY.	DESCRIPTION	FURN BY	REMARKS
1	1	SOILED DISH TABLE	1	
1A	1	PRE RINSE UNIT	1	
2	1	DISPOSER AND CONTROL	1	
3	1	CONVEYOR DISHWASHER	1	
4	1	BOOSTER HEATER (GAS)	1	
5	1	DISHWASHER CONDENSATE EXHAUST HOOD	1	FAN, CURB, DUCTS AND SWITCH BY M.C.
6	1	CLEAN DISH TABLE	1	
15	1	POT SINK	1	
38	1	HEATED PLATE DISPENSER	1	
54	1	DISH CART	1	

SCHEDULE KEY:

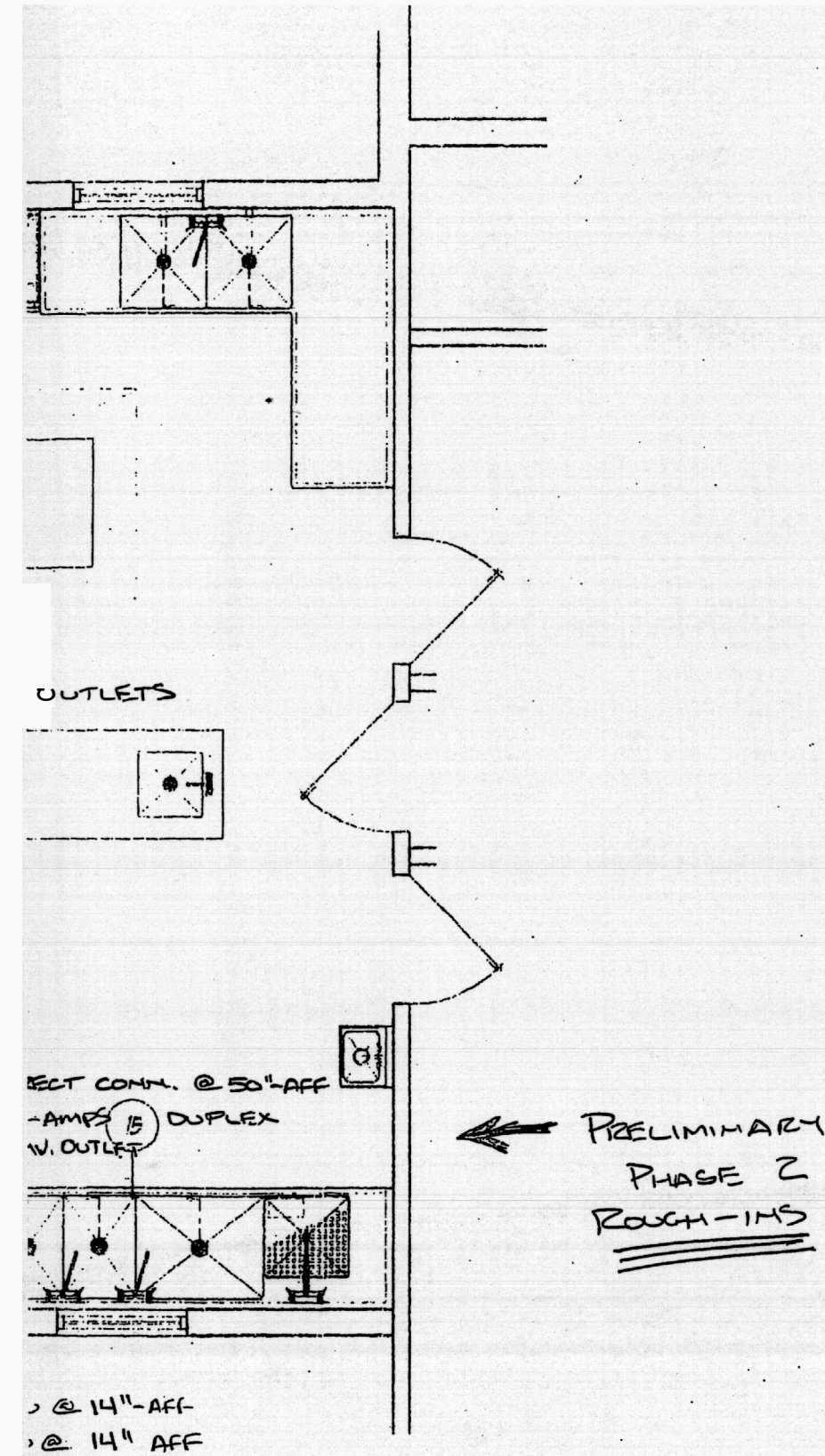
1. FOODSERVICE EQUIPMENT CONTRACTOR
2. OWNER/OWNER'S AGENT
3. PLUMBING CONTRACTOR (DIVISION 15)
4. MECHANICAL CONTRACTOR (DIVISION 15)
5. ELECTRICAL CONTRACTOR
6. EXISTING EQUIPMENT, RELOCATED
7. EXISTING EQUIPMENT, USED IN PLACE
8. MILLWORK CONTRACTOR
9. GENERAL CONTRACTOR

