Form # P 04

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

## **CITY OF PORTLAND**

Please Read Application And Notes, If Any, Attached

PERMIT

Permit Number: 070712

of buildings and sectures, and of the application on file in

	s of the Statutes of I		d of the			es of the City of Portland regulating
provided that th	e person or persons,	m or		tion a	ep	ting this permit shall comply with all
T 45 W Kidder St				g		164 B005001
as permission to	Remove 2 story rear deck &	lace w/8	14° on	ry deck.		
his is to certify that	Bull David/Construction Sol	ns (Mar	k Harrison	)		
				\		

provided that the person or persons, of the provisions of the Statutes of I the construction, maintenance and u this department.

Apply to Public Works for street line and grade if nature of work requires such information.

N fication inspect in must general and with a permit in procu

be re this leading or the thereo land or consed-in.

HER NOTICE IS MEQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS** 

Health Dept. \_\_\_\_\_\_Appeal Board \_\_\_\_\_

Other \_\_\_\_\_ Department Name

PENALTY FOR REMOVING THIS CARD

7

City o	of Portland, Maine	- Buil	ding or Use	Permi	t Application	n Per	rmit No:	Issue Date:		CBL:	
, .	ongress Street, 04101		G				07-0712			164 B0	05001
Location	n of Construction:		Owner Name:			Owne	r Address:			Phone:	
45 W Kidder St Bull David			236		23650 Main Road		(631)323-8073		-8073		
Business Name: Contractor Name		:		Contr	Contractor Address:			Phone			
Construction S		Solutions (Mark Harri		Portland				2075903841			
Lessee/Buyer's Name Phone:		<del></del>		Permi	t Type:			Zone:			
			1			Alte	erations - Mu	lti Family			R3
Past Use	e:		Proposed Use:			Perm	it Fee:	Cost of Work:	CE	O District:	1
			unit- Remove 2 story eplace w/8' x 14' one			\$70.00	\$5,000.0	- 1	4	}	
		FIRE			DEDT:	<del> </del>	NSPECTION;				
			story deck.			1	1 6	111	se Group	K.	Type: 5B
legaluse: 4 d.v. ( +			02-0781)		Denied			SPECTION: 2 Type: 5B			
						!			-1	3C 2	- בספו
Propose	ed Project Description:		<del></del>			1		~		-1	
Remo	ve 2 story rear deck & r	eplace v	v/8' x 14' one sto	ory deck	ζ.	Signa	ture:	Si Seeks	gnature:	ALI	
		-		•		PEDE	STRIAN ACT	IVITIES DISTRI	CT (P.A.	D	1
						Actio	n: Appro	ved 🗀 Annrov	ed w/Cor	oditions [	Derried
						Actio	п Арріо	ved	cu w/coi	idition	Berico
						Signa	ture:		Da	te:	
Permit 7	Taken By:	Date Ap	oplied For:				Zoning	Approval			
dmart	tin 	06/11	/2007								
1. T	his permit application d	oes not	preclude the	Spe	cial Zone or Revie	ws	Zoni	ng Appeal		Historic Pres	ervation
	.pplicant(s) from meetin ederal Rules.	g applic	able State and	☐ Sh	oreland		Variance		Not in District or Landmark		
			olumbing,	☐ w	etland	Miscellaneous		Does Not Require Review		quire Review	
<ul><li>3. Building permits are void if work is not started within six (6) months of the date of issuance.</li></ul>				Flood Zone			Conditional Use			Requires Review	
	alse information may in ermit and stop all work.		a building	☐ Su	bdivision		Interpre	tation		Approved	
				[ <b>Z</b> ] Si	te Plan Exempla	^	Approve	ed		Approved w/	Conditions
				Maj ∫	Minor MM	$\Box$	Denied			Denied	
				Or	wicordihing					ten	
				Date:	. A	_	Date:		Date:		
				<u> </u>	111141-20					•	
				C	ERTIFICATION	ON					
	y certify that I am the or										
I have b	been authorized by the o	owner to	make this appli	cation a	s his authorized	l agen	t and I agree	to conform to a	ıll appli	cable laws	of this
	etion. In addition, if a peave the authority to enter										
such pe		i all alea	as covered by su	ich pern	int at any reason	iable i	iour to emore	the provision	n or the	code(s) app	plicable to
PC	· <del>*</del>										
SIGNAT	TURE OF APPLICANT	<del></del> -			ADDRESS	3		DATE		РНО	NE
RESPO	NSIBLE PERSON IN CHAR	GE OF W	ORK, TITLE					DATE		РНО	NE

