

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

**PERMIT ISSUED**  
 Permit Number: 100574  
 JUN - 1 2010  
 CITY OF PORTLAND

Please Read  
 Application And  
 Notes, if Any,  
 Attached

This is to certify that Reiter Walter Iii &/self  
 has permission to Build new 10' x 26' deck.  
 AT 72 E Kidder St

CRD 163A E007001

provided that the person or persons, firm or corporation accepting this permit shall comply with of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulati the construction, maintenance and use of buildings and structures, and of the application on file this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must b procured by owner before this builc ing or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
 Health Dept. \_\_\_\_\_  
 Appeal Board \_\_\_\_\_  
 Other \_\_\_\_\_  
Department Name

*[Handwritten Signature]*  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0574	Issue Date:	CBL: 216 163A F007001
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Location of Construction: 72 E Kidder St	Owner Name: Reiter Walter III &	Owner Address: 72 E Kidder St	Phone: 207-899-2777
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: Single Family	Proposed Use: Single Family / Build new 10' x 26' deck.	Permit Fee: \$30.00	Cost of Work: \$974.00	CEO District: 4	9750 <sup>th</sup>
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB IRC 2003		

Proposed Project Description: Build new 10' x 26' deck.	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: gg	Date Applied For: 05/26/2010	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/27/10	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If one of the property owner, owner, tenant, agent or personal property, agent or user changes on any property within the City, payment arrangements must be made before permit is any kind an approved.

Location/Address of Construction: <u>BACK YARD / 72 EAST KIDDER ST. PORTLAND, ME. 04103</u>			
Total Square Footage of Proposed Structure/Area <u>260 SP-ft.</u>		Square Footage of Lot <u>9,700 SQFT.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>163A</u> Block# <u>F</u> Lot# <u>7-16</u> <u>(#137,141)</u>		Applicant 'must be owner, Lessee or Buyer' Name <u>WALTER A. REITER III</u> Address <u>72 EAST KIDDER ST.</u> City, State & Zip <u>PORTLAND, ME. 04103</u>	Telephone: <u>207-899-2777</u>
<del>Lessee/DBA (If Applicable)</del>	<del>Owner (if different from Applicant) Name Address City, State &amp; Zip</del>		Cost Of Work \$ <u>974.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Same</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>TO ATTACH A 1 LEVEL, 10'x26' DECK TO BACK PORTION OF HOME - FOR PRIVATE/FAMILY USE ONLY. HEIGHT OF DECK WILL NOT EXCEED 2'.</u> <u>Started work</u>			
Contractor's name: <u>WALTER A REITER III, HOME OWNER</u> <u>Same</u> <u>mail</u> <u>XX</u>			
Address: _____			
City, State & Zip _____		Telephone: _____	
Who should we contact when the permit is ready _____		Telephone: _____	
Mailing address: _____			

**RECEIVED**

MAY 26 2010

Dept. of Building Inspections  
City of Portland Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Walter A Reiter III Date: 5-26-10

This is not a permit; you may not commence ANY work until the permit is issue

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0574	Date Applied For: 05/26/2010	CBL: 163A F007001
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Location of Construction: 72 E Kidder St	Owner Name: Reiter Walter III &	Owner Address: 72 E Kidder St	Phone: 207-899-2777
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family : Build new 10' x 26' deck.	Proposed Project Description: Build new 10' x 26' deck.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 05/27/2010
Note:			Ok to Issue: ✓
<ol style="list-style-type: none"> <li>1) Separate permits shall be required for future decks, sheds, pools, and/or garages.</li> <li>2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</li> <li>3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol>			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 05/28/2010
Note:			Ok to Issue: ✓
<ol style="list-style-type: none"> <li>1) The minimum size for the carrying beam for a 7'-0" span is 2 - 2" x 10"-s. You must use 2 - 2" x 10"-s.</li> <li>2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol>			

<p><b>Comments:</b></p> <p>5/26/2010-mes: the plot plan is showing only 4 5' from the side property line instead of the 8' required - Called owner &amp; he will fax me a new plot plan</p> <p>5/27/2010-mes: received revised plot plan</p>
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## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Framing inspection required.

  X   Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

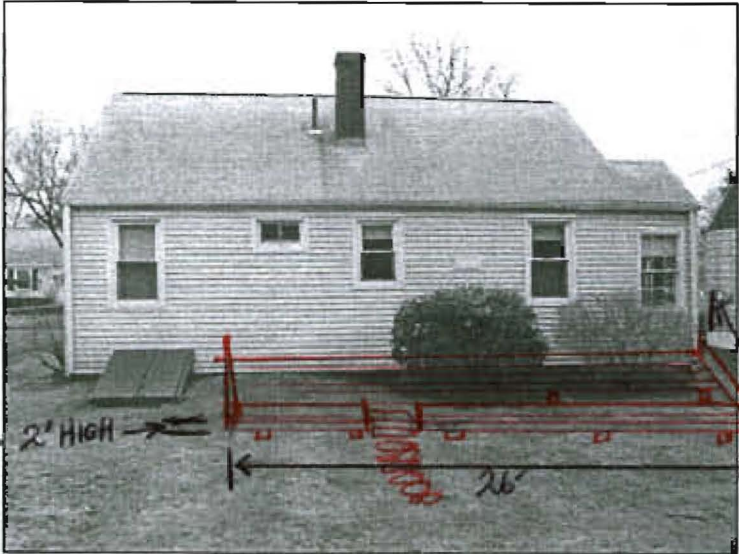
IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**PHOTOGRAPH ADDENDUM**