ELECTRICAL CONNECTION SCHEDULE

ITEM	DESCRIPTION
E1	208V/160/3Ø, 20 HP. J-BOX • 15" AFF. DISPOSER (ITEM #2) - THE E.C. SHALL BRANCH FROM THIS CONNECTION THRU THE CONTROL PANEL TO DISPOSER SEE ELECTRICAL NOTE #3
E2	208V/160/3Ø, 48.4 AMP J-BOX • 24" AFF. DISHWASHER (ITEM #3) THE E.C. SHALL BRANCH TO THE CONNECTION ON THE DISHWASHER IF A DISCONNECT IS REQUIRED IT SHALL BE BY THE E.C. SEE ELECTRICAL NOTE #2.
E3	120V/160/1Ø, 360 WATT, 3Ø AMP J-BOX • 15" AFF. BOOSTER HEATER (ITEM #4) THE E.C. SHALL BRANCH FROM THIS CONNECTION TO THE CONNECTION ON THE BOOSTER HEATER
E4	120V, 950 WATT RECEPTACLE • 24" AFF. HEATED PLATE DISPENSER (ITEM #38) - NEAM 5-15P
E5	208V/160/3Ø, 26.7 AMP J-BOX • 18" AFF. - THE E.C. SHALL BRANCH FROM THIS CONNECTION TO THE CONNECTION ON THE POT SINK (ITEM #15) SEE ELECTRICAL NOTE #2.
E6	THE E.C. SHALL PROVIDE AND INSTALL CONTROL WIRING FROM THE DISHWASHER TO THE DISHWASHER TABLE LIMIT SWITCH - SWITCH BY BOELTER

PLUMBING CONNECTION SCHEDULE

ITEM	DESCRIPTION
P1	2" DRAIN • 10" AFF. DISPOSER ITEM #2 - THE P.C. SHALL EXTEND FROM THE OUTLET ON THE DISPOSER TO THE DRAIN



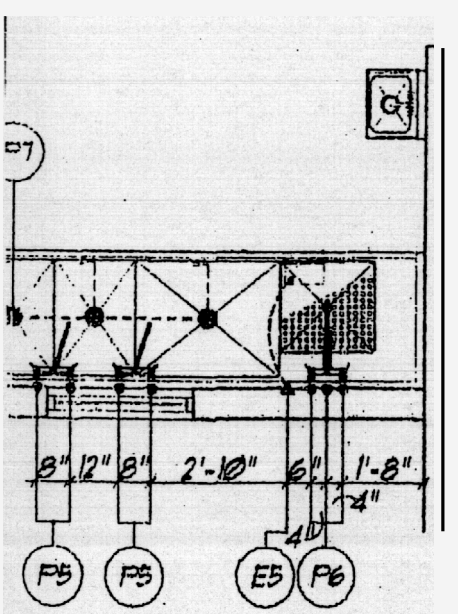
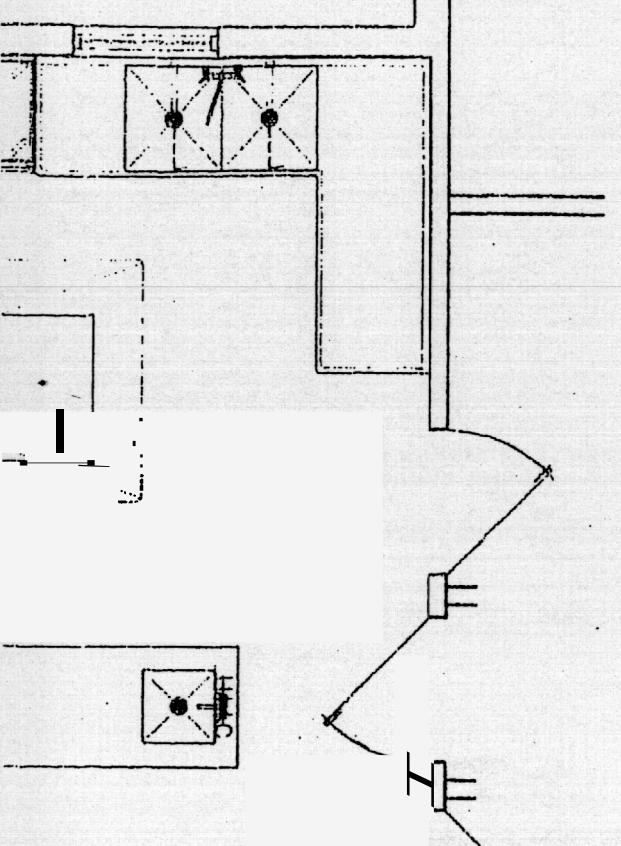
SCALE: 1/4"=1'-0"

