

**EROSION CONTROL MEASURES**

In order to minimize erosion control problems resulting from the construction activities associated with this project, erosion control measures will be installed and/or followed prior to, during and after construction. Temporary and permanent measures for this project will consist of the following.

**CONTRACTOR RESPONSIBILITIES:**

Prior to the start of construction, the General Contractor for the project will meet with the Project Engineer to ensure compliance and understanding of the proposed measures. The Contractor will be made aware of the need to minimize all disturbances of the site and the need to install the recommended erosion control measures.

**SILT FENCE**

At the start of construction, silt fencing will be installed where indicated on this Site Plan. Silt Fencing will also be required around any stockpile areas created during construction of the driveway and parking.

**STONE CHECK DAMS:**

Contractor to install stone check dams where indicated on this Site Plan after preliminary grading. See Sheet 2 for construction details.

**CATCH BASIN SEDIMENT FILTER**

After catch basin hds been set, Contractor to install Dandy Bag sediment filter, or equivalent. Refer to Sheet 2 for installation details.

**STONE CHECK DAM**

After preliminary grading, Contractor to install stone check dams in the locations shown on this Site Plan. See Sheet 2 for details.

**FINAL GRADING AND SEEDING**

During final grading, 4 inches of topsoil will be placed over all disturbed areas. After final grading is complete, the site will be limed, fertilized and seeded to stabilize fill and disturbed areas. After seeding, all areas will be mulched with hay. The Contractor will be responsible for monitoring the seeded areas after all rainfall events and at least once a week, to insure an adequate take of the seeds. Areas that have not started grass will be reseeded and mulched.

**SITE MONITORING**

The Developer and Contractor will be responsible for monitoring all erosion control measures. If there is a build up of sediment, it will be removed. Any breaks in the silt fence will be immediately repaired. After the site has become stabilized, measures will be removed along with any built-up sediment.

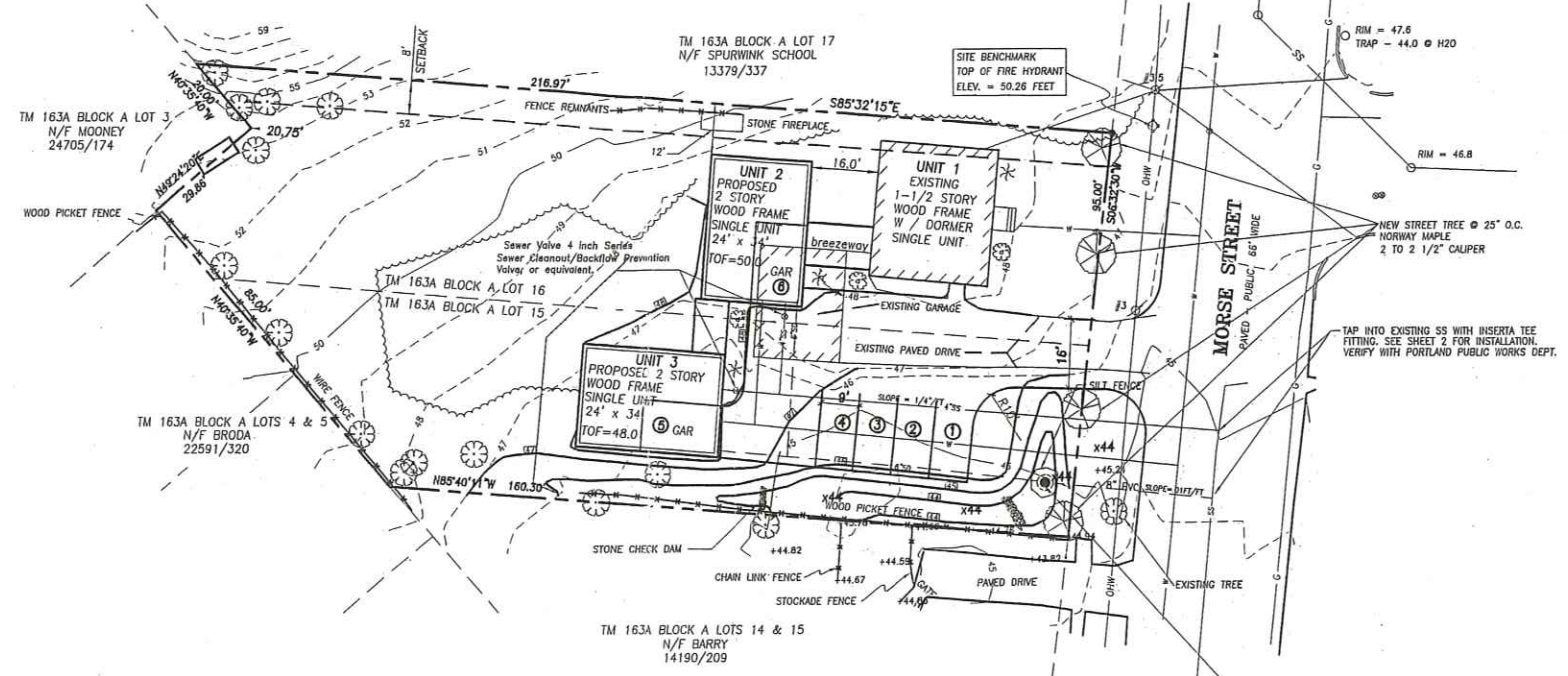
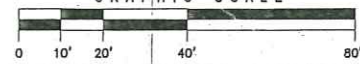
**PLAN REFERENCES:**