**Borrower or Owner** Reiter, Walter & Jean  
**Property Address** 72 East Kidder Street  
**City** Portland **County** Cumberland **State** ME **Zip Code** 04103  
**Client** Merrimack Mortgage Co., Inc



**FRONT VIEW OF  
SUBJECT PROPERTY**



**REAR VIEW OF  
SUBJECT PROPERTY**



**STREET SCENE OF  
SUBJECT PROPERTY**

303 Sable Oaks Drive  
South Portland, ME 04106  
P: 207-775-3900  
F: 207-775-3993

**Holiday Inn Express  
Hotel & Suites**

RECEIVED

**Fax**

MAY 27 2010

Dept. of Building Inspections  
City of Portland Maine

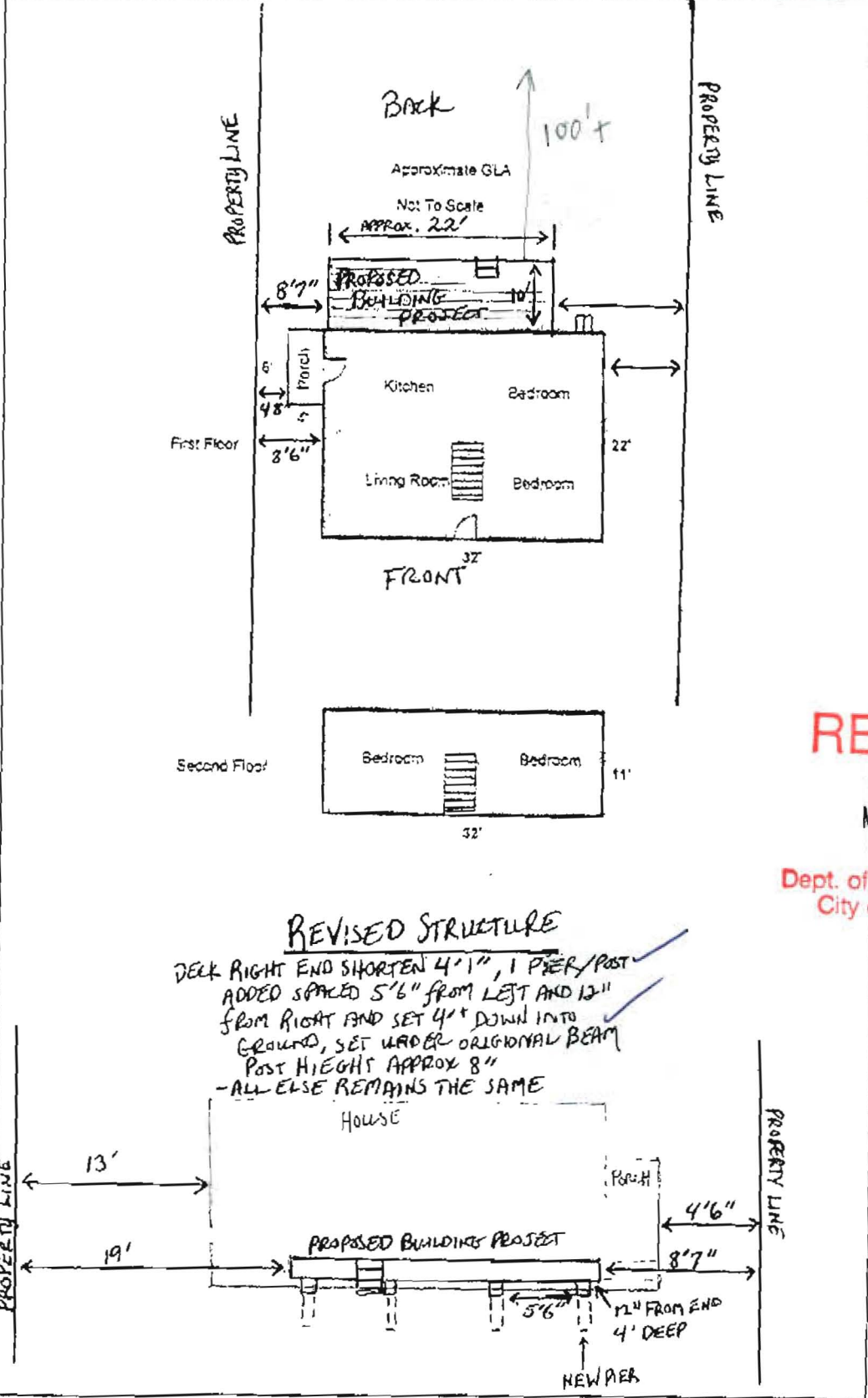
To: MARGE, CODE ENFORCE. From: WALTER, CAHEY ENGINEER  
Fax: 807-874-8716 Pages: 2  
Phone: 207-775-3900 Date: 5.27.10  
Re: REVISED PLOT PLAN FOR  
72 EAST KIDDER ST., PORTLAND CC:

Urgent  For Review  Please Comment  Please Reply  Please Recycle

MARGE - PLEASE FIND ATTACHED PLOT PLAN, REVISED REFERRED TO YESTERDAY. THANKS SO MUCH FOR GUIDING ME THROUGH THE DO'S & DON'T'S, AND BUILDING TO CODE - I'LL HAVE QUESTIONS FOR YOU REGARDING OTHER PROJECTS AT A LATER DATE. IN MEASURING THE DECK TO CUT BACK 4' I CAME TO THE OUTSIDE OF A JOIST THAT MEASURED 4'1" FROM THE PORCHES' EDGE. THIS WILL ACT AS THE OUTSIDE EDGE OF THE DECK AND ALL I NEED TO DO IS DIG FOR ANOTHER POST & PIER, IT WORKED OUT BEAUTIFULLY! REMOVAL OF THE REST IS EASY! DOWN TIME FROM THE DECK WAITING FOR PERMIT GIVES ME TIME TO WORK ON THE REST OF THE YARD AND MY 'AWARD-WINNING' GARDEN! THANKS AGAIN, MARGE, FOR ALL YOUR HELP! WALTER REITER

SKETCH ADDENDUM

Borrower or Owner Reiter, Walter & Jean  
Property Address 72 East Kidder Street  
City Portland County Cumberland State ME Zip Code 04103  
Client Merrimack Mortgage Co., Inc