Sheet

FOODSERVICE
 EQUIPMENT
 PLAN

2.8 KW 14.0 AMPS
50" AFF (VERIFY)
OLT 1Ø 15 AMPS
@ 24" AFF

ELEC
REQUIRE
1Ø1 PHASE



V PLAN

166 A 010
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 23 2005
RECEIVED

F4	3/4" (140" MIN) HOT WATER @ 12" AFF. - BOOSTER HEATER (ITEM #4) SEE PLUMBING NOTE #5 THE P.C. SHALL BRANCH FROM THIS CONNECTION TO THE INLET ON THE BOOSTER HEATER AND FROM THE OUTLET ON THE BOOSTER HEATER TO THE INLET ON THE DISHWASHER (ITEM #3)
F5	3/4" HOT AND 3/4" COLD WATER @ 10" AFF. - POT SINK FAUCET (ITEM #5) THE P.C. SHALL BRANCH FROM THIS CONNECTION TO THE FAUCET INLETS ON THE POT SINK
F6	3/4" HOT AND 3/4" COLD WATER @ 18" AFF. AND 1 1/2" DRAIN @ 15" AFF. - POT SINK PRE RINSE SINK (ITEM #5) - THE P.C. SHALL BRANCH FROM THIS CONNECTION TO THE CONNECTIONS ON THE SINK AND PRE RINSE UNIT. CONNECT DRAIN TO GREASE TRAP IF REQUIRED BY CODE.
P1	THE P.C. SHALL MANIFOLD THREE (3) 1 1/2" SINK BOWL DRAINS AND EXTEND THRU A GREASE TRAP (SEE PLUMBING NOTE #4) TO A BUILDING DRAIN - POT SINK (ITEM #5)

GAS CONNECTION SCHEDULE

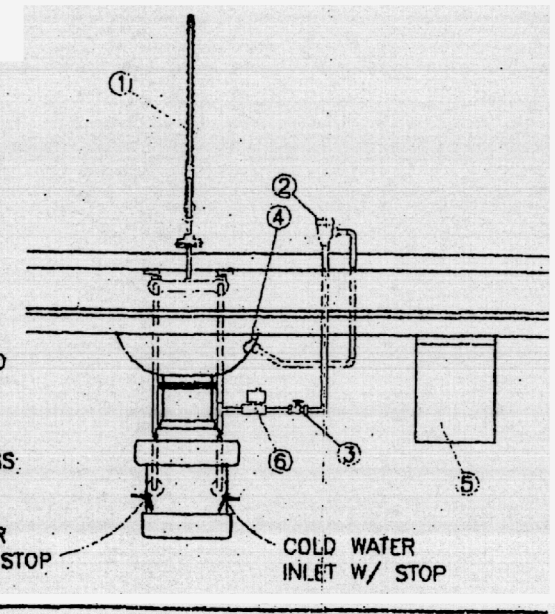
ITEM	DESCRIPTION
G1	3/4" 195,000 BTUH GAS @ 12" AFF. BOOSTER HEATER (ITEM #4) - THE P.C. SHALL BRANCH FROM THIS CONNECTION TO THE INLET ON THE BOOSTER HEATER