- STANDARD BOUNDARY SURVEY, PROPERTY & SITE PLAN, 38 MORSE STREET - PORTLAND, MAINE, MADE FOR RECORD OWNER: ROBERT C. NELSON, 47 ALICE CT. - PORTLAND, ME. 04103 DATED OCTOBER 03, 2006 BY JOHN D. PALMITER.
- CITY OF PORTLAND'S ASSESSOR'S PLANS.
- PARKING SPACES ARE 9' x 18'.
- LOT AREA = 18,919 S.F.

**LEGEND:**

- IRON PIPE OR ROD FOUND
- GAS VALVE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- MANHOLE
- FENCE
- STONE WALL
- CURB
- OHW OVERHEAD WIRES
- W WATER LINE
- G GAS LINE
- SS SANITARY SEWER
- 100' 1' EXISTING CONTOUR
- +44.82 EXISTING SPOT GRADE
- 12' 1' EXISTING CONTOUR
- DECIDUOUS TREE
- MUGO PINE
- MOUNTAIN LAUREL
- UNIT AND PARKING SPACE NUMBER
- SILT FENCE
- STONE CHECK DAM

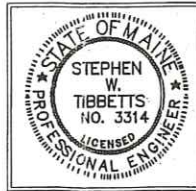
**GRAPHIC SCALE**



**NOTE:**  
BOLD CONTOURS AND NUMBERED PARKING SPACES ARE PROPOSED

**NOTES:**

- OWNER OF RECORD IS ROBERT C. NELSON, 24297/023, CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
- BEARINGS AND BOUNDARY INFORMATION ARE TAKEN FROM PLAN REFERENCE 1.
- SUBJECT PROPERTY IS SHOWN AS LOTS 15 & 16, BLOCK A, ON MAP 163A OF THE CITY OF PORTLAND'S ASSESSOR'S PLAN.
- ELEVATIONS ARE ON CITY OF PORTLAND DATUM. SITE BENCHMARK IS THE TOP OF A FIRE HYDRANT SHOWN ON PLAN. ELEVATION = 50.26 FEET.
- THE SUBJECT PROPERTY LIES IN ZONE R-5, RESIDENTIAL, AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:  
MINIMUM LOT SIZE: 6,000 SQUARE FEET  
MINIMUM LOT AREA PER DWELLING UNIT: 3,000 SQUARE FEET  
MINIMUM STREET FRONTAGE: 50 FEET  
MINIMUM YARD DIMENSIONS:  
FRONT YARD: 20 FEET  
REAR YARD: 8 FEET  
PRINCIPAL OR ATTACHED ACCESSORY STRUCTURES: 20 FEET  
ACCESSORY DETACHED STRUCTURES LESS THAN 100 SQUARE FEET: 5 FEET  
SIDE YARD: 1 STORY:  
1 1/2 STORIES: 8 FEET  
2 STORIES: 12 FEET  
2 1/2 STORIES: 14 FEET  
MAXIMUM LOT COVERAGE: 40%  
MINIMUM LOT WIDTH: MULTIFLEX: 90 FEET OTHER USES: 60 FEET  
MAXIMUM STRUCTURE HEIGHT:  
PRINCIPAL OR ATTACHED ACCESSORY STRUCTURES: 35 FEET  
ACCESSORY DETACHED STRUCTURES LESS THAN 100 SQUARE FEET: 18 FEET
- THE 6" STORM DRAIN IS FOR FOUNDATION DRAINS AND ROOF GUTTER CONNECTIONS.
- CONTRACTOR TO REFER TO DRAWING 2 FOR ALL CONSTRUCTION DETAILS ASSOCIATED WITH THIS SITE PLAN.
- BOUNDARY AND TOPOGRAPHY TAKEN FROM PLAN BY OWEN HASKELL, INC.
- FENCE AND EXISTING TREES ALONG SOUTHERLY AND WESTERLY LINE TO REMAIN.



