



Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director
March 18, 2010

Robert C. Nelson
47 Alice Court
Portland ME. 04103

Robert C. Nelson
38 Morse Street
Portland ME. 04103

Michael F Hays
Project Architect, Grant Hays Associates
PO Box 6179
Falmouth, ME 04105

**Re: 38 Morse Street (32-38 Morse Street); Addition of 2-units
AMENDMENT**

**Re: Application ID: # 2008-0064
Original Site Plan Approval dated September 28, 2009
CBL: 163 A015 001 and 163A A016 001**

Dear Mr. Nelson:

On March 18, 2010, the Portland Planning Authority approved the amended site plan for the proposal to add 2 units (to create a multiplex) at 32-38 Morse Street, as shown in the approved plans prepared by Owen Haskell, Inc (Site Plan 02.16.2010 and Site Details Rev 6 09.18.09) and by Michael F. Hays Architect (Building Plans A1-A7 all dated 02.15.2010) with the following conditions:

- i. That the applicant shall use the details provided in the Public Services Memorandum dated March 3, 2010 (attached) for utility bedding and street repair when excavating within the Morse Street right of way; and
- ii. The applicant shall install a three foot sump in the proposed catchbasin; and
- iii. That if the construction of the project is phased, the first new unit shall meet all site plan requirements (landscaping, fencing, and drainage/infrastructure) prior to the issuance of a Certificate of Occupancy (CO); and
- iv. The second new unit shall be constructed and occupied (Certificate of Occupancy) within 12 months of the issuance of the CO for the first new unit, otherwise the parking will need to be reduced to 3 spaces with lawn and landscaping replacing any parking area in excess of 3 spaces prior to the release of the defect guarantee; and
- v. That in the event that one or more of these three units are intended to be sold off as condominiums, please note that any conversion shall meet the City's Ordinance (currently 14-565 to 14-571), and that condominium documents (clarifying responsibilities for maintenance of common areas) shall be submitted for review and approval by the Planning Authority prior to the sale of the first unit.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit an amended site plan for staff review and approval.

Attachments:

1. Public Services Memo March 3, 2010
2. Performance Guarantee Packet

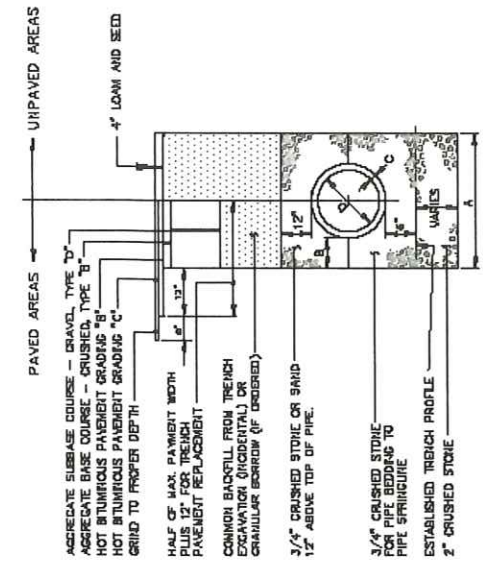
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Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
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Jean Fraser, Planner
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David Margolis-Pineo, Deputy City Engineer
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Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Traffic Engineering Rviewer
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File

NOTES:
 DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.
 ANY ALTERNATE TRENCHING OR PAVEMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.

- NOTES:**
1. ALTERNATIVE CONSTRUCTION METHODS OR PAVEMENT TYPES SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.
 2. IN PAVED AREAS, DEPTHS OF SAND AND HOT MIX ASPHALT PAVEMENT SHALL MATCH THE GREATER OF EXISTING CONDITIONS OR THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.
 3. STRIKE BEDDING TO BE PLACED AND COMPACTED UNDER THE PIPE.
 4. THE HAIRQUES OF THE PIPE, BUT IN ALL CASES DIMENSION B SHALL BE AT LEAST 8". DIMENSION A IS THE MAXIMUM WIDTH ALLOWED FOR CRUSHED STONE OR SAND BACKFILL. BACKFILL SHALL BE CRUSHED STONE OR SAND, STRUCTURAL FORTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION A SHALL BE BASED ON PIPE DIAMETER D, AS SET FORTH IN THE FOLLOWING TABLE.



PIPE DIAMETER, D (INCHES)	MAX. TRENCH WIDTH, A (FEET)
4	4.0
6	4.0
10	4.0
12	5.0
15	5.0
21	5.0
24	8.0
27	8.0
30	8.0
36	8.0
42	7.0
48	7.0

DATE: AUGUST 2000
 REVISED:

CITY OF PORTLAND, MAINE
 TECHNICAL STANDARDS MANUAL

Sanitary Sewer and Storm
 Drainage Standards
 SECTION II

FIGURE:
 II-12

TYPICAL PIPE TRENCH INSTALLATION AND NOTES

TYPICAL PIPE TRENCH INSTALLATION
 NOT TO SCALE

TYPICAL PIPE INSTALLATION - NOTES
 NOT TO SCALE

PRE APP Morse St

Dwiding lot + new Zunit

9-16-10.

Bob Nelson app

John Swann Surveyor

City: Barbara Barhydt; Marge Schmuckel; Jean Fraser

1. BB confirmed new site plan stds + related tech stds
This would be level 1 + initially go into inspections

2. MS: looks OK re setbacks

but can't show 2 pkq. spaces in front yd. so
these wd need to move to "side"

3. BB - suggest reduce pavement lot 1 - don't
need turnaround

4/4

4. Driveway - Bob doesn't want shared driveway

- clarified drive came down to 10' wide

- they to do a design + make case - ^(tree/tel pole in way)
traffic eng wd review.

discussed
nearby Morse
duplex where
less separation accepted.

5. Include P+S/contract for the 5 ft along side

6. Ref pins to be set

7. first 50' of neighbors driveway has to be
5' from boundary so they intend to widen
that driveway on other side (this also
will help achieve drive separation).

8. Gave them each copy of new application

9. If reiterated need for buffering neighbors +
screening of parking.

Jean Fraser - Denuta Nelson called

From: Barbara Barhydt
To: Fraser, Jean
Date: 9/8/2010 2:58 PM
Subject: Denuta Nelson called

Hi Jean:

Please call Denuta (sp?) or Bob Nelson regarding the proposed change. Based upon the other Morse Street project, I believe it is not a subdivision. 838-8256

Thank you.

Barbara

9/9/2010 -

Phoned this # and left message conveying what Barbara has indicated. Said would follow-up tomorrow.

(JK not involved in previous discussions on this)

9/10/10

- ① BB confirms this (as on this plan) new bldg would be a level I with an applic. going to Building Inspectors.
- ② Spoke to Bob Nelson and confirmed that both lots/ both bldgs need to be in conformance with zoning. Bob asked re driveway separation, referring to recently approved project where driveways are 5' apart - he would prefer 2 separate driveways
- ③ He + arch to meet next morng - to will call to arrange. A.

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0064

Date: 3/5/2010

I am in receipt of revised plans for the additional 2 units attached to the single family dwelling. All the R-5 Zone requirements are being met. Inspection Services shall require an amended building permit including the revised plans.

Marge Schmuckal
Zoning Administrator

MORSE ST
file

Jean Fraser - Re: Amendment Notices

From: Carissa Hanratty
To: Jean Fraser
Date: 3/5/2010 10:45 AM
Subject: Re: Amendment Notices

38 Morse Street

sent out 3-3-2010 - BB conf. wait
10 days from this date before issuing
app. letter.

To residents and property owners: A amended site plan application was submitted to the City of Portland Planning Division by Grant Hays Associates. The applicant has proposed amendments to the approved plans for two new units (to create a multiplex) at 32-38 Morse Street. The amendments include revised (larger) footprints for the two new units, external redesign with porches, and increased planting.

In accordance with the Portland Land Use Ordinance, notices of receipt of an amended site plan application must be sent to neighbors. This application will be reviewed administratively by City Staff. This is the only notice that you will receive unless it is determined that the application needs to be reviewed by the Planning Board. A notice of any upcoming meetings will then be sent to you.

Plans are available in the Portland Planning Division, 4th Floor, City Hall. If you have any questions, please call Jean Fraser, Planner, at 874-8728.

29 Waterville

To residents and property owners: A plan amendment application was submitted to the City of Portland Planning Division by Waterville Triad, LLC for the Waterville Street Condominiums located at 29 Waterville Street. The applicant has proposed amendments to the approved plans for a three unit condo building that include relocation of the front entrance to the center of the building and changes to the exterior cladding from metal to cedar shingles on all four elevations and ground faced block on the base. The changes will be reviewed administratively and comments may be submitted up to March 16, 2010.

In accordance with the Portland Land Use Ordinance, notices of receipt of a minor site plan application must be sent to neighbors. This application will be reviewed administratively by City Staff. This is the only notice that you will receive unless it is determined that the application needs to be reviewed by the Planning Board. A notice of any upcoming meetings will then be sent to you.

Plans are available in the Portland Planning Division, 4th Floor, City Hall. If you have any questions, please call Jean Fraser, Planner, at 874-8728

Carissa Hanratty
Planning Division
389 Congress Street, 4th Floor
Portland, ME 04101
(207) 874-8721
Fax: (207) 756-8256

>>> Jean Fraser 3/5/2010 10:04 AM >>>

Could I please have a copy of the amendment notice that went out for Waterville condos and 38 Morse Street-
thanks -Jean

Abutter (Broda) came into Pl. Office 3.17.10 - was concerned that project involved many more lots; also concerned re future maintenance of site as currently "eyesore". JF explained process of tracking/inspection/defect guarantee etc. and that should be much improved once project completed.

file://C:\Documents and Settings\jfr\Local Settings\Temp\XPgrpwisw\4B90E0E1\PortlandCit... 3/5/2010

From: Thomas Errico <Thomas.Errico@tylin.com>
To: Jean Fraser <JF@portlandmaine.gov>
CC: David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley <KAS@portlandmaine.gov>
Date: 2/26/2010 5:02 PM
Subject: 38 Morse Street
Attachments: image001.jpg

Jean -

I have reviewed the revised site plan dated February 16, 2010 prepared by Stephen W. Tibbetts, P.E. and find the plan to be acceptable from a traffic perspective (Prior final comments remain valid in regard to waivers from the City's Technical Standards).

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, P.E.

T.Y. Lin International

12 Northbrook Drive
Building A, Suite One
Falmouth, ME 04105

207.347.4354 (Direct)
207.781.4721 (Main)
207.781.4753 (Fax)
207.400.0719 (Mobile)

March 3, 2010

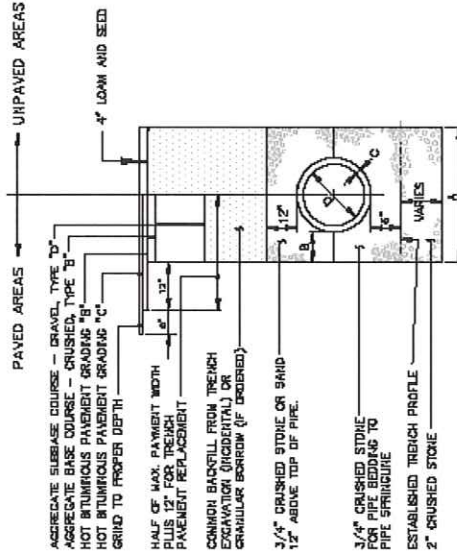
To: Barbara Barhydt
Jean Fraser
From: David Margolis-Pineo
Public Services Review Comments
Re: 38 Morse Street

The Department of Public Services has the following comments.

1. The applicant's site plan currently shows granular bedding under the sewer pipe to be installed in the street. This detail is incorrect. Please use the following details for utility bedding and street repair when excavation with the Morse Street right of way. Thank you.

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- NOTES:**
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 3. DIMENSION B SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE HAIRLINES OF THE PIPE, BUT IN ALL CASES DIMENSION B SHALL BE AT LEAST 12".
 4. DIMENSION A SHALL BE ALLOWED FOR CALCULATING PAY QUANTITIES UNDER GRANULAR BORROW, CRUSHED STONE, STRUCTURAL EARTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION A SHALL BE BASED ON PIPE DIAMETER D, AS SET FORTH IN THE FOLLOWING TABLE.



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48	7.0

DATE: AUGUST 2009
 REVISED:

CITY OF PORTLAND, MAINE
 TECHNICAL STANDARDS MANUAL

SANITARY SEWER AND STORM DRAIN INSTALLATION STANDARDS
 SECTION II

FIGURE

TYPICAL PIPE TRENCH INSTALLATION AND NOTES

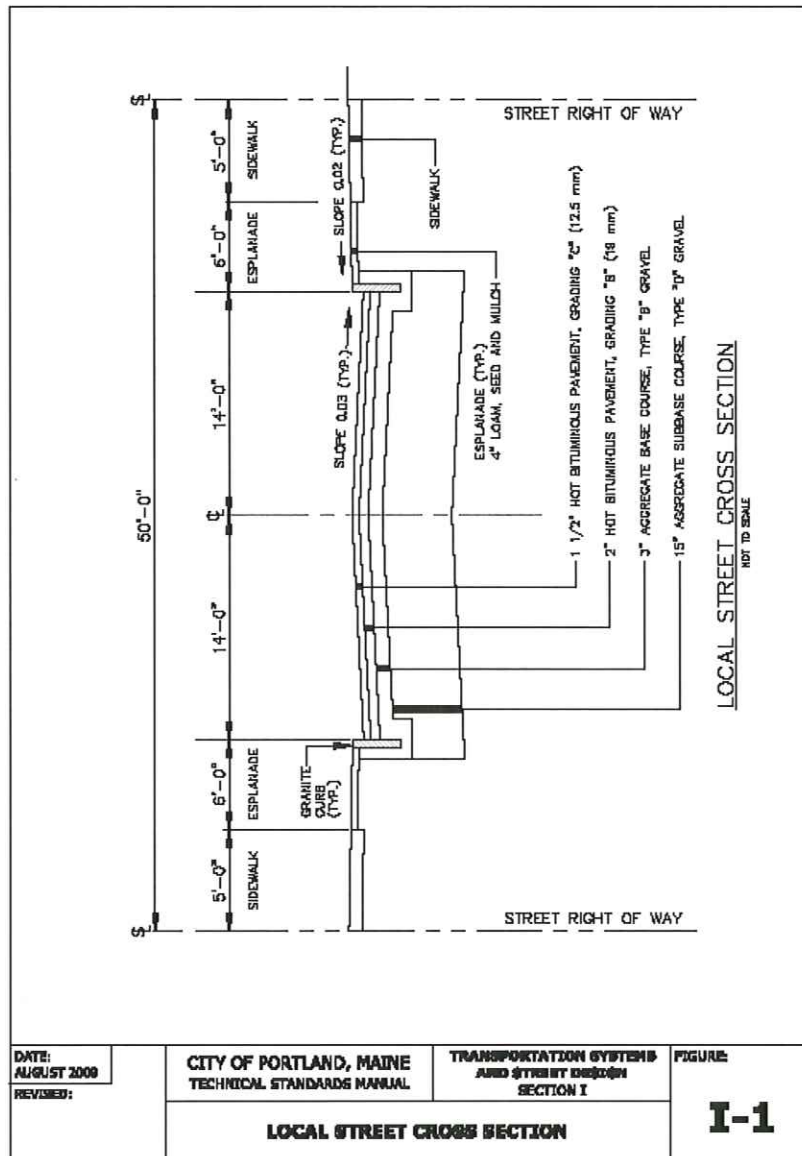
II-12

TYPICAL PIPE TRENCH INSTALLATION — NOTES

NOT TO SCALE

TYPICAL PIPE TRENCH INSTALLATION

NOT TO SCALE



- Portland City standards require all catchbasins connected to the City's sewer system to have three foot sumps. The applicant is asked to install a three foot sump in the proposed catchbasin.

This department has no further comments.

file set



To: Marge Schmuckal; Dan Goyette; David Margolis-Pineo; Tom Errico;
Keith Gautreau; Jeff Tarling cc Barbara Barhydt

From: Jean Fraser

Date: February 24, 2010

AMENDMENT APPLICATION (fee paid; using same UI code):

Application ID #: 2008-0064

Project Name: 2 units added to grandfathered existing unit (not subdivision)

Project Address: 38 Morse Street

PRELIMINARY COMMENTS: March 3, 2010

FINAL COMMENTS: March 10, 2010

The applicant is amending the building forms only as they would like larger units with an improved external design (see letter summarizing changes).

The review is of these changes only, and any implications. This amendment was shown and discussed in principle at a previous Dev Rev; no major issues are anticipated.

GRANT HAYS ASSOCIATES

ARCHITECTURE ♦ INTERIOR DESIGN

February 19, 2010

Jean Fraser
Portland Planning Department
389 Congress Street
Portland, Maine 04101-3509

Re: 38 Morse Street Multiplex

Dear Jean,

We hereby submit an amended site plan approval request on behalf of Owner, Robert C. Nelson, for the above referenced property. Attached are seven (7) full-size sets of prints; one (1) set of 11 x 17 reductions; and one (1) CD with PDF files of the drawings for your review and comment.

The original approved site plan design was dated April 1, 2008 and prepared by Owen Haskell Inc and Stephen Tibbetts, P.E. The revised site plan has been modified by the same professionals, as enclosed. Grant Hays Associates has prepared the revised Architectural drawings for the multiplex buildings as attached.

The changes from the original project design parameters to the amended version are as follows:

1. Unit 3 is positioned further back on the site to minimize visual impact from Morse Street and the adjacent property.
2. The driveway has been modified at Unit 3 for better maneuverability at the garage.
3. Plantings have been added to the new covered porch entrances to the new units.
4. The existing vegetative buffering elements at the southern property line are noted to be retained.
5. The new units' footprints have increased in area.
6. The new units are now connected by a covered porch.
7. The breezeway connecting the existing unit to the new units has decreased in area.
8. The architectural design of the new units has been changed to more closely match the existing unit's style, and that of the surrounding neighborhood.

We have also attached a separate document itemizing in detail the technical changes to the project from the prior submission to the amended submission, for your convenience. Please do not hesitate to contact me directly with any question or comments. We appreciate your assistance.

Sincerely,



Michael F. Hays, Project Architect

GRANT HAYS ASSOCIATES

ARCHITECTURE ♦ INTERIOR DESIGN

February 19, 2010

Jean Fraser
Portland Planning Department
389 Congress Street
Portland, Maine 04101-3509

Re: 38 Morse Street Multiplex

Dear Jean,

On behalf of the Owner, Robert C. Nelson, and per request of the City of Portland Planning Department, we offer the following comparison chart of the prior and amended versions of the site and architectural design elements of the project.

<u>Item</u>	<u>Prior</u>	<u>Amended</u>
Impervious surface area	29%	38%
Unit 2 distance to Front Property Line	68'	65'
Unit 3 distance to Front Property Line	83'	103'
Building footprint area (new & existing)	2,784 sf	4,072 sf
Building height (new units)	28'-3"	31'-6"
Bedrooms/new unit	4	3

We trust this information will be useful in your review of the project's merits for amended site plan approval. Please do not hesitate to contact me directly with any questions or comments. We appreciate your assistance and look forward to the successful completion of this work.

Sincerely,



Michael F. Hays, Project Architect

From: Marge Schmuckal
To: Barbara Barhydt; Jean Fraser
Date: 1/19/2010 11:11 AM
Subject: Re: 38 Morse Str- poss amendments

Such depictions by e-mail are always problematic. They aren't scaleable. If all the R-5 Zoning requirements can be met, then zoning will be ok. It looks like it has possibilities.
Marge

>>> Jean Fraser 1/19/2010 9:36 AM >>>
Barbara and Marge,

The Nelsons have brought in an architect to revamp this approved "multiplex" (existing plus 2 attached new units) - partly to make more viable (larger) units and partly to make the new building design more in keeping with the neighborhood.

The architect (Mike Hays of Falmouth) has asked if the revisions (attached, along with what we approved at the beginning of the pdf) still meet the requirement for "horizontal attachment" etc- he has used a connected porch to attach them and otherwise has set back one of the buildings a bit and revised the external design.

He and the Nelsons are willing to submit an amendment application and go through the review but Mike just wanted to know if this was in the realm of acceptability- so I said I would run it by you and Dev Rev to give him a indication of our response. He is aware this went to Penny and others during the previous review and just wants to ensure all are on board before making a formal application with fees etc.

I have put it on the Dev Rev agenda but wanted to give you an advance copy to think about...

thanks
Jean

CC: Alex Jaegerman

NOTE for FUE

1-21-2010.

38 Morse St. w/ Mike Hays, Arch. acting for Nelsons
Re feedback from 10.20.10 & Mike dis. on his amendments shown in
sketches rec'd by ~~PEFCO~~ hand del. 1-15-2010.

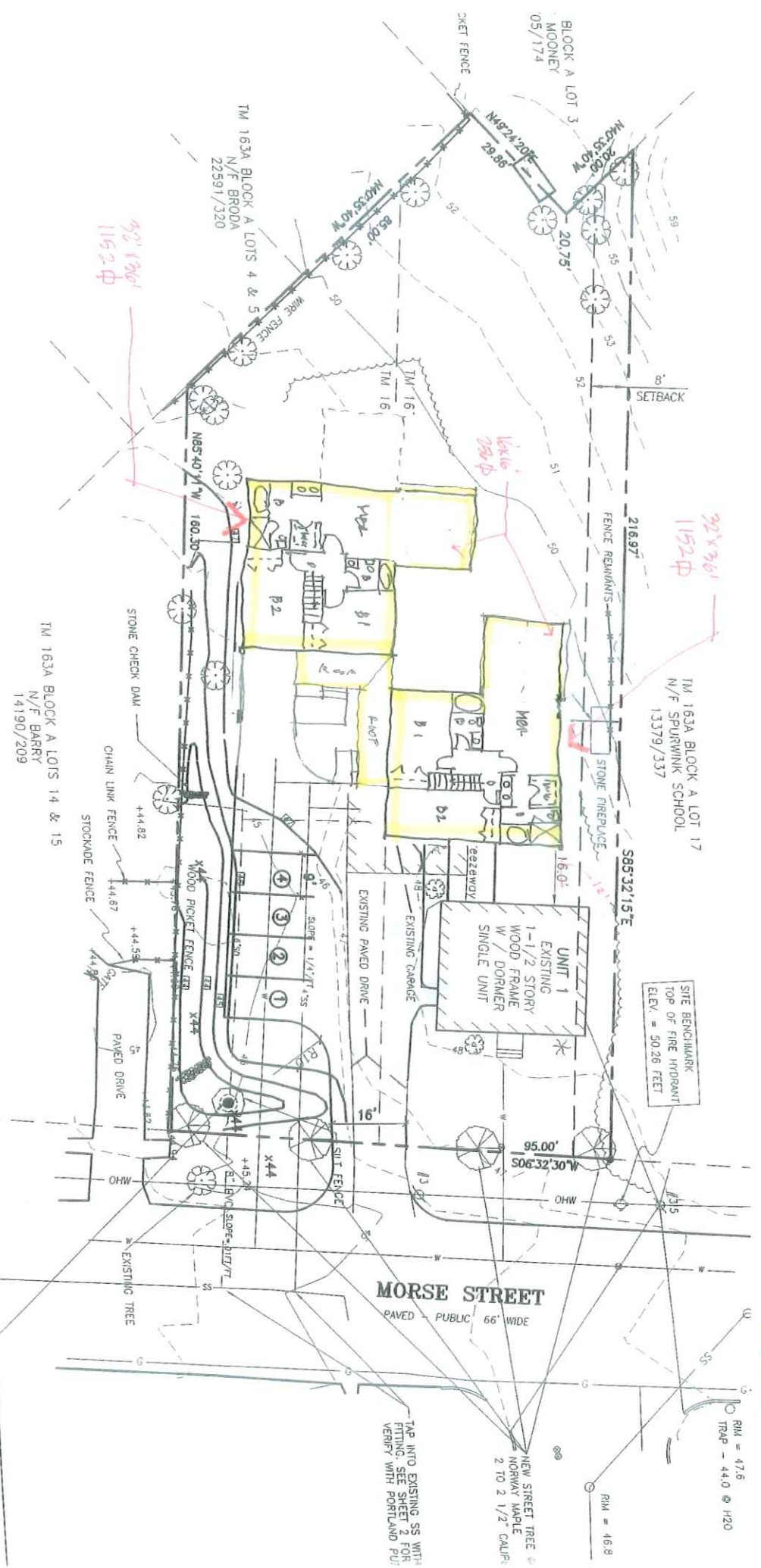
- ① SF conveyed questions re breezeway + porch foundations
as raised at Dev Rev + Mike will ensure clarified in plans
- ② SF noted increase in impervious surface and while
may still be within zoning there is concern over even
more pavement at front. Suggested a clear landscape
Plan (or Site Plan with clear landscape proposals) be
included and add in more areas of permeous/landscaped,
more screening of parking / front paved area, and
confirm that trees at rear boundary to be retained.
- ③ Cover letter to clarify (+ keep as narrow as poss)
what changed between approved scheme + current
scheme + comparison re zoning dimensions (setback,
height, impervious coverage).
- ④ Mike confirmed:
 - a) Owen Haskell to prepare Site Plan w/ his (MH)
arch planner etc
imp as background
 - b) Mike to prepare cover letter + be point of contact
 - c) He will convey comments re landscape
 - d) will prepare Site Plan application - knows
it's an amendment w/ fee + address some

NEW
SECOND FLOOR CONCEPT

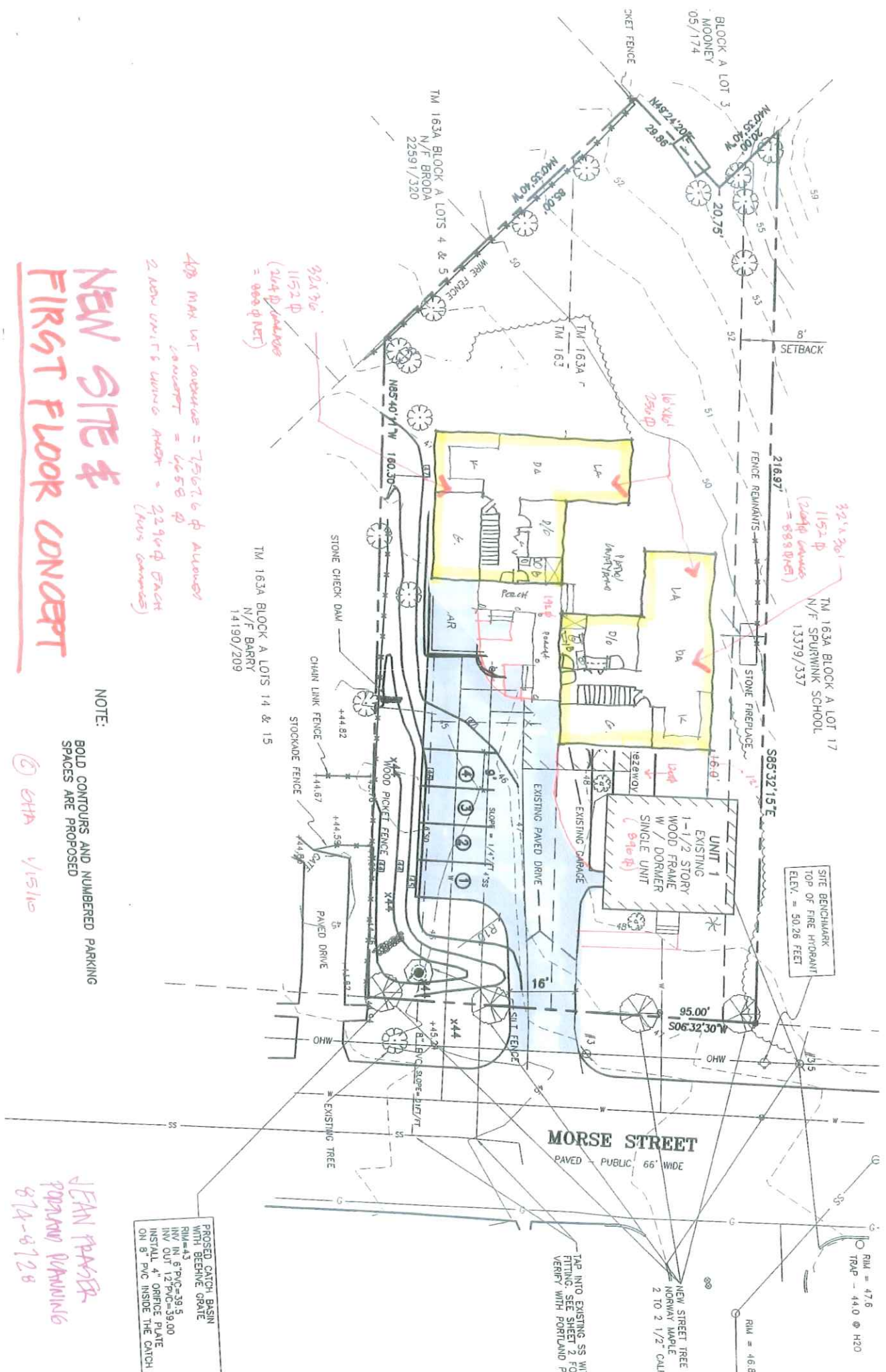
NOTE:
BOLD CONTOURS AND NUMBERED PARKING SPACES ARE PROPOSED

1/15/10
GMB

PROPOSED CATCH BASIN WITH BEHNE ORATE
RIM=4.3
IN IN 5" PVC=39.5
IN OUT 12" PVC=39.00
INSTALL 4" ORIFICE PLATE
ON 8" PVC INSIDE THE CATCH B.



Barbara confirms
need amend. appl cation
B250



NEW SITE & FIRST FLOOR CONCEPT

APR MAX LOT COVERAGE = 75%
 CONCEPT = 4658 sq ft
 2 NEW UNITS & WADING AREA = 2294 sq ft
 (New concrete)

NOTE:
 BOLD CONTOURS AND NUMBERED PARKING SPACES ARE PROPOSED

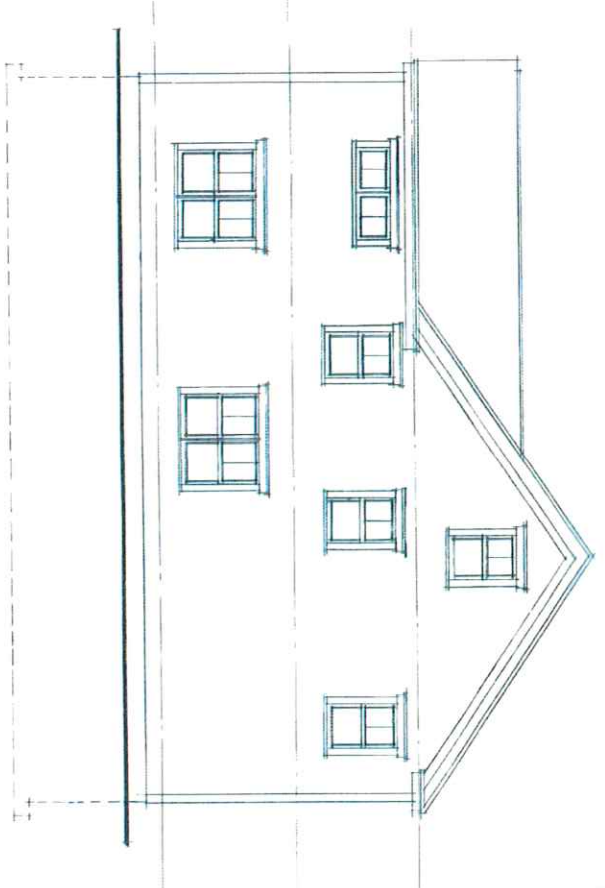
© GHA 1/15/10

JEAN PAPER
 PAPERWORK DRAINING
 874-8728

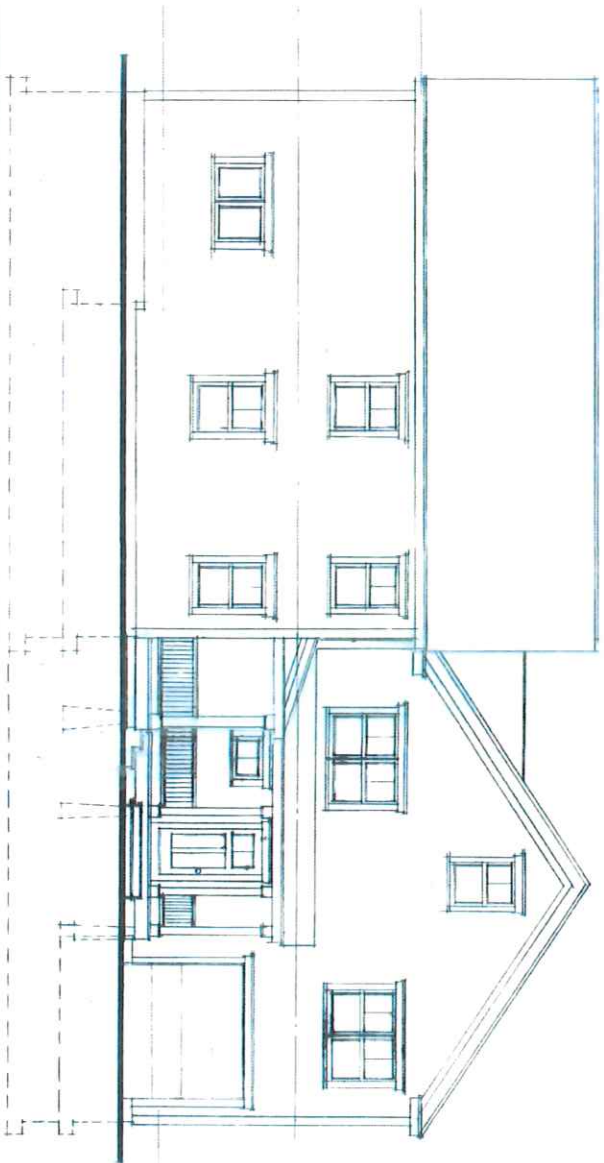
PROPOSED CATCH BASIN WITH BEEHIVE GRATE
 RIM=4.5
 INV IN 6" PVC=39.5
 INV OUT 12" PVC=39.00
 INSTALL 4" OFFICE PLATE ON 8" PVC INSIDE THE CATCH B

TAP INTO EXISTING SS WITH FITTING. SEE SHEET 2 FOR VERIFY WITH PORTLAND PU
 NEW STREET TREE @ NORWAY MAPLE 2 TO 2 1/2" CALIP

SITE BENCHMARK
 TOP OF FIRE HYDRANT
 ELEV. = 50.26 FEET



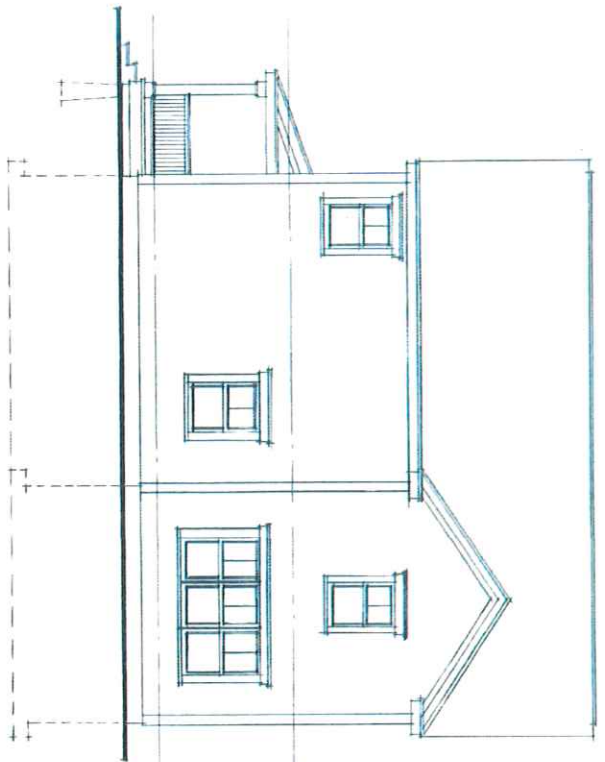
PROPOSED UNIT 3
WEST ELEVATION



PROPOSED SOUTH
ELEVATION
(UNIT 3/2)

© GHA

1/15/10



PROPOSED UNIT 3
NORTH ELEVATION

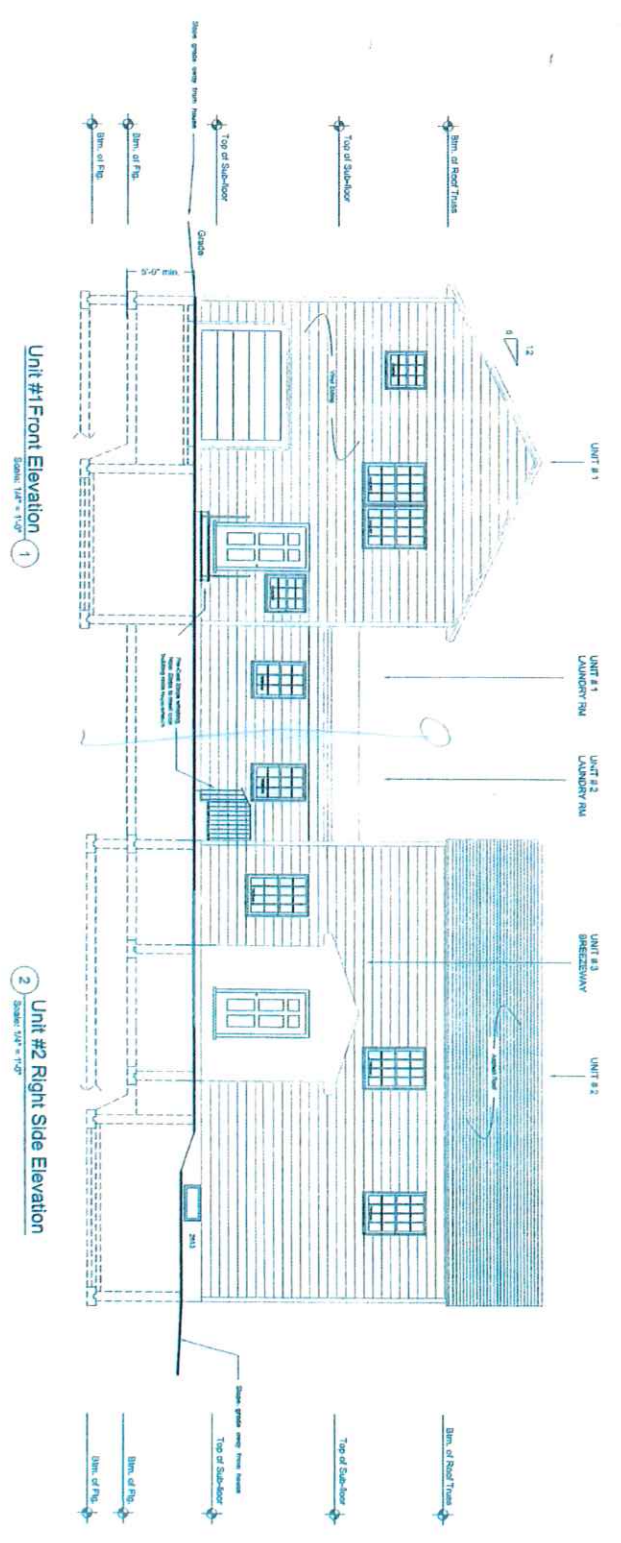


UNIT 1/2
CONNECTION
(ON STREET)

PROPOSED UNIT 2/3
(NORTH ST.)
ELEVATION

② 647A 1/15/10

Project Location:
 Nelson, 38 Worst Street,
 Nelson, New Zealand.
 Project Name:
 Nelson, 38 Worst Street,
 Nelson, New Zealand.
 Project No.:
 Nelson, 38 Worst Street,
 Nelson, New Zealand.