LEGEND

- ① PRE-RINSE SPRAY
- ② VACUUM BREAKER
- ③ GLOBE VALVE (FOR METERING FLOW) (OR FLOW CONTROL, WHEN FURNISHED)
- ④ DISPOSER CONTROL
- ⑤ WATER INLET
- ⑥ SOLENOID VALVE

P.C. NOTE!

ALL PIPING SHOWN IS TO BE FURNISHED AND INSTALLED BY THE PLUMBING CONTRACTOR. ITEMS LISTED ABOVE ARE TO BE FURNISHED "LOOSE" TO THE PLUMBING CONTRACTOR BY BOELTER CONTRACT AND DESIGN FOR INSTALLATION EXCEPT FOR ITEM #3 GLOBE VALVE UNLESS A FLOW CONTROL IS FURNISHED WITH THE DISPOSER.



TYPICAL DISPOSER PLUMBING INSTALLATION

NO SCALE

Approved 12/23/05

EQUIPMENT PLAN

Project
Seaside Healthcare
850 Baxter Blvd.
Portland, ME 04103

Revisions

Issue Date

11/19/05

Drawn By

BRENNELL

Job Number

05-013

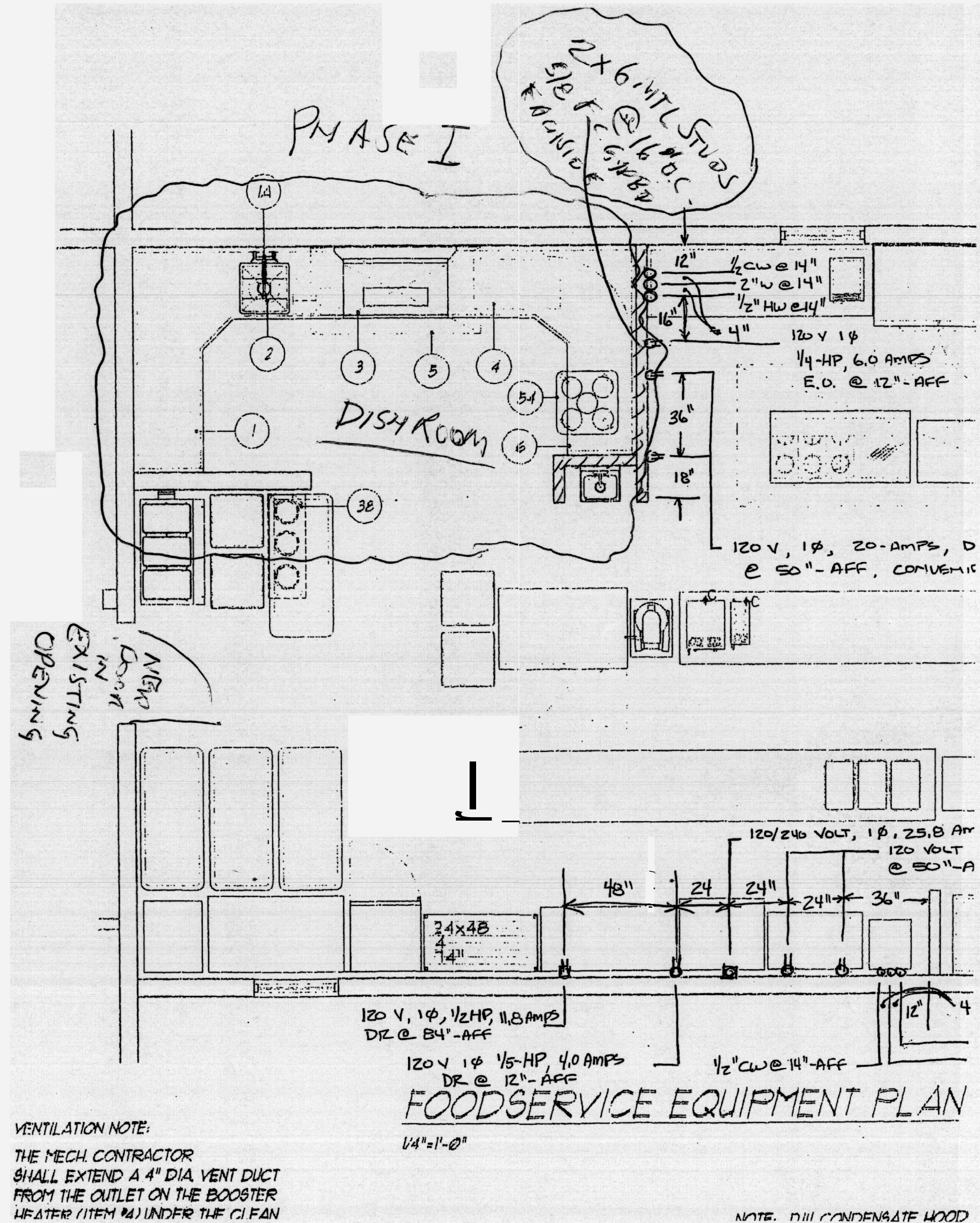
Sheet No.

