

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 081073
PERMIT ISSUED
SEP 14 2008
CITY OF PORTLAND

This is to certify that CONNOLLY ROBERT M ANNA M O'CONNOR SURV mark

has permission to Attached 12'x12' Deck

AT 32 FERNALD ST

164 B004001

provided that the person or persons who apply for and accept this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

9/1/08 *Chet A. [Signature]*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1073	Issue Date: 9/4/08	CBL: 164 B004001
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Location of Construction: 32 FERNALD ST	Owner Name: CONNOLLY ROBERT M & DIAN	Owner Address: 32 FERNALD ST	Phone: 207-774-2575
Business Name:	Contractor Name: Mark Gagne	Contractor Address: 31 B Marcel Ave Biddeford	Phone: 2072820314
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Two Family Home	Proposed Use: Two Family Home - Attached 12'x12' Deck	Permit Fee: \$60.00	Cost of Work: \$3,850.00	CEO District: 4	12,500 ^R
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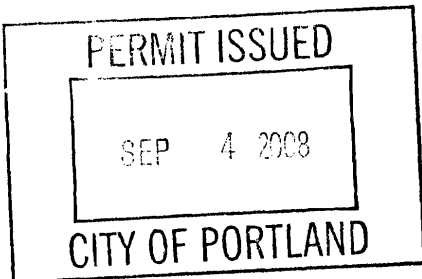
Proposed Project Description: Attached 12'x12' Deck	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-7 Type: SB IRC-2007
	Signature:	Signature: <i>CE 9/4/08</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Signature: _____ Date: _____

Permit Taken By: Imd	Date Applied For: 08/26/2008	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>8/29/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1073	Date Applied For: 08/26/2008	CBL: 164 B004001
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Location of Construction: 32 FERNALD ST	Owner Name: CONNOLLY ROBERT M & DIAN	Owner Address: 32 FERNALD ST	Phone: 207-774-2575
Business Name:	Contractor Name: Mark Gagne	Contractor Address: 31 B Marcel Ave Biddeford	Phone: (207) 282-0314
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Two Family Home - Attached 12'x12' Deck	Proposed Project Description: Attached 12'x12' Deck
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 08/29/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) Separate permits shall be required for future decks, sheds, pools, and/or garages.</p> <p>2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</p> <p>3) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 09/04/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) Fastener schedule per the IRC 2003</p> <p>2) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.</p> <p>3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.</p> <p>4) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.</p>			

Comments:
<p>8/27/2008-lmd: Diana had a conversation with Tom M(8/25), he explained that more info was required. We needed plot plan(gave example), more concise plans for the deck. Diana stated that she could and would not provide. She returned 8/26 with the information submitted. Diana requested that her permit be expedited, I explained process. Once again she was not cooperative. The plot plan and construction plan is all she will submit.</p> <p>8/29/2008-mes: I noticed that the owner indicated that this was a single family, but our microfiche shows this to be an existing two family - I called Diana Gagne and she confirmed that it was a two family - I will change the application to reflect the correct use.</p>



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>32 Fernald St Portland, Me 04103</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must be owner</u> , Lessee or Buyer* Name <u>Robert Connolly</u> Address <u>32 Fernald St</u> City, State & Zip <u>Portland Me 04103</u>	Telephone: <u>7742575</u> <u>Diana</u>
164 B 004		
Lessee/DBA (If Applicable) AUG 26 2008	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$3850-</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>yes</u> <u>8/29/08</u> <u>per owner</u> <u>This is a two unit with</u> If vacant, what was the previous use? <u>A single family - microfiche confirms</u> Proposed Specific use: <u>The two family use</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Deck on Back of House</u>		
Contractor's name: <u>MARK W GAGNE</u>		
Address: <u>Biddeford 31 B MARCEL AVE</u>		
City, State & Zip: <u>04005</u>		Telephone: <u>2820374</u>
Who should we contact when the permit is ready: <u>Home Owner</u>		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