Engineering:  
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*app. 9-28-2009  
now superseded by  
amendment app. 3-18-2010*

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**AUG 14 2009**

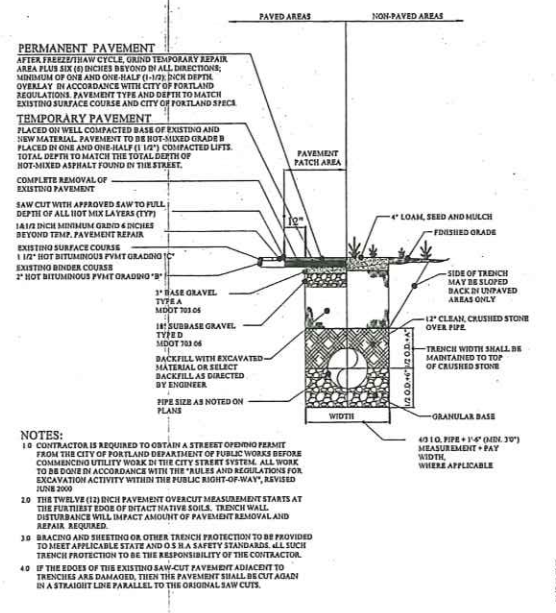
City of Portland  
Planning Division

REV.5	8-5-09	REVISED DRAINAGE PER CITY REQUIREMENTS.
REV.4	10-25-08	MOVED UNIT 2 4' TO MEET SETBACKS
REV.3	10-17-08	PROPOSED CONTOURS ADDED
REV.2	08-29-08	CHANGED UNIT 2 AND ADDED UNIT 3
REV.1	04-11-08	LOT LINE ADJUSTED, AREA CHANGED

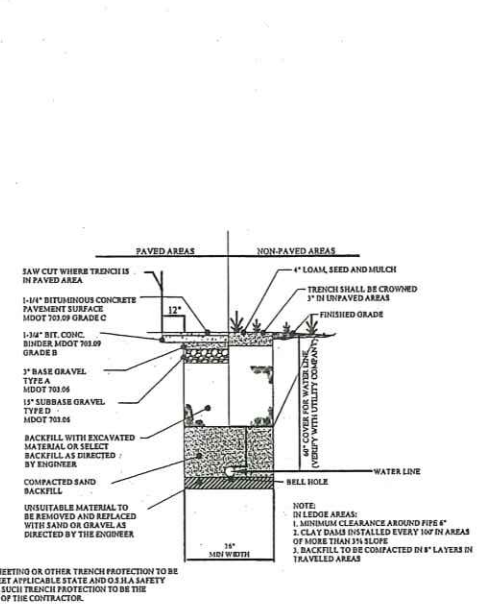
**SITE PLAN**  
AT  
38 MORSE STREET, PORTLAND, MAINE  
MADE FOR  
**ROBERT C. NELSON**  
47 ALICE COURT, PORTLAND, MAINE

**OWEN HASKELL, INC.**  
16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424  
PROFESSIONAL LAND SURVEYORS

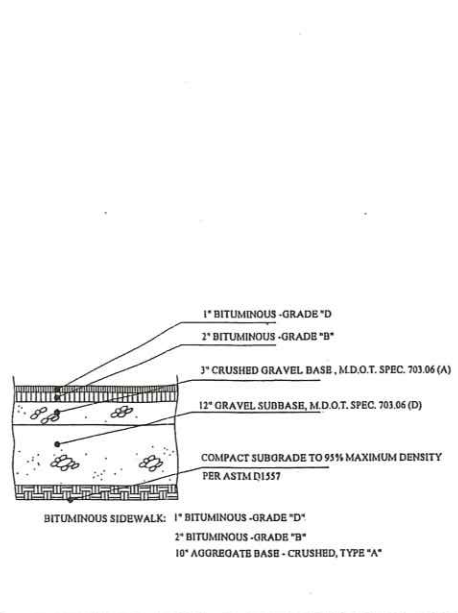
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Trace By	RWC	Scale	1" = 20'	Drwg. No.	1
Check By	JMW				
Book No.	1080				