K1

GENERAL NOTES:

1. THE DRAWING PROVIDED BY BOELTER CONTRACT AND DESIGN ARE SUPPLIED TO INDICATE THE SIZE AND LOCATION OF THE FOOD SERVICE EQUIPMENT AND THE UTILITIES NECESSARY TO OPERATE THIS EQUIPMENT, AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION DRAWINGS. THE OWNER AND/OR HIS ARCHITECT SHALL INCORPORATE THE INFORMATION PROVIDED BY BOELTER CONTRACT AND DESIGN INTO THE PROJECT'S ARCHITECTURAL AND MECHANICAL PLANS, AND ADAPT THE INFORMATION TO PREVAILING NATIONAL, STATE AND LOCAL CODES. THE OWNER AND/OR HIS ARCHITECT SHALL SUBMIT THE COMBINED PLANS AND SPECIFICATIONS TO THE APPROPRIATE AUTHORITIES HAVING JURISDICTION.
2. WRITTEN AND/OR COMPUTED DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE GIVEN TO THE FINISHED FACE OF WALLS OR PARTITIONS AND ARE TO THE CENTERLINE OF BOX OR PIPE.
3. THE GENERAL AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AS INDICATED BY THESE DRAWINGS AND SHALL NOTIFY BOELTER CONTRACT AND DESIGN OF ANY DISCREPANCIES BEFORE BEGINNING THEIR WORK.
4. ALL PLUMBING, ELECTRICAL, REFRIGERATION, AND VENTILATION WORK INCLUDING ROUGH-INS AND FINAL CONNECTIONS OF THE EQUIPMENT IS TO BE PERFORMED BY THE APPROPRIATE TRADES. THIS IS NOT A PART OF BOELTER CONTRACT AND DESIGN'S CONTRACT.
5. VERIFY THE SIZE, LOCATION, AND CAPACITIES OF UTILITIES NECESSARY TO OPERATE ALL EQUIPMENT INDICATED AS EXISTING, BY OWNER, OR BY OTHERS. IF UTILITIES ARE INDICATED FOR THIS EQUIPMENT ON THE BOELTER CONTRACT AND DESIGN DRAWINGS, THEY ARE TYPICAL CONNECTIONS ONLY AND MUST BE VERIFIED AS TO NECESSITY, CAPACITY, AND LOCATION.
6. ALL ROUGH-INS ARE TO STUB THRU THE FLOOR OR TERMINATE IN THE WALLS AS INDICATED BY THESE DRAWINGS. SEE THE MANUFACTURER'S SPECIFICATION SHEETS AND DETAIL DRAWINGS FOR FINAL CONNECTIONS.
7. THE FOOD SERVICE EQUIPMENT DRAWINGS INDICATE ONLY THE UTILITIES NECESSARY TO OPERATE THE FOOD SERVICE EQUIPMENT. SEE THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL CONVENIENCE RECEPTACLES, EXIT LIGHTS, EMERGENCY LIGHTING, PHONE CONNECTIONS, PA SYSTEMS, ALARM SYSTEMS, COMPUTER ELECTRIC AND "COMMO" LINKS, CENTRAL VACUUM SYSTEMS, HOSE BIBS, WATER COOLERS, AND FLOOR AND AREA DRAINS.
8. WHERE EXISTING EQUIPMENT IS BEING REUSED IN PLACE, NO UTILITIES ARE INDICATED BY BOELTER CONTRACT AND DESIGN'S MECHANICAL PLANS. IT IS ASSUMED THAT THIS EQUIPMENT IS TO BE OPERATED ON THE EXISTING UTILITIES AND THAT THE EXISTING UTILITIES ARE FUNCTIONAL AND ADEQUATE IN SIZE AND CAPACITY. THE APPROPRIATE CONTRACTOR/ENGINEER SHALL VERIFY THE SUITABILITY AND OPERATION OF THE EXISTING UTILITIES AND NOTIFY THE OWNER/ARCHITECT IF THEY CANNOT BE REUSED.
9. SEE ARCHITECTURAL DRAWINGS FOR FLOOR, CEILING, AND WALL FINISHES IN ALL FOOD SERVICE AREAS. THIS IS NOT PART OF BOELTER CONTRACT AND DESIGN'S CONTRACT.
10. ANY ASBESTOS ABATEMENT REQUIRED IN CONNECTION WITH INSTALLATION OF THE FOOD SERVICE EQUIPMENT SHALL BE BY OTHERS.
11. SEALED DRAWINGS AND HEAT LOSS/HEAT GAIN CALCULATIONS FOR EXHAUST HOOD/HVAC PERMITS SHALL BE BY THE MECHANICAL CONTRACTOR.
12. INSTALLATION OF EQUIPMENT (BY BOELTER CONTRACT AND DESIGN) SHALL INCLUDE DELIVERY, UNLOADING, UNCRATING, SETTING IN PLACE OF EQUIPMENT, LEVELING AND CAULKING AS REQUIRED. INSTALLATION DOES NOT INCLUDE HOISTING OF EQUIPMENT TO THE ROOF TOP, CORE DRILLING, ROOF PENETRATIONS, BUILDING PENETRATIONS & PITCH POCKETS, FIRE STOPPING, WEATHERPROOFING, IN WALL BLOCKING, INTERCONNECTING WIRING FROM EQUIPMENT CONTROLS TO EQUIPMENT, INTERCONNECTING PLUMBING, PERMITS, FEES, INTERCONNECTING DUCT WORK FROM EQUIPMENT TO BUILDING HVAC SYSTEMS.
13. REMOVAL OF TRASH FROM THE JOB SITE IF REQUIRED WILL BE BY THE GENERAL CONTRACTOR UNLESS THE ON SITE DUMPSTER CAN BE USED. COST OF THE DUMPSTER SHALL BE BY THE GENERAL CONTRACTOR.