# Please call <u>874-8703</u> or <u>874-8693</u> to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

	·
A Pre-construction Meeting will take pla	ce upon receipt of your building permit.
Footing/Building Location Inspe	ction: Prior to pouring concrete
Re-Bar Schedule Inspection:	Prior to pouring concrete
Foundation Inspection:	Prior to placing ANY backfill
Framing/Rough Plumbing/Electr	cal: Prior to any insulating or drywalling
X Final Certificate of Occupancy:	Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.
Certificate of Occupancy is not required for you if your project requires a Certificate of Cinspection  MAN If any of the inspections do not occupanice of Certificate of C	occupancy. All projects DO require a final cur, the project cannot go on to the next OR CIRCUMSTANCES.  S MUST BE ISSUED AND PAID FOR,
Signature of Applicant/Designee  Conna Partin Hamin  Signature of Inspections Official	Date 7-25-07 Date
CBL: 164 B 005 Building Permit#:	07-07/2

City of Portland, Maine - Buil	lding or Use Permit	ţ		Permit No:	Date Applied For:	CBL:
389 Congress Street, 04101 Tel: (	(207) 874-8703, Fax: (	207) 874	-8716	07-0712	06/11/2007	164 B005001
Location of Construction:	Owner Name: O			wner Address:	Phone:	
45 W Kidder St	Bull David		2	23650 Main Road		(631)323-8073
Business Name:	e: Contractor Name:		C	Contractor Address:	Phone	
	Construction Solutions	s (Mark H	Iarri	Portland	(207) 590-3841	
Lessee/Buyer's Name	Phone:		P	ermit Type:		
			L	Alterations - Multi	Family	
Proposed Use:		P	Proposed	Project Description:		
Resdential 4 unit- Remove 2 story re one story deck.	ar deck & replace w/8' x	: 14'	Remov	e 2 story rear deck	& replace w/8' x 1	4' one story deck.
Dept: Zoning Status: A	Approved with Condition	s Revi	iewer:	Ann Machado	Approval l	Date: 06/19/2007
<ul> <li>Dept: Zoning Status: A</li> <li>Note: 6/18/07. Spoke to contractor the rear of the building.</li> <li>1) This property shall remain a four approval.</li> <li>2) This permit is being approved on work.</li> </ul>	family dwelling. Any cha	d to clarify ange of us	y that th	ne deck that he was	replacing was on permit application	Ok to Issue:
<ul> <li>Note: 6/18/07. Spoke to contractor the rear of the building.</li> <li>1) This property shall remain a four approval.</li> <li>2) This permit is being approved on work.</li> </ul>	family dwelling. Any cha	d to clarify ange of us	y that the se shall deviati	ne deck that he was	replacing was on permit application	Ok to Issue:   for review and before starting that
<ol> <li>Note: 6/18/07. Spoke to contractor the rear of the building.</li> <li>This property shall remain a four approval.</li> <li>This permit is being approved on work.</li> <li>Dept: Building Status: A</li> </ol>	family dwelling. Any charthe basis of plans submit	d to clarify ange of use tted. Any s Revi	y that the shall deviati	ne deck that he was require a separate plants shall require a Tammy Munson	replacing was on permit application separate approval	Ok to Issue:  for review and before starting that  Date: 07/25/2007
<ul> <li>Note: 6/18/07. Spoke to contractor the rear of the building.</li> <li>1) This property shall remain a four approval.</li> <li>2) This permit is being approved on work.</li> <li>Dept: Building Status: A Note:</li> <li>1) Separate permits are required for</li> </ul>	family dwelling. Any charthe basis of plans submit	d to clarify ange of use tted. Any s Revi	y that the shall deviation	require a separate proof one shall require a Tammy Munson ms.	replacing was on permit application separate approval	Ok to Issue:  for review and before starting that  Date: 07/25/2007
<ol> <li>Note: 6/18/07. Spoke to contractor the rear of the building.</li> <li>This property shall remain a four approval.</li> <li>This permit is being approved on work.</li> <li>Dept: Building Status: A Note:</li> <li>Separate permits are required for Separate plans may need to be sulted.</li> <li>Your guardrail system installed and</li> </ol>	family dwelling. Any charthe basis of plans submit	ange of uson tted. Any  s Revi  or HVAC part of th  42" high a	y that the shall deviation	require a separate proof one shall require a Tammy Munson ms.	replacing was on permit application separate approval	Ok to Issue:  for review and before starting that  Date: 07/25/2007 Ok to Issue:

### **Comments:**

6/18/2007-amachado: Need right, title & interest to show that David Bull is new owner. Spoke to contractor, Mark Harrison.

6/19/2007-amachado: Gave site plan exemption form to planning.

6/21/2007-gg: received granted site exemption on 6/21/07. Put with permit (tammy) /gg

# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any roperty within the City, payment arrangements must be made before permits of any kind are accepted.