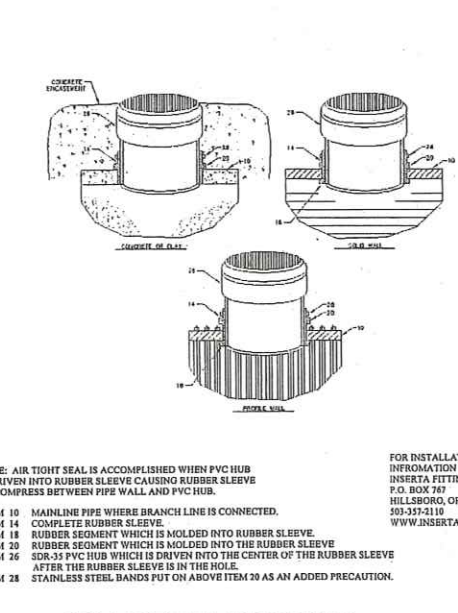
1 TYPICAL UTILITY PIPE TRENCH SECTION  
NOT TO SCALE



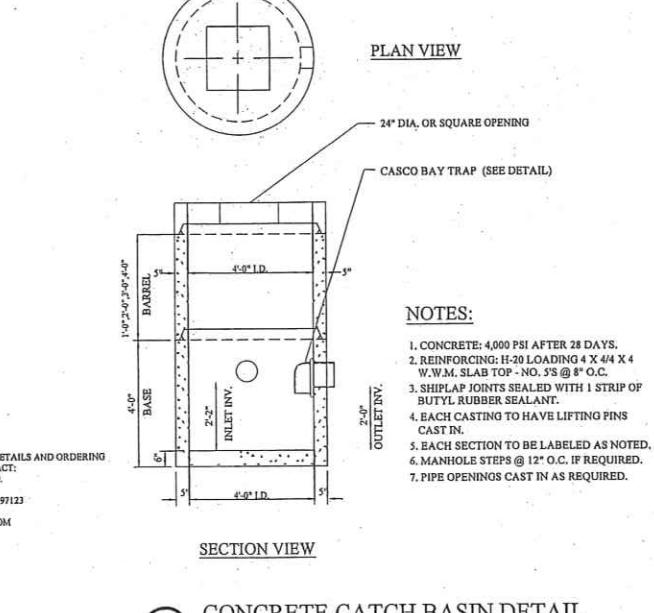
2 WATER LINE TRENCH  
NOT TO SCALE



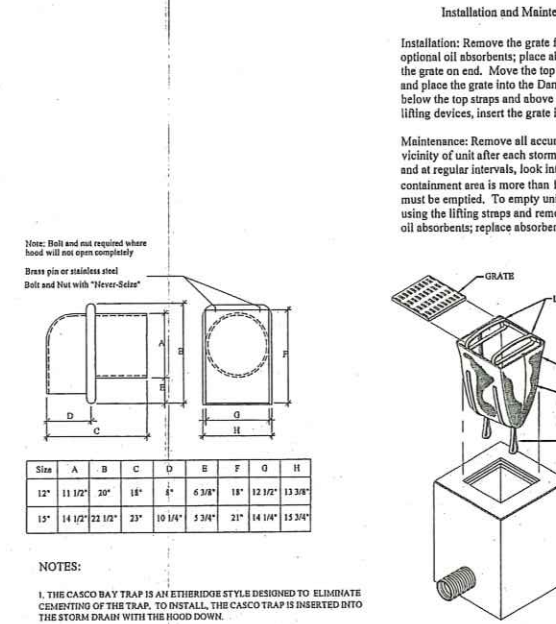
3 PARKING AREA PAVEMENT SECTION  
NOT TO SCALE



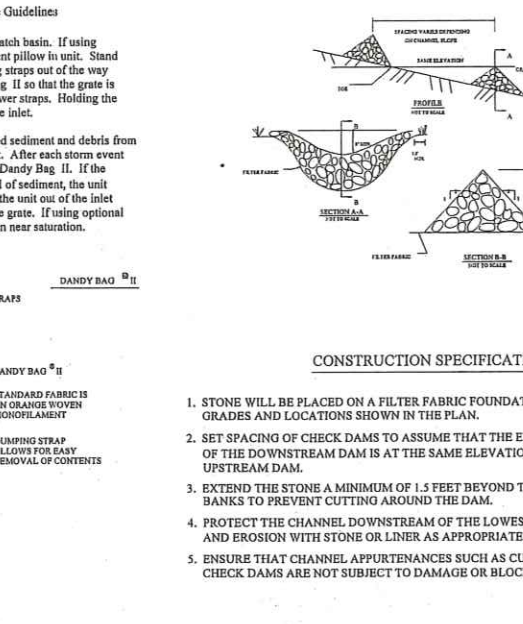
4 INSERTA TEE DETAIL  
NOT TO SCALE



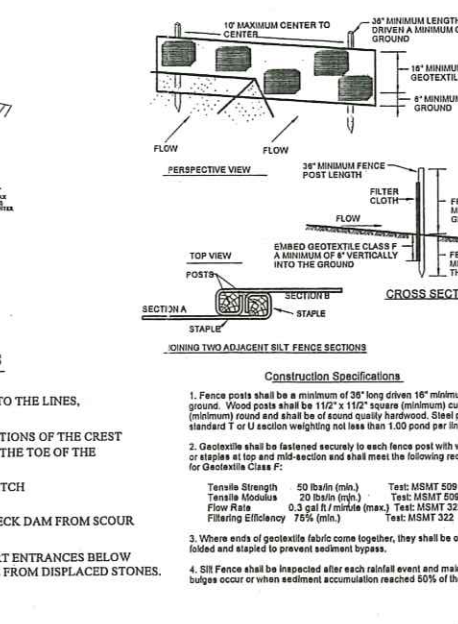
5 CONCRETE CATCH BASIN DETAIL  
NOT TO SCALE



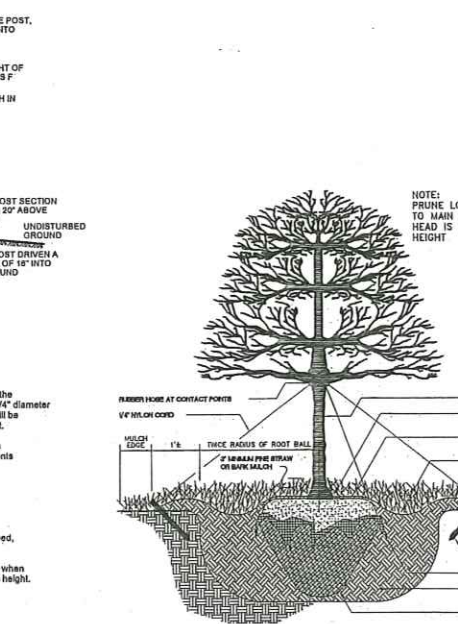
6 CASCO BAY TRAP DETAIL  
NOT TO SCALE



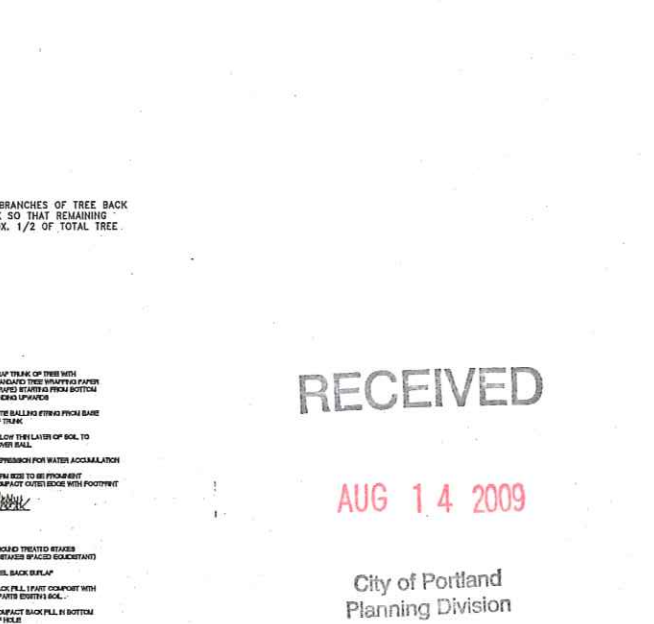
7 DANDY BAG II CATCH BASIN SEDIMENT FILTER  
NOT TO SCALE



8 STONE CHECK DAM DETAIL  
NOT TO SCALE



9 SILT FENCE DETAIL  
NOT TO SCALE



10 STAKING AND PLANTING TREE DETAIL  
NOT TO SCALE

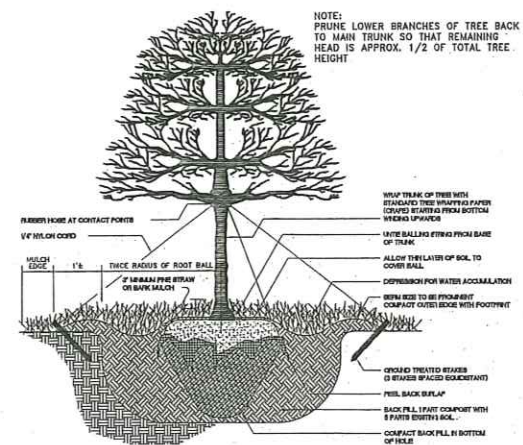
**Installation and Maintenance Guidelines**

**Installation:** Remove the grate from catch basin. If using optional oil absorbents, place absorbent pillow in unit. Stand the grate on end. Move the top lifting straps out of the way and place the grate into the Dandy Bag II so that the grate is below the top straps and above the lower straps. Holding the lifting devices, insert the grate into the inlet.

**Maintenance:** Remove all accumulated sediment and debris from vicinity of unit after each storm event. After each storm event and at regular intervals, look into the Dandy Bag II. If the containment area is more than 1/3 full of sediment, the unit must be emptied. To empty unit, lift the unit out of the inlet using the lifting straps and remove the grate. If using optional oil absorbents, replace absorbent when near saturation.

- CONSTRUCTION SPECIFICATIONS**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
  - SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
  - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
  - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
  - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

- Construction Specifications**
- Fence posts shall be a minimum of 28" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
  - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:  
Tensile Strength 50 lb/ft (min.) Test: MSMT 509  
Tensile Modulus 20 lb/in (min.) Test: MSMT 508  
Flow Rate 0.3 gal ft / minute (max.) Test: MSMT 322  
Filtering Efficiency 75% (min.) Test: MSMT 322
  - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
  - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.



10 STAKING AND PLANTING TREE DETAIL  
NOT TO SCALE

**NOTE:**  
THESE CONSTRUCTION DETAILS REFERENCE THE SITE PLAN FOR 38 MORSE STREET, PORTLAND, MAINE, DATED APRIL 4, 2008, AND REVISED ON AUGUST 5, 2009.

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Planning Division

REV. 5 | 8-5-09 | ADDED NOTE AND STAMP

**SITE DETAILS**  
AT  
38 MORSE STREET, PORTLAND, MAINE.  
MADE FOR  
**ROBERT C. NELSON**  
47 ALICE COURT, PORTLAND, MAINE

**OWEN HASKELL, INC.**  
16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424  
PROFESSIONAL LAND SURVEYORS

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UNIT 1 FRONT ELEVATION UNIT 2

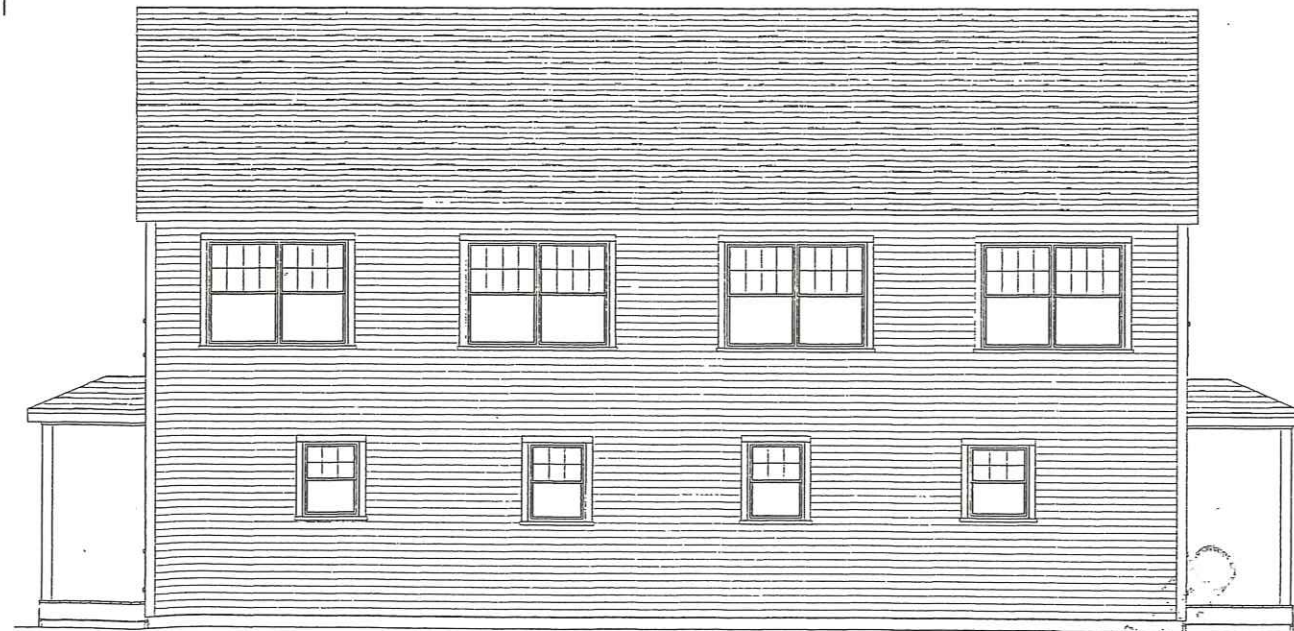


RIGHT ELEVATION UNIT 2

NOTE: ALL WINDOWS  
U-FACTOR = .31



LEFT ELEVATION UNIT 1



UNIT 2 REAR ELEVATION UNIT 1



THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES FOR THE CONSTRUCTION OF THIS PROJECT. PALAZZA RES. DESIGN INC. OR ITS ARCHITECTS DO NOT GUARANTEE THAT THESE PLANS WILL BE CONFORMANT WITH ALL APPLICABLE BUILDING CODES. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THAT THESE PLANS COMPLY WITH ALL APPLICABLE BUILDING CODES AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECTS AND DESIGNERS ASSUME NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE ARCHITECTS AND DESIGNERS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO PALAZZA RES. DESIGN INC. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AND FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES FOR THE CONSTRUCTION OF THIS PROJECT. PALAZZA RES. DESIGN INC. OR ITS ARCHITECTS DO NOT GUARANTEE THAT THESE PLANS WILL BE CONFORMANT WITH ALL APPLICABLE BUILDING CODES. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THAT THESE PLANS COMPLY WITH ALL APPLICABLE BUILDING CODES AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECTS AND DESIGNERS ASSUME NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE ARCHITECTS AND DESIGNERS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO PALAZZA RES. DESIGN INC. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AND FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

CONTRACTOR:  
  
PROJECT NAME:  
**NELSON  
DUPLEX  
MORSE STREET**

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DATE	09/26/2019
SCALE	AS NOTED
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FILE	
SHEET	1 OF 1

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38 Morse St. as approved site plan



UNIT 1 FRONT ELEVATION UNIT 2

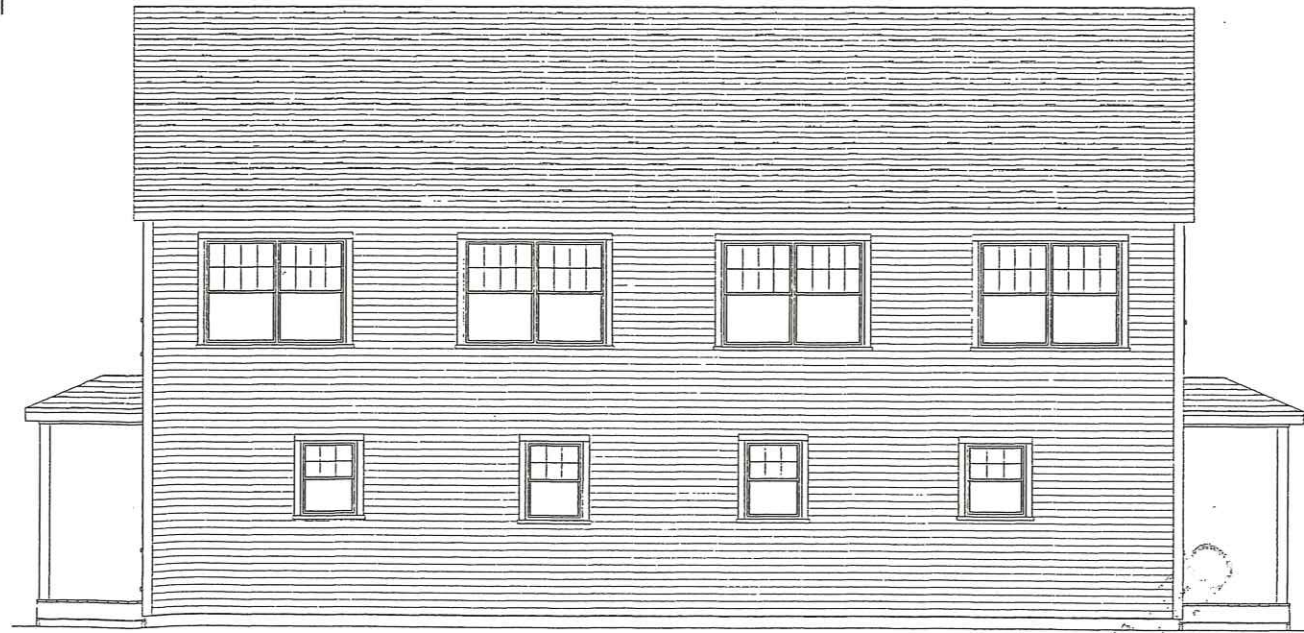


RIGHT ELEVATION UNIT 2

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LEFT ELEVATION UNIT 1



UNIT 2 REAR ELEVATION UNIT 1



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CONTRACTOR:

PROJECT NAME:  
NELSON  
DUPLEX  
MORSE STREET

REVISIONS

DATE: October 26, 2019  
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Building Inspection  
Portland Maine

38 Morse St - 60 approved



UNIT 1

FRONT ELEVATION

UNIT 2



RIGHT ELEVATION UNIT 2

NOTE: ALL WINDOWS  
U-FACTOR = .31



LEFT ELEVATION UNIT 1



UNIT 2

REAR ELEVATION

UNIT 1



THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES AND NOT A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL REGULATIONS WITH THE APPLICABLE BUILDING CODES. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND FOR VERIFYING ALL REGULATIONS WITH THE APPLICABLE BUILDING CODES. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND FOR VERIFYING ALL REGULATIONS WITH THE APPLICABLE BUILDING CODES. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND FOR VERIFYING ALL REGULATIONS WITH THE APPLICABLE BUILDING CODES. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND FOR VERIFYING ALL REGULATIONS WITH THE APPLICABLE BUILDING CODES.

CONTRACTOR:

PROJECT NAME:  
**NELSON  
DUPLEX  
MORSE STREET**

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Portland Maine

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38 Morse St - as approved



UNIT 1

FRONT ELEVATION

UNIT 2



RIGHT ELEVATION UNIT 2

NOTE: ALL WINDOWS  
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LEFT ELEVATION UNIT 1



UNIT 2

REAR ELEVATION

UNIT 1



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CONTRACTOR:

PROJECT NAME:  
NELSON  
DUPLIX  
MORSE STREET

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Building Inspection  
Portland Maine

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DATE	DESCRIPTION
SCALE	AS NOTED
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38 Morse St  
As approved



UNIT 1 FRONT ELEVATION UNIT 2

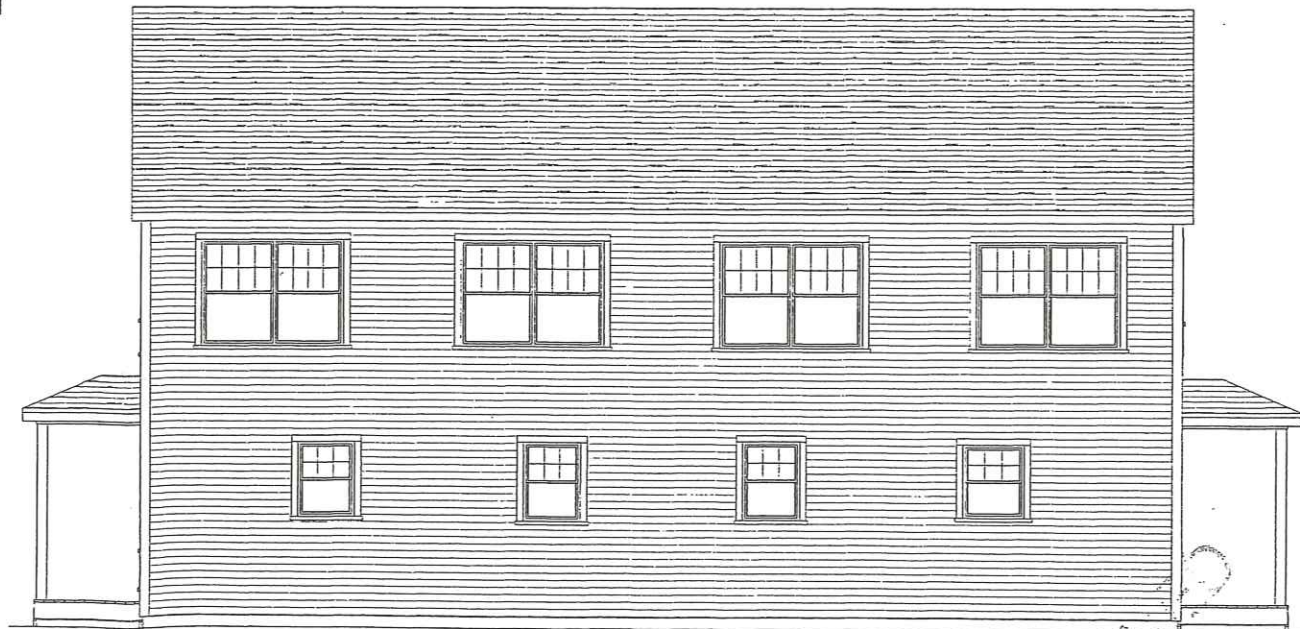


RIGHT ELEVATION UNIT 2

NOTE: ALL WINDOWS  
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LEFT ELEVATION UNIT 1



UNIT 2 REAR ELEVATION UNIT 1



THIS PLAN HAS BEEN PREPARED ONLY AS A GENERAL REFERENCE FOR THE CONSTRUCTION OF THIS PROJECT. PEAK ARCHITECTS, INC. OR PETER PAN AND CO. DO NOT GUARANTEE THAT THESE PLANS COMPLY WITH ALL APPLICABLE BUILDING CODES. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THAT ALL APPLICABLE BUILDING CODES HAVE BEEN OBTAINED AND THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED. PEAK ARCHITECTS, INC. OR PETER PAN AND CO. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCURRED. THE OWNER AND/OR BUILDER SHOULD TAKE ALL APPROPRIATE PRECAUTIONS TO INSURE THAT THE CONTRACTOR OF THIS PROJECT COMPLETES ALL WORK IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ALL PERMITS OBTAINED. PEAK ARCHITECTS, INC. OR PETER PAN AND CO. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCURRED. THE OWNER AND/OR BUILDER SHOULD TAKE ALL APPROPRIATE PRECAUTIONS TO INSURE THAT THE CONTRACTOR OF THIS PROJECT COMPLETES ALL WORK IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ALL PERMITS OBTAINED.

CONTRACTOR:

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DUPLEX  
MORSE STREET

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Portland Maine

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38 Morse St  
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UNIT 1 FRONT ELEVATION UNIT 2



RIGHT ELEVATION UNIT 2

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LEFT ELEVATION UNIT 1



UNIT 2 REAR ELEVATION UNIT 1



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as approved