ELECTRICAL NOTES:



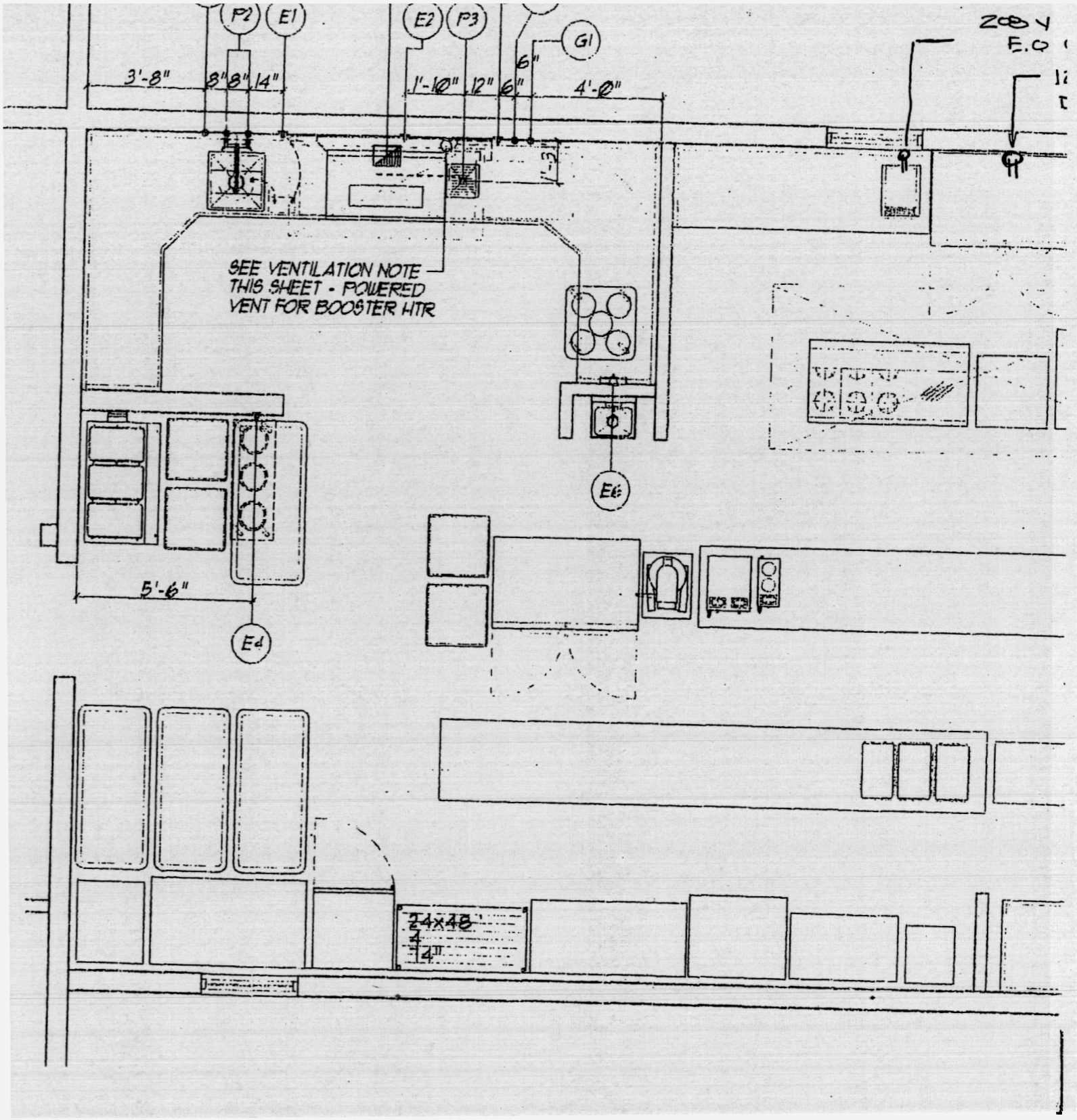
VENTILATION NOTE:
 THE MECH. CONTRACTOR SHALL EXTEND A 4" DIA VENT DUCT FROM THE OUTLET ON THE BOOSTER HEATER (ITEM 14) UNDER THE CEILING FAN

NOTE: DIII CONDENSATE HOOD

- REVISIONS SHALL PROVIDE ALL DISPOSER SWITCHES OR CONTROL PANELS AND PROVIDE AND INSTALL ALL INTERCONNECTING WIRING BETWEEN DISPOSER SWITCHES OR CONTROL PANELS AND SOLENOID VALVE(S).
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ELECTRIC TO THE ROOF FOR EXHAUST FANS AND MAKE-UP AIR UNITS. SEE HOOD DRAWINGS AND/OR HVAC DRAWINGS FOR LOCATIONS AND CAPACITIES. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL MOTOR STARTERS, DISCONNECTS AND FURNISH AND INSTALL ALL FAN AND MAKE-UP AIR UNIT CONTROL WIRING.