	W	
Location/Address of Construction:	41-45 RKIDDER	
Total Square Footage of Proposed Structure		
11450 fT.	14,300 4	62 ft
Tax Assessor's Chart, Block & Lot	Owner:	Telephone:
Chart# Block# Lot#	DAVID BULL	631-323-5073
164 B OCT		
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone 39-95 KIPPER	e: Cost Of \$5000 Work: \$
	, , , ,	W OIR. #
	PORTLAWD, ME	Fee: \$
		C of O Fee: \$ DA
Current legal use (i.e. single family)		
f vacant, what was the previous use? roposed Specific use:		
s property part of a subdivision?	If yes, please name	
Proposed Specific use: s property part of a subdivision? Project description:	191	0 5 400 4
Project description: 7'X  Remove 2 STORY 1  BUILD NEW GROUND	DRCK (Little Smaille than	n Uniginal Pootprint
BUILD NEW GROUND	HEURL DIFCIL UNDER	AB FROM GRAVE
	8×141	
Contractor's name, address & telephone:	CONSTRUCTION SOLUTION	3
Who should we contact when the permit is r	eady: MARK HARRISON	
Who should we contact when the permit is refailing address:	Phone: 590 3841	
lease submit all of the information of	utlined in the Commercial Applicat	ion Checklist
failure to do so will result in the autor		ion oncomist.
	· ·	
n order to be sure the City fully understands the equest additional information prior to the issuance		
ww.portlandmaine.gov, stop by the Building Ins		
•		
nereby certify that I am the Owner of record of the na	amed property, or that the owner of record authori	zes the proposed work and that I have
en authorized by the owner to make this application a	as his/her authorized agent. I agree to conform to	all applicable laws of this jurisdiction.
addition, if a permit for work described in this applic thority to enter all areas covered by this permit at any		
1		
ignature of applicant:	Date:	6/11/07
CITY OF PORTLAND, ME		
1 1		

#### SHORT FORM WARRANTY DEED

Edward D. Wallace of 611 Duck Pond Road, Westbrook, ME 04092, FOR CONSIDERATION PAID, grants to David T. Bull of 23650 Main Road, Orient, NY 11957, with WARRANTY COVENANTS, the following described real property located in the City of Portland, County of Cumberland and State of Maine:

A certain lot or parcel of land with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine and bounded and described as follows:

Beginning at a point in the present northwesterly line of West Kidder Street, which point is the southerly corner of the first lot or parcel of land described in deed from Anna M.B. McCann et als. to Henry A.N. Bruns dated March 13, 1936 and recorded in the Cumberland County Registry of Deeds in Book 1495, Page 99; thence from said point of beginning running northwesterly along the southwesterly line of said first lot or parcel of land described in said deed to said Henry A.N. Bruns, a distance of one hundred thirty and 3/10 (130.3) feet, more or less, to the westerly corner thereof; thence running southwesterly along the northwesterly line of lots numbered thirty-eight and thirty-seven (38 & 37) as delineated on Marshall's Plan of lots in Westbrook owned by I.D. Kidder et. als. recorded in the Cumberland County Registry of Deeds, Plan Book 1, Page 29, a distance of one hundred ten (110) feet to a point; thence running southeasterly parallel to said southwesterly line of said first lot or parcel of land described in said deed to Henry A.N. Bruns, a distance of one hundred thirty and 3/10 (130.3) feet, more or less, to a point in the present northwesterly line of said West Kidder Street; thence running northeasterly by said line of said West Kidder Street, a distance of one hundred ten (110) feet, to the point of beginning.

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

This conveyance is made subject to unpaid real estate taxes for the current tax year, if any, which the Grantee herein, by acceptance of this deed, assumes and agrees to pay.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantor herein by deed of William J. Dowd and Debra V. Dowd dated August 25, 1989 and recorded in the Cumberland County Registry of Deeds in Book 8883, Page 233.

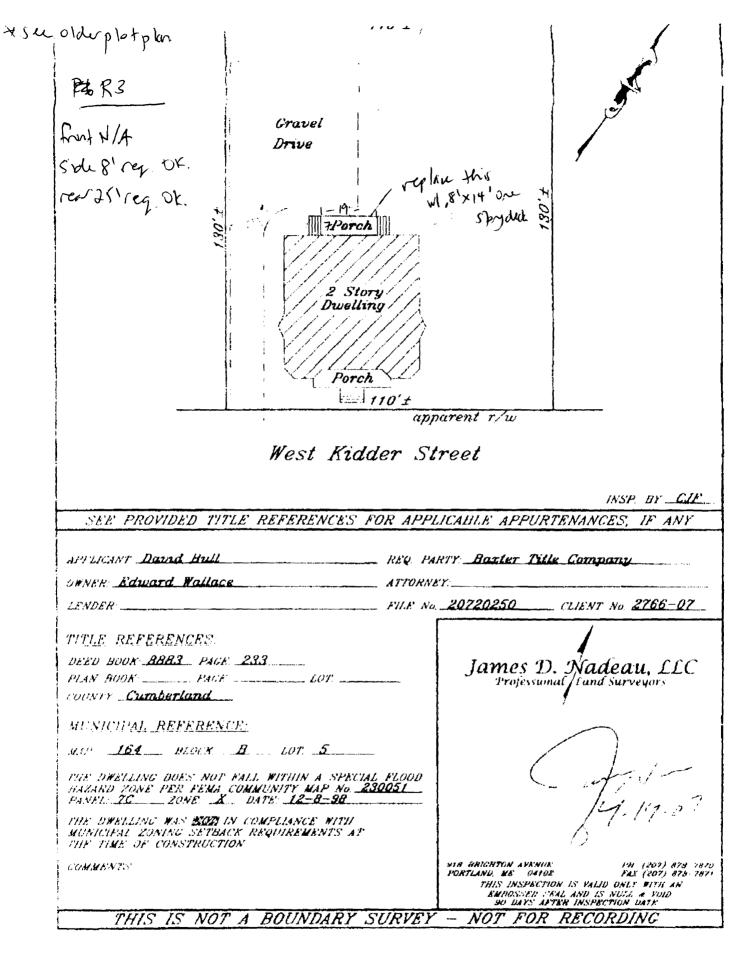
WITNESS my hand and seal this 8th day of May, 2007.

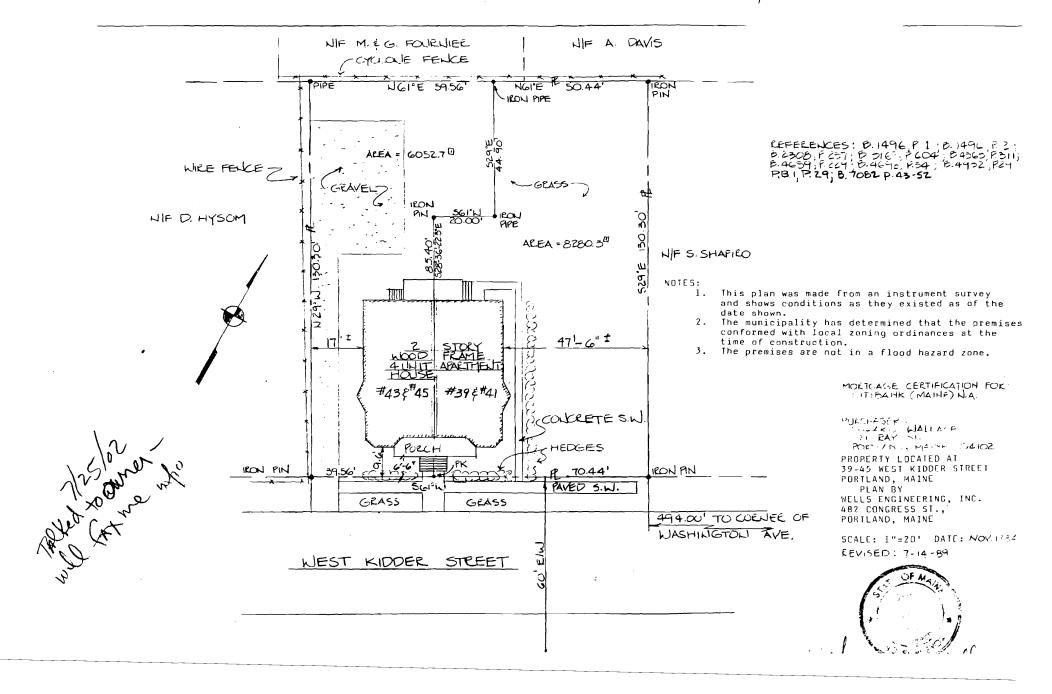
WITNESS

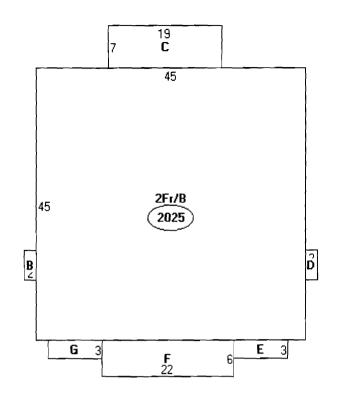
Edward D. Wallace

JUN 19 2007

PECLINED







#### Descriptor/Area

- A: 2Fr/B 2025 sqft
- B: 2FBAY/B 10 sqft
- C: OP/OP 133 sqft
- D:2FBAY/B 10 sqft
- E:2FBAY/B 27 sqft
- F: WD/OP 132 sqft
- G:2FBAY/B 27 sqft



### APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Ap	Azakillar ism sizelie, his valdym	Application	Date
<u> </u>	plicant's Mailing Address	Project Nam	e/Description
Ap	plicant's Mailing Address		•
Co	nsultant/Agent/Phone Number	Address of Proposed Site	
		CBL:	20070110
De	scription of Proposed Development:		
1	Color Residential and the Color	Deceler whoo they	1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1
. W.	works and har podice to the	n & Law (sky	·
	ine in belly of	, , , , , , , , , , , , , , , , , , ,	
Ple	ase Attach Sketch/Plan of Proposal/Development	Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
	seria for Exemptions: Section 14-523 (4) on back side of form		
a)	Within Existing Structures; No New Buildings, Demolitions or Additions		01
b)	Footprint Increase Less Than 500 Sq. Ft.		4
c)	No New Curb Cuts, Driveways, Parking Areas		
d)	Curbs and Sidewalks in Sound Condition/Comply with ADA		
e)	No Additional Parking/ No Traffic Increase		
f)	No Stormwater Problems		
g)	Sufficient Property Screening		
h)	Adequate Utilities		
			CAMPACITATE MANAGEMENT AND

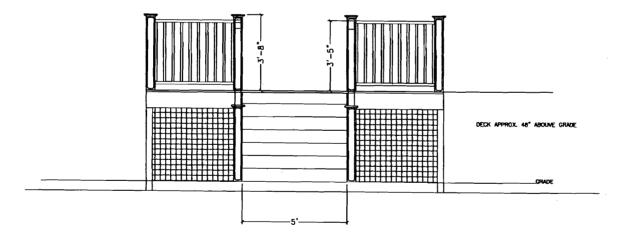
# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

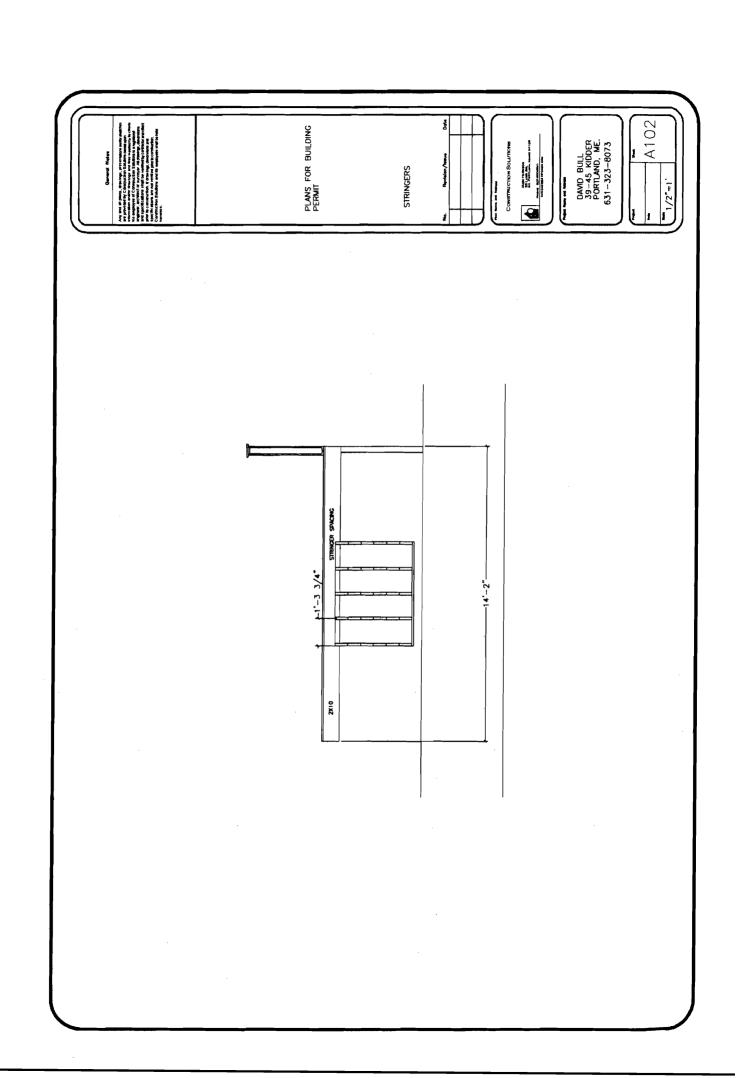
Total Square Footage of Proposed Structure  // 4 300 6 2 ft  Tax Assessor's Chart, Block & Lot Chart# Block# Lot# DAVID BULL  Applicant name, address & telephone: 39-45 12PPER POPTLAND, ME  Surrent legal use (i.e. single family) fvacant, what was the previous use?  Proposed Specific use: Sproperty part of a subdivision?  If yes, please name Project description: Remove 2 Stry Dreck (Little Smailly than Original Foot Bull P New Grows From: CONSTRUCTION  Solution and Development Department may phone:  Tho should we contact when the permit is ready.  Mark HARRON  failing address:  Phone: 570 38 71  Date: 6/11/07  Trof Portlanding on, stop by the Building Inspections office, room 315 city Hall or call 674-8703.  Part of was plicable law of this juried authorized representative shall have notify on, if a permit for work described in this application is issued, I carify that I am the Owner of record of the named property, or that the cover of record authorizes the proposed work and that in authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this juried audition, if a permit for work described in this application is issued, I carify that I am the Owner of record of the named property, or that the code Official's authorized representative shall has notify to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit  Date: 6/11/07  TOF PORTLAND, ME	of Construction:	-45 KIDDER		
Tax Assessor's Chart, Block & Lot Chart# Block # Lot# 114 B		(1)	Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# DAVID BULL  Applicant name, address & telephone: 39-95 KIPPER  POFILAWD, ME  Fee: \$ 10  Cof O Fee: \$ D  C	·			
Chart# Block# Lot# DAND BULL (31-32-3)  Lessee/Buyer's Name (If Applicable)  Applicant name, address & telephone: 39-95 KIPPER  PORTLAND, MR  Fee: \$	· •	17,000		
Lessee/Buyer's Name (If Applicable)  Applicant name, address & telephone:  39-45   POFILAWD, ME  Fee: \$		mer:		
Applicant name, address & telephone:  39-45   PPRIR  POPILAWIN, ME  Fee: \$ 10  CofO Fee: \$ D  Co		WID BULL	631	32 3-40
Current legal use (i.e. single family)  f vacant, what was the previous use?  Proposed Specific use:  sproperty part of a subdivision?  If yes, please name  Project description:  Remove 2 stry preck (Little Smalletham Original Foot Building New Contractor's name, address & telephone:  CONSTRUCTION SOLUTIONS  Phone: 590 38 1  Rease submit all of the information outlined in the Commercial Application Checklist.  aillure to do so will result in the automatic denial of your permit.  Order to be sure the City fully understands the full scope of the project, the Planning and Development Department may accept a diditional information prior to the issuance of a permit. For further information visit us on-line at the proposed work and that in authorized by the owner to make this application as his/ber authorized agent. I agree to conform to all applicable laws of this justice addition, if a permit for work described in this application is issued, I certify that I am the Owner of record by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.  Between Seaphicant: All Authurn	θυ			
Current legal use (i.e. single family)  Free: \$			none: Cost Of	5CVY)
CofO Fee: \$	3	1-45 KIPPER	Work: \$	<u> </u>
CofO Fee: \$	P	CTLAWD, ME		70
Extract legal use (i.e. single family) f vacant, what was the previous use? Proposed Specific use: sproperty part of a subdivision?  If yes, please name roject description:  Rewove 2 stray preck (Little Smarle than Original Food Build New Contractor's name, address & telephone:  CONSTRUCTION SOLUTIONS  Thos should we contact when the permit is ready:  Phone:  190 3891  When the Republication Checklist.  Additional information prior to the issuance of a permit. For further information visit us on-line at two portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.  The standard of the proposed work and that in authorized by the owner to make this application is issued, I certify that the Code Official's authorized representative shall has hority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable laws of this permit.  BETHING Shanks I was the subdivisions?  Date: 6/11/07			Fee: \$	
Extract legal use (i.e. single family) f vacant, what was the previous use? Proposed Specific use: sproperty part of a subdivision?  If yes, please name roject description:  Rewove 2 stray preck (Little Smarle than Original Food Build New Contractor's name, address & telephone:  CONSTRUCTION SOLUTIONS  Thos should we contact when the permit is ready:  Phone:  190 3891  When the Republication Checklist.  Additional information prior to the issuance of a permit. For further information visit us on-line at two portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.  The standard of the proposed work and that in authorized by the owner to make this application is issued, I certify that the Code Official's authorized representative shall has hority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable laws of this permit.  BETHING Shanks I was the subdivisions?  Date: 6/11/07		•	Cof O Fe	A 10 2
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Proposed Specific use:  sproperty part of a subdivision?  If yes, please name  Project description:  Rewove 2 stary preck (Little Smarlewtham Original Food Build New County Level Dreck United United AB From Green Ontractor's name, address & telephone:  Contractor's name, address & telephone:  Contractor's name, address & telephone:  Contractor's name, address & telephone:  Phone:  Phone:  Phone:  Solution  Phone:  Solution  Checklist.  Railure to do so will result in the automatic denial of your permit.  Order to be sure the City fully understands the full scope of the project, the Planning and Development Department may puest additional information prior to the issuance of a permit. For further information visit us on-line at two-portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.  Pereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that in authorized by the owner to make this application is issued, I certify that the Code Official's authorized representative shall have hority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.  BERNIN of applicants.  Date: 6/11/07				
Remove 2 stay preck (Little Smailer than Original Food Build New Grown Level Dreck UNDER AS FROM CE Contractor's name, address & telephone: CONSTRUCTION SOLUTIONS  The should we contact when the permit is ready: NARK HARREN  [alling address: Phone: 590 384]  Rease submit all of the information outlined in the Commercial Application Checklist.  [alliure to do so will result in the automatic denial of your permit.]  [area to be sure the City fully understands the full scope of the project, the Planning and Development Department may apply a superstanding information prior to the issuance of a permit. For further information visit us on-line at two portlandmaine gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.  [Pereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that in authorized by the owner to make this application as his/ber authorized agent. I agree to conform to all applicable laws of this jurisd addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have hority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.  [BERRING of applicant.] [Permit of applicant.] [	se:			
In should we contact when the permit is ready: WARK HYKRISON  Italiang address: Phone: 590 391  Italiang add	subdivision?	If yes, please name		
In should we contact when the permit is ready: WARK HYKRISON  Italiang address: Phone: 590 391  Italiang add	- <del></del>	/, 11 -	<b>√</b> \. + ∧	C 1
In should we contact when the permit is ready: WARK HYKRISON  Italiang address: Phone: 590 391  Italiang add	2 STORY DRCK	(Little Smallerth	im Wiggal	reotprii
In should we contact when the permit is ready: WARK HYKRISON  Italiang address: Phone: 590 391  Italiang add	IN COUNTY PE	EL DIECID UNIDE	P SA FROM	1 GRADE
Tho should we contact when the permit is ready:    MARK   HARRENN	cre oncoras in			
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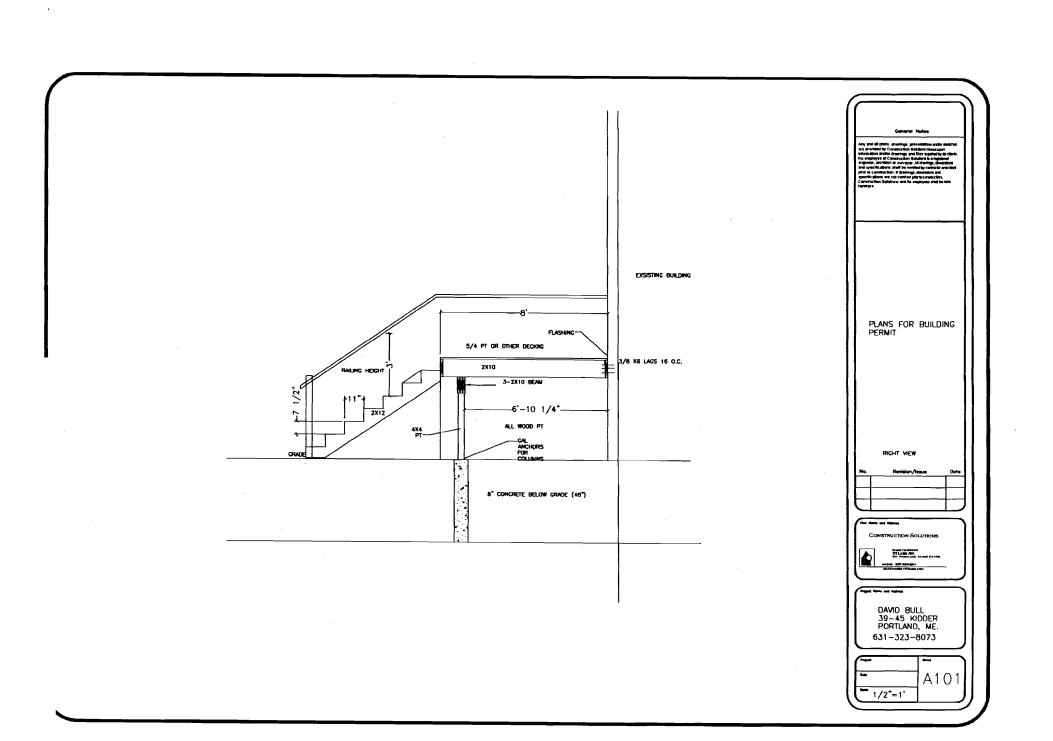
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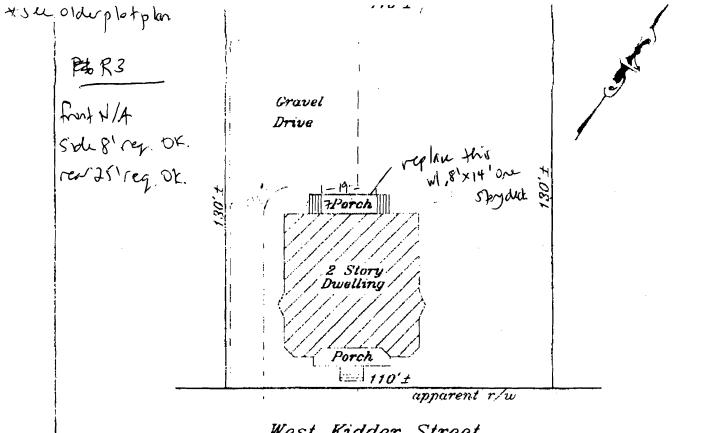
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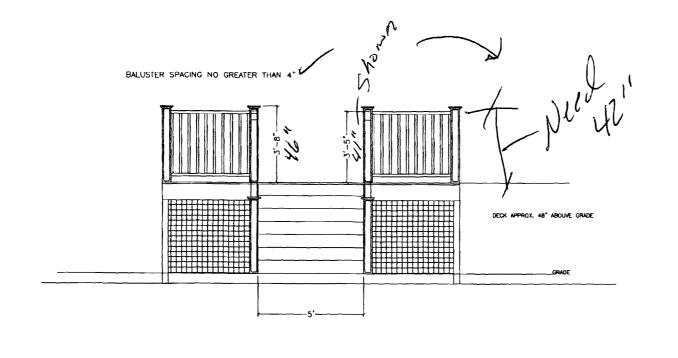


# West Kidder Street

	INSP. BY <u>CIF</u>
SEE PROVIDED TITLE REFERENCES FO	OR APPLICABLE APPURTENANCES, IF ANY
APPLICANT Daind Hull	REQ PARTY Boxter Title Company
OWNER: Edward Wallace	ATTORNEY:
LENDER	FILE No. 20720250 CLIENT No. 2766-07
TITLE REFERENCES:  DEED BOOK <u>A883 PAGE 233</u> PLAN BOOK FAGE LOT COUNTY <u>Cumberland</u>	James D. Nadeau, LLC Professional Jound Surveyors
MUNICIPAL REFERENCE: MAN 164 BROCK B LOT 5	
THE DWELLING DOES NOT FALL WITHIN A SPECIAL HAZARD ZONE PER FEMA COMMUNITY MAP NO. 28 PANEL: TC ZONE X. DATE: 12-8-98  THE DWELLING WAS BEOZE IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION	
COMMENTS	918 GRICHTON AVENUE 1'H (207) 878 7870 PORTLAND, ME (410E FAX (207) 876 7871 THIS INSPECTION IS VALID ONLY WITH AF EMPOSSED FAAL AND IS NOTE & VOID 90 DAYS AFTER INSPECTION DAYK
THIS IS NOT A BOUNDARY S	URVEY - NOT FOR RECORDING

Proposed





#### General Note

Any and all plans or assuings, presentations and/or seather are provised by Communition Scholars bearings in a provised by Communition Scholars bearings in the employee of construction Scholars is an eighteen in construction Scholars in a neighteen and construction Scholars in a neighteen process and specifications are size or event and specifications are not event approved and specifications are not event deportion construction. If orderings destinations are secretary as a specification are not event for process construction. Construction Scholars and list engineers that it is had instructed.

PLANS FOR BUILDING PERMIT

REAR STAIR PLANS

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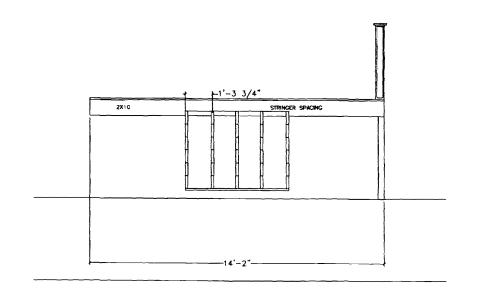
CONSTRUCTION SOLUTIONS

MARK FINDS CON 33 LANN ANT 30 FORTLAND MANN CA THE PLANT MANN CA PROPER SCHOOLS (1974-00 COM

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DAVID BULL 39-45 KIDDER PORTLAND, ME. 631-323-8073

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