R-5 Zone

REAR: 20' min  
100'+  
Show

Side: 8' min  
8'7" show

FRONT: 20' min  
20'+ Show

*[Signature]*

RECEIVED

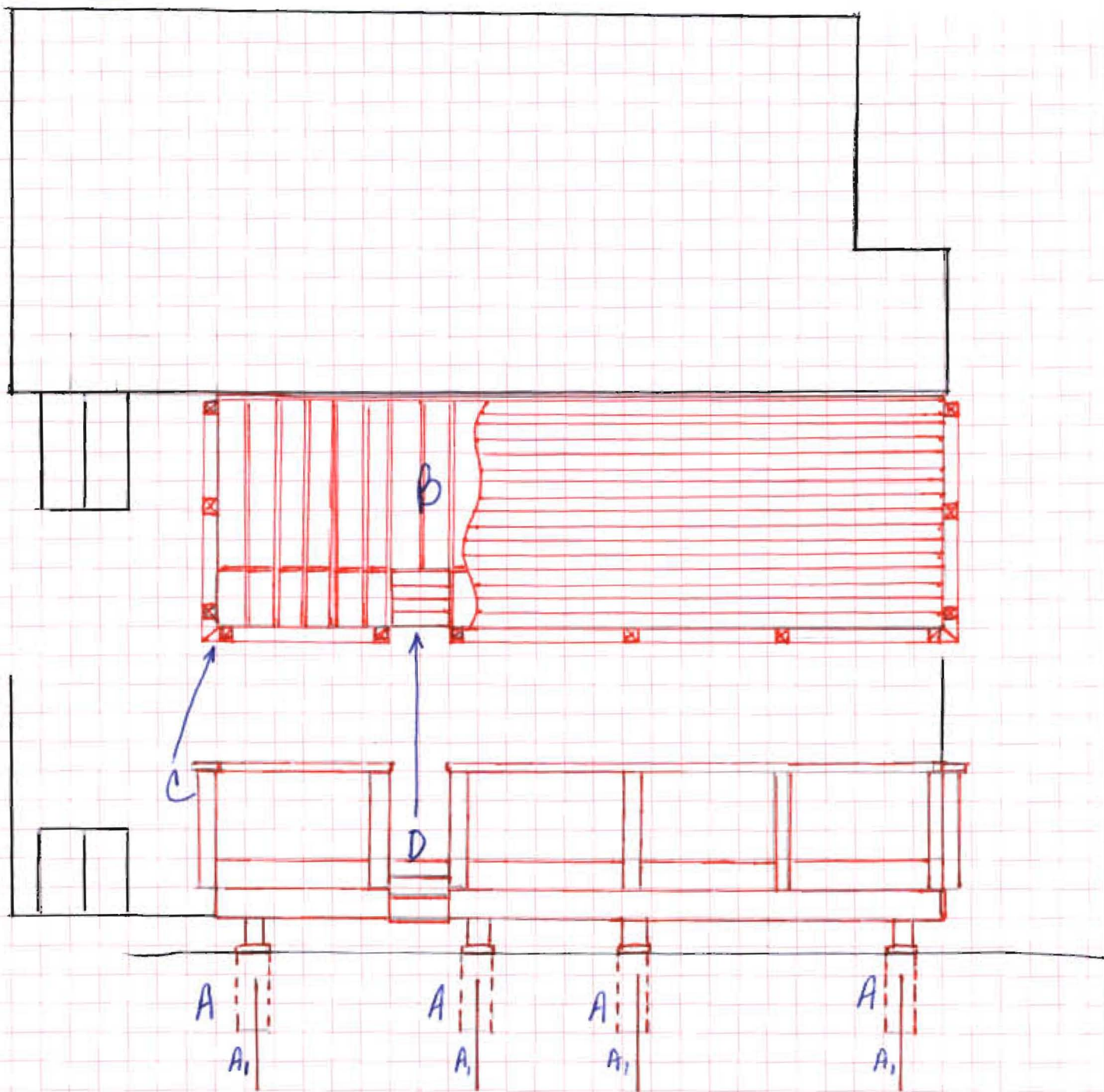
MAY 27 2010

Dept. of Building Inspections  
City of Portland Maine

**REVISED STRUCTURE**

DECK RIGHT END SHORTEN 4'1", 1 PIER/POST  
ADDED SPACED 5'6" FROM LEFT AND 12"  
FROM RIGHT AND SET 4" DOWN INTO  
GROUND, SET UNDER ORIGINAL BEAM  
POST HEIGHT APPROX 8"  
- ALL ELSE REMAINS THE SAME






### A. FOUNDATION

- 8" DIAMETER CONCRETE FILLED TUBES 4' DEPTH ✓
- $A_1$  BECAUSE OF CLAY 3' DEEP (APPROX.) 4' REBAR DRIVEN 2' LOWER FOR SECURITY
- PIERS SET 18" IN FROM ENDS (OUTSIDE) 10" IN FROM ENDS (INSIDE)
- 4x4 POST SET INTO GALVANIZED POST ANCHORS - 4x4, J-BOLT SET INTO CONCRETE

### B. FRAMING/DECKING

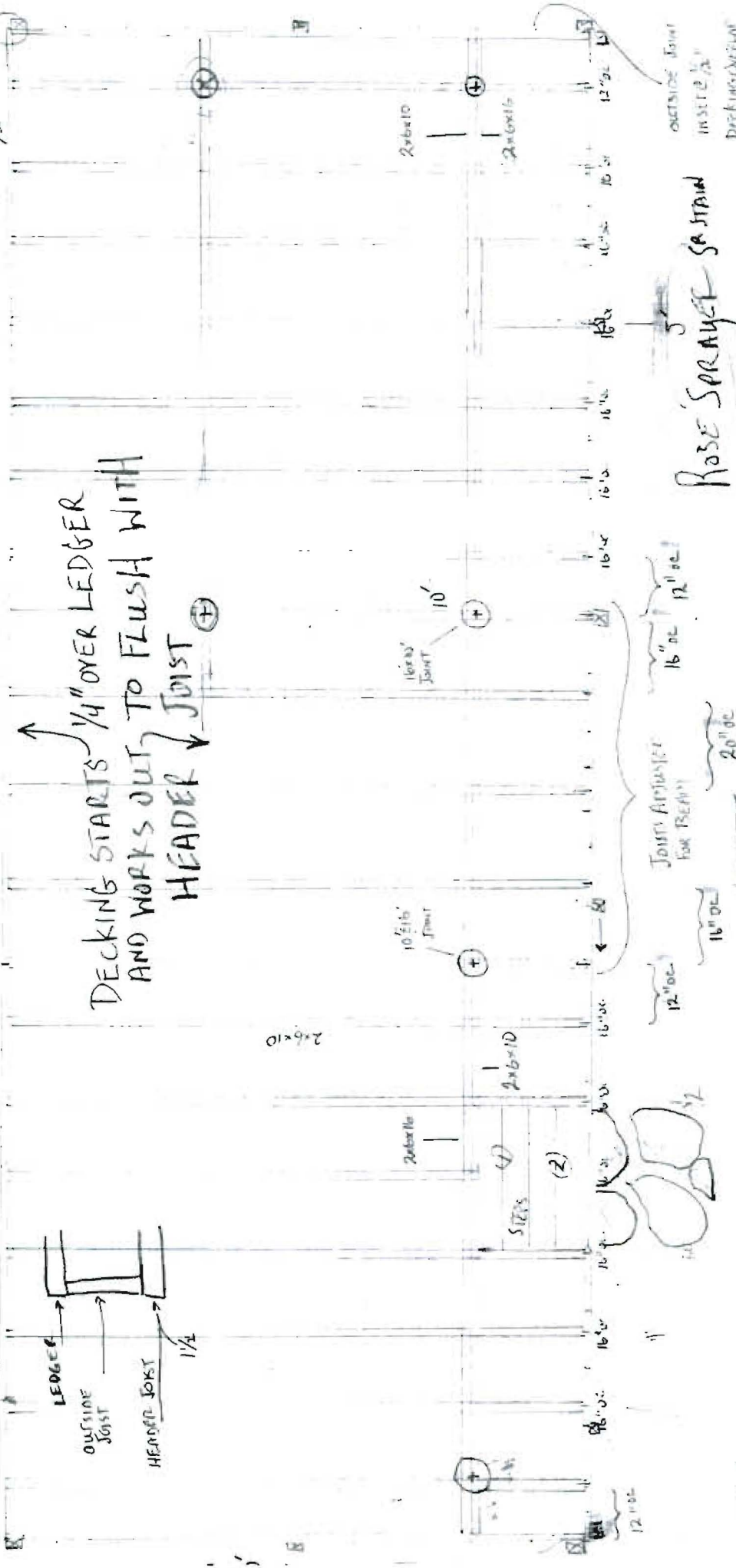
- POST of PRESSURE TREATED 4x4 @ HEIGHT BETWEEN 4" TO 8" ATTACH TO BEAM of DOUBLE 2x6'S FASTENED W/ GALVANIZED BEAM SADDLES. CANTILEVER STYLE SET 8" OUT FROM HOUSE, 2" BACK FROM END
- 2x6'S AS LEDGER BOARD ATTACHED TO HOUSE W/ HOT TIPPED GALVANIZED 3/8" x 4" LAG SCREWS SET 3" IN @ ENDS AND SPACED 2' APART IN PARS  LEDGER FLASHING ON TOP
- JOISTS of 2x6 x N SET 12" IN @ ENDS AND 16" OC FOR REST of SPAN. HUNG TO LEDGER BOARD W/ GALVANIZED JOIST HANGERS

TAR PAPER BEHIND

OVER →

- 2x6x16-4 ✓
- 2x6x12-2 ✓
- 1x2x8-2 ✓
- 2x8x8-1 ✓
- 2x24" Joist Doors - 1 ✓
- MATS - 1lb. 8. 16 ✓
- 3/8"x8 Scaffolding - 3 ✓
- LAG SCREWS - 3x2x12-24
- HIMMLES - 21
- CORNER BRACKETS (RESIST.)
- POST HOLES - 5
- DRUM BOLTS (S)

**FLASHING**  
Z BAR 3x10'



DECKING STARTS 1/4" OVER LEDGER AND WORKS OUT TO FLUSH WITH HEADER JOIST

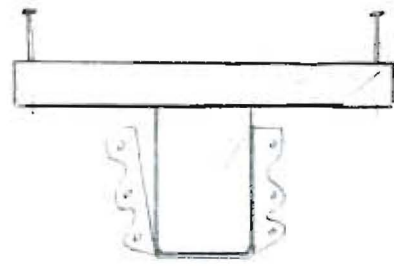
ROSE SPRAY STAND

BRUSH - 5 / 12x6x12/T-15  
1 @ 2x8x8 (16S)  
CARRIAGE BOLTS 3/8"x6"-24  
LAG SCREWS 26

EVERY 2'-3" IN @ JOISTS

11  
10

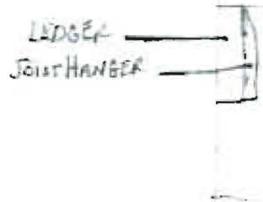
# BUILD JOIST HANGER JIG



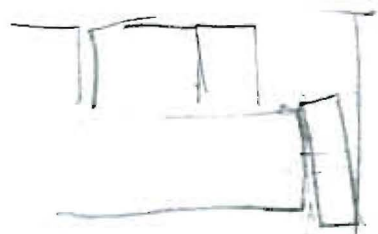
1<sup>ST</sup> - 3/8" PILET HOLES IN LEDGER BOARDS

2<sup>ND</sup> - AFTER ATTACHING LEDGER, ATTACH JOIST HANGERS @ POINTS WHERE POSTS WILL BE - GUAGE HEIGHT POSTS

SPRIT LEVEL → SLIGHT DOWNGRADE FOR RUNOFF - DO SO BY CUTTING POSTS  
10' 0' 4'



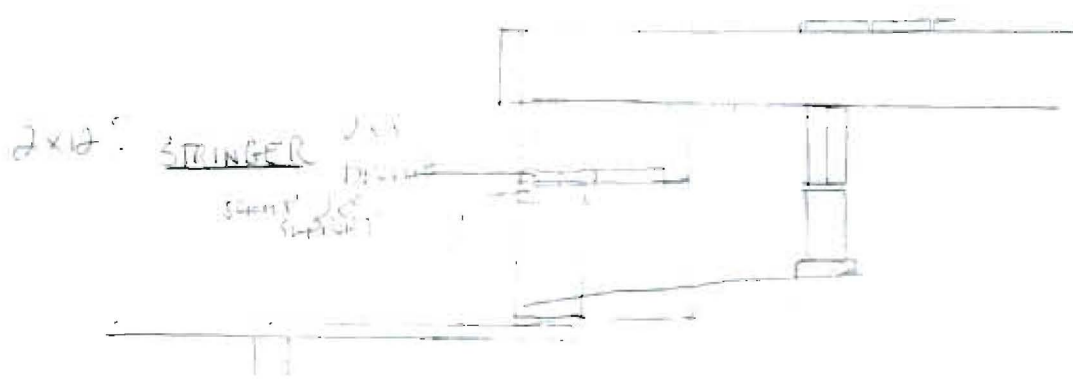
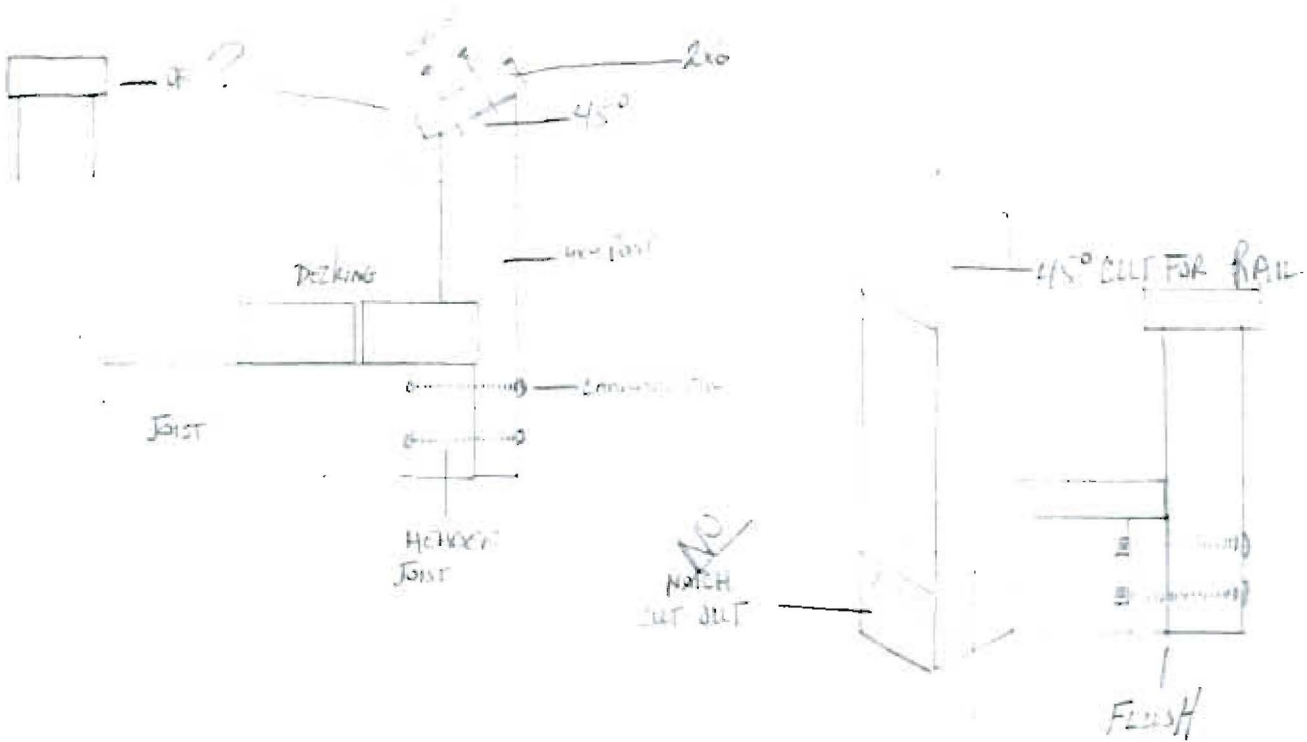
- #1  $9 \frac{7}{8} - 5 \frac{1}{8} = 4 \frac{3}{8}$  ( $4 \frac{2}{8}$ )
- #2  $12 \frac{3}{8} - 5 \frac{1}{8} = 6 \frac{7}{8}$
- #3  $14 - 5 \frac{1}{8} = 8 \frac{4}{8}$
- #4  $15 \frac{1}{2} - 5 \frac{1}{8} = 10 \frac{2}{8}$
- #5  $10 \frac{1}{2} - 5 \frac{1}{8} = 5 \frac{2}{8}$



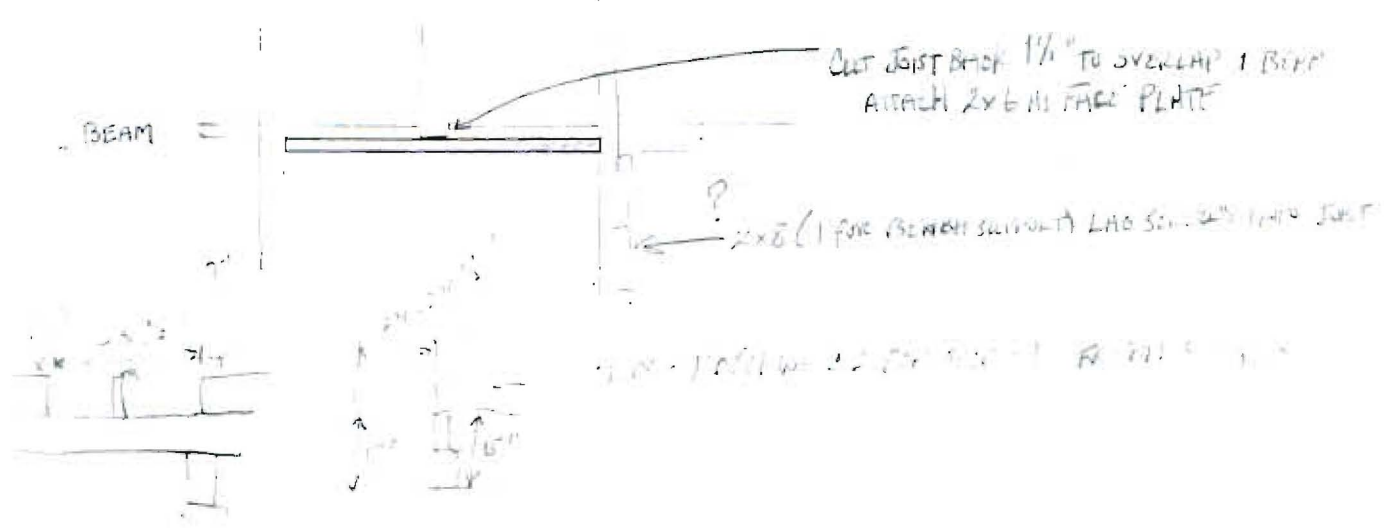
PIERS SET TO DEPTH of 36"  
PAST FROST LINE  
\* ADD 4' REBAR FOR STABILITY

Actual for 5' 26 1/4"

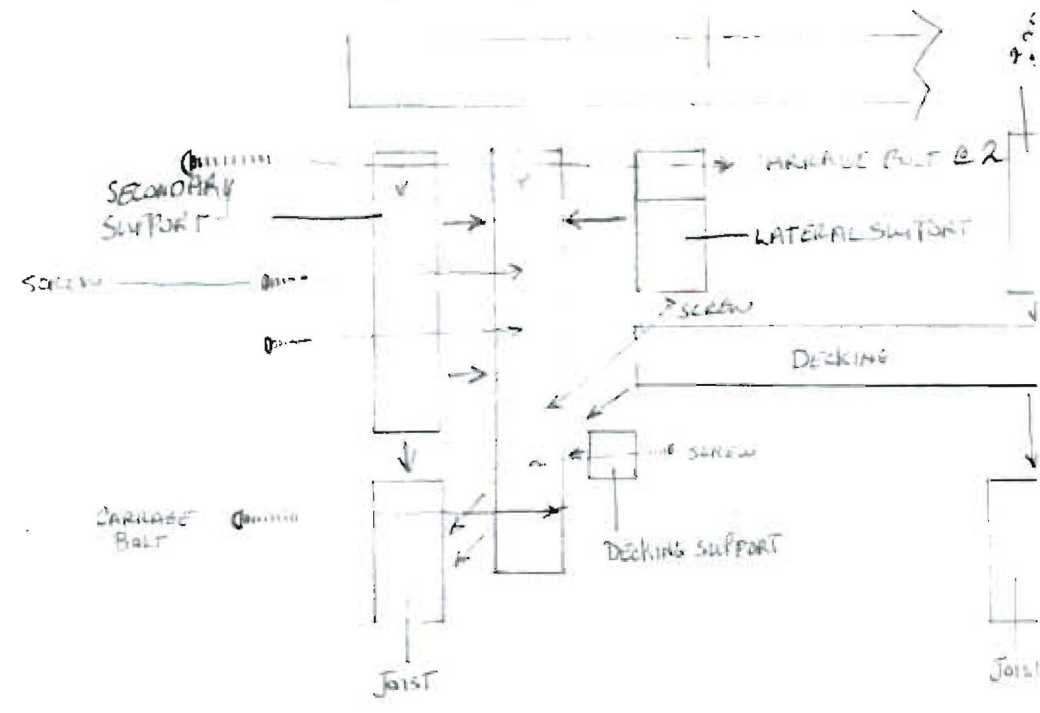
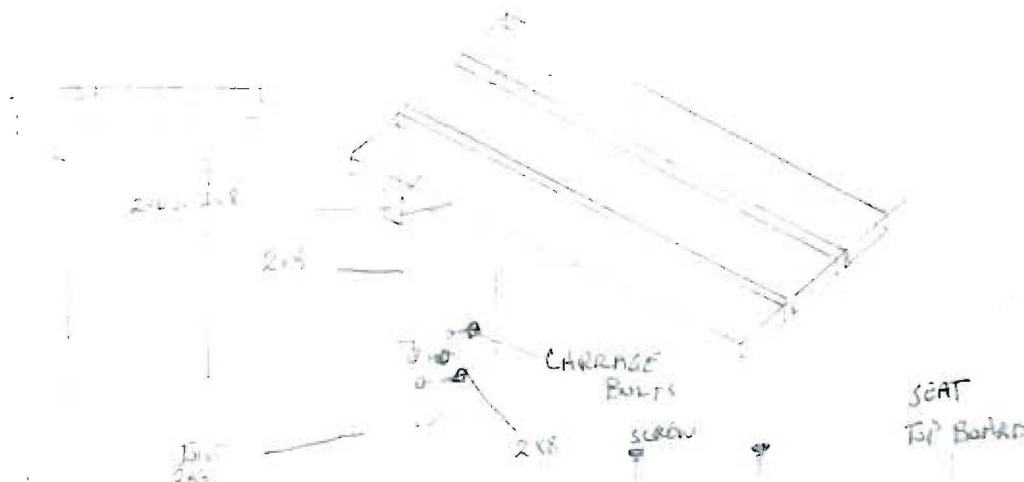
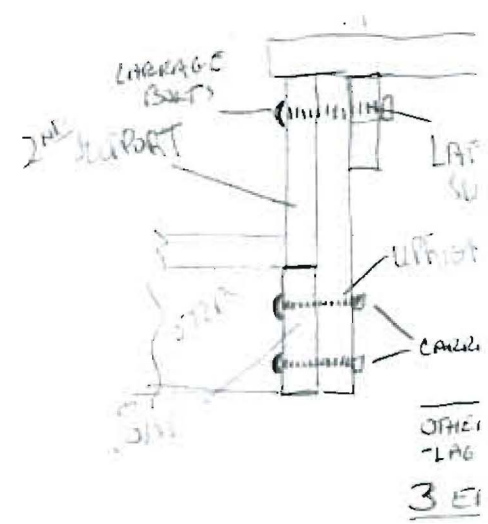
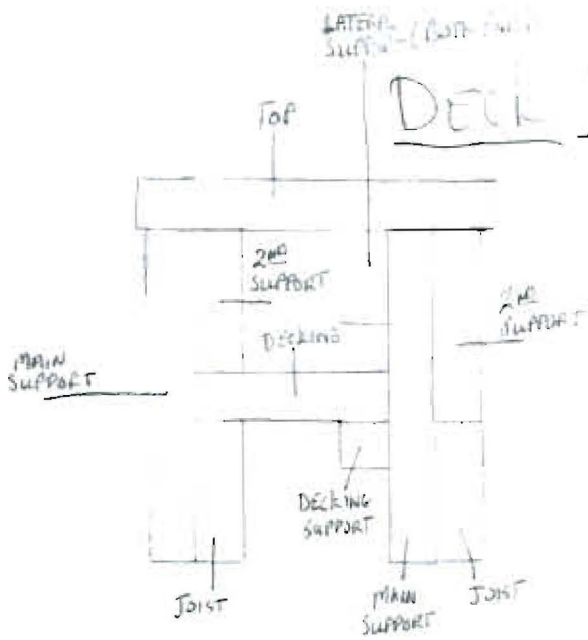
POST & RAIL

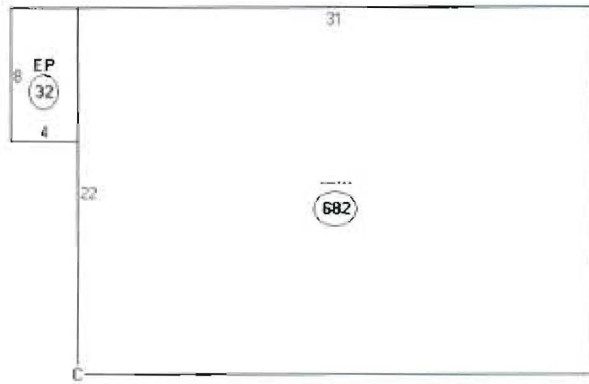


HEADER JOIST



# DECK BENCH





Descriptor/Area

- A.....  
682 sqft
- B-EP  
32 sqft
- C,RS1  
96 sqft