 - ELECTRICAL ROUGH-INS SHALL BE BY THE ELECTRICAL CONTRACTOR. (NOT A PART OF BOELTER CONTRACT AND DESIGN'S CONTRACT)
 - THE ELECTRICAL CONTRACTOR SHALL MAKE ALL INTERCONNECTIONS AT FIELD JOINTS IN EQUIPMENT REQUIRING THEM DUE TO LENGTH OR OTHER CONSTRAINTS. THIS MAY INCLUDE, BUT NOT LIMITED TO, HOODS, VENTILATORS, CHEF'S COUNTERS AND SERVING COUNTERS.
 - THE BUILDING ELECTRICAL PANEL PROVIDING POWER TO THE FOODSERVICE AREAS AND FOODSERVICE EQUIPMENT SHALL BE EQUIPPED WITH GROUND FAULT INTERRUPT BREAKERS IN ACCORDANCE WITH THE 2002 NATIONAL ELECTRICAL AND LOCAL CODES. BREAKERS SHALL BE FURNISHED AND INSTALLED THE ELECTRICAL CONTRACTOR. DO NOT PROVIDE GFI RECEPTACLES AT THE EQUIPMENT UNLESS THE RECEPTACLE IS READILY ACCESSIBLE WITHOUT MOVING EQUIPMENT OR EMPLOYING A STEP LADDER.