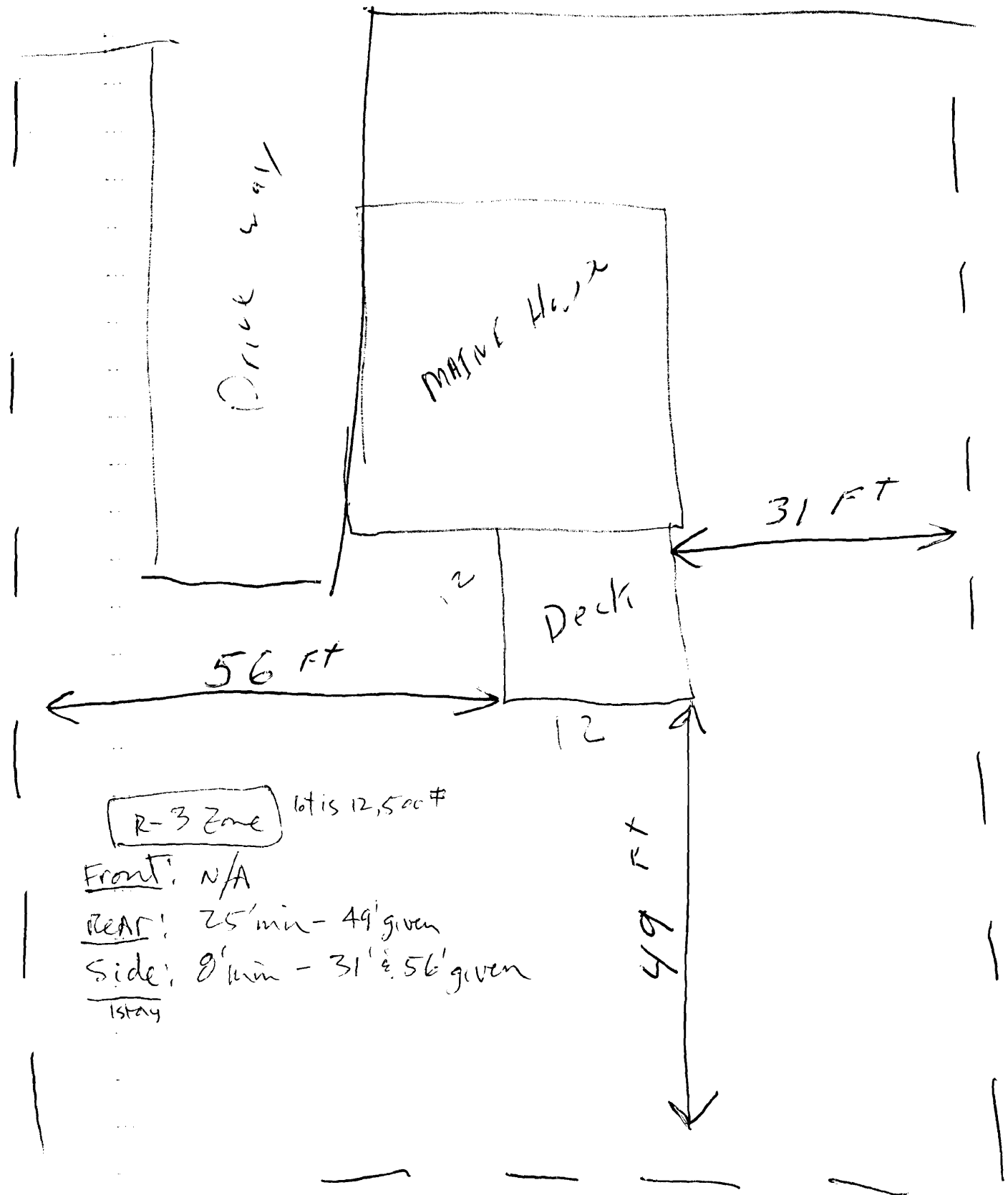
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Robert Connolly Date: 8/25/08

This is not a permit; you may not commence ANY work until the permit is issue

Street Front



R-3 Zone lot is 12,500 #

- Front: N/A
 - REAR: 25' min - 49' given
 - Side: 8' min - 31' & 56' given
- 1st day

REEI

36

34

32

30

100

3

4

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12500

125

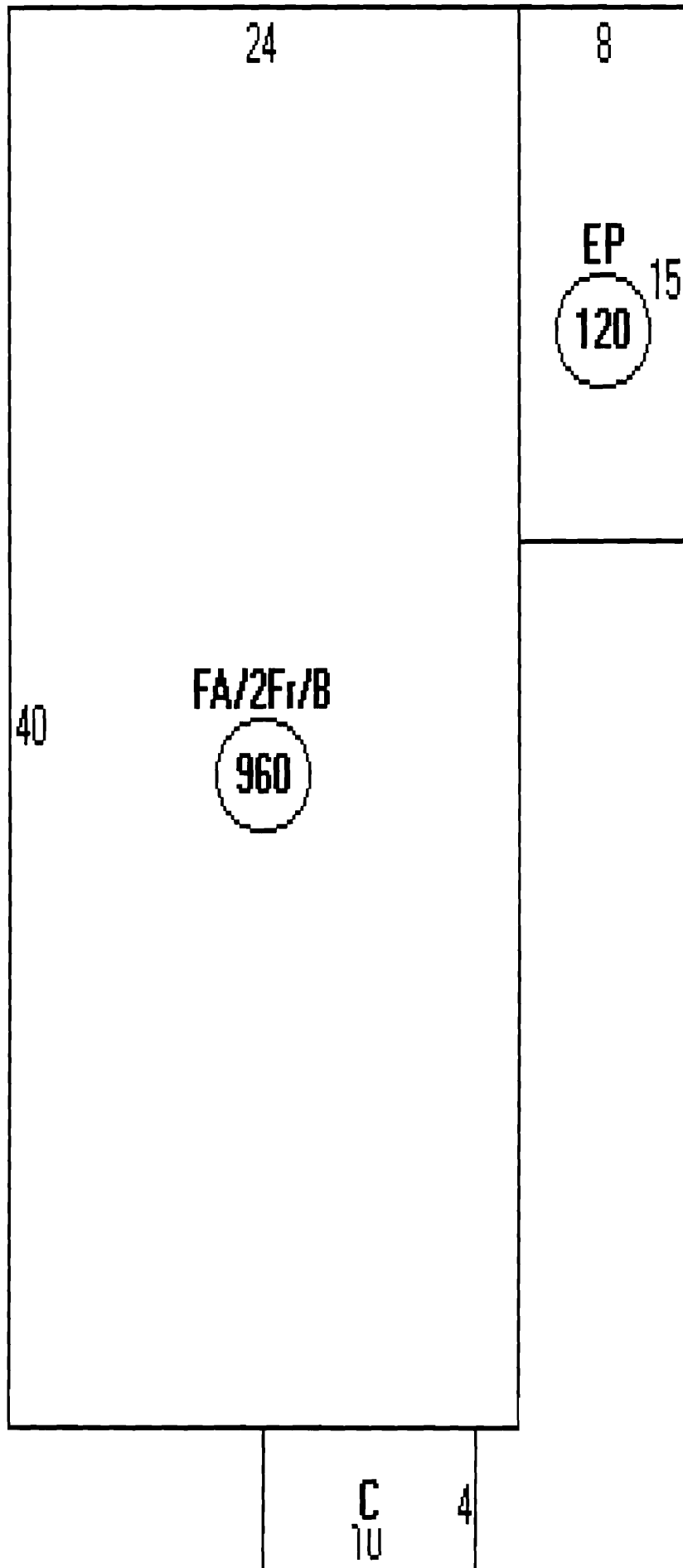
33

32

100

119

20



Descriptor/Area

A: FA/2Fr/B
960 sqft

B: EP
120 sqft

C: EP
40 sqft

DECK INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. **A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.**

2. **Type of foundation system**

- a. Diameter of concrete filled tube 8 in
 - b. depth below grade (minimum 4'-0" below grade) 48 in
 - c. anchorage of column to footing YES 3 FT
 - d. spacing of tubes
- Or**
- e. pre cast concrete pier size -
 - f. depth below grade (minimum 4'-0") NO
 - g. anchorage of column to footing
 - h. spacing of tubes

3. **Columns (members supporting framing of floor system)**

- a. wood size and type 6x6 P.T.
- b. anchorage of column to footing YES

4. **Framing Members**

- a. Ledger size attached to building 2x10 PT
- b. Lag Bolt size and spacing on ledger YES 16 IN
- c. Location of all flashing Lag 12
- d. Girder Size and spans carrying floor system 2x8 16 OC
- e. Joist size, span, and spacing YES
- f. Joist hangers or ledger 5/4 PT
- g. Decking size Copper

5. **Guardrails & Handrail Details**

- a. Guardrail height 36 in
- b. Baluster spacing 3 1/2 in
- c. Handrail height 36 in

6. **Stair Details**

- a. Tread depth (measured nosing to nosing) NO
- b. Riser height NO
- c. Nosing on tread NO
- d. Width of stairs NO

Variance