PLUMBING NOTES:

- THE PLUMBING CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL EQUIPMENT, PERMITS, LICENSES AND FEES NECESSARY TO INSTALL A COMPLETE WATER SUPPLY, WASTE, VENT, GAS PIPING, STEAM SUPPLY AND RETURN SYSTEM AS INDICATED BY THE DRAWINGS AND SPECIFICATIONS, AND AS NECESSARY TO OPERATE THE FOOD SERVICE EQUIPMENT.
- THE PLUMBING CONTRACTOR SHALL FURNISH MATERIAL FOR AND MAKE FINAL CONNECTIONS FROM THE ROUGH-IN LOCATIONS TO THE CONNECTION POINTS ON THE FOODSERVICE EQUIPMENT.
- ALL WATER SUPPLY, WASTE, VENT, STEAM SUPPLY, STEAM RETURN AND GAS PIPING SYSTEMS SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS.
- THE PLUMBING CONTRACTOR SHALL SIZE, FURNISH AND INSTALL A GREASE TRAP ON ALL EQUIPMENT AS REQUIRED BY PREVAILING CODES AND REGULATIONS. COORDINATE THE LOCATION WITH BOELTER CONTRACT AND DESIGN SO AS TO AVOID CONFLICTS WITH EQUIPMENT.
- THE PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL AN INSULATED HOT WATER LINE BETWEEN THE BOOSTER HEATER AND THE DISHWASHER.
- ALL FOOD PREPARATION SINKS SHALL BE CONNECTED TO AN INDIRECT DRAIN AND SHALL HAVE AN AIR GAP AT THE DRAIN EQUAL TO TWICE THE DIAMETER OF THE SINK DRAIN PIPING.
- THE PLUMBING CONTRACTOR SHALL FURNISH ALL SHUT-OFF VALVES, PRESSURE REDUCING VALVES, PRESSURE/TEMPERATURE RELIEF VALVES, SYPHON BREAKERS, TAIL PIECES, "P" TRAPS, INDIRECT WASTES, CONTINUOUS WASTES, AND ANY OTHER FITTINGS NOT FURNISHED AS PART OF THE FOOD SERVICE EQUIPMENT, BUT REQUIRED FOR PROPER INSTALLATION AND OPERATION, OR BY APPLICABLE CODES.
- PLUMBING ROUGH-INS SHALL BE BY THE PLUMBING CONTRACTOR. (NOT A PART OF BOELTER CONTRACT AND DESIGN'S CONTRACT)
- THE PLUMBING CONTRACTOR SHALL PROVIDE BACK FLOW PREVENTORS IN SUPPLY LINES TO ALL WATER COOLED ICE MAKERS OR OTHER EQUIPMENT AS REQUIRED BY CODES.
- THE PLUMBING CONTRACTOR SHALL MAKE ALL INTERCONNECTIONS AT FIELD JOINTS IN EQUIPMENT REQUIRING THEM DUE TO LENGTH OR OTHER BUILDING CONSTRAINTS. THIS MAY INCLUDE, BUT NOT LIMITED TO, HOODS, VENTILATORS, CHEF'S COUNTERS AND SERVING COUNTERS.



SPOT PLUMBING & ELECTRICAL CONNECTIONS
 1/4" = 1'-0"



CITY OF PORTLAND, MAINE

Department of Building Inspections

Dec 23 2005

Received from The Pochet Co

Location of Work 850 Baxter Blvd

Cost of Construction \$ 28,000

Permit Fee \$ 273

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other

CBL: 166 A C10

Check #: 27006 Total Collected \$ 273.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

Anna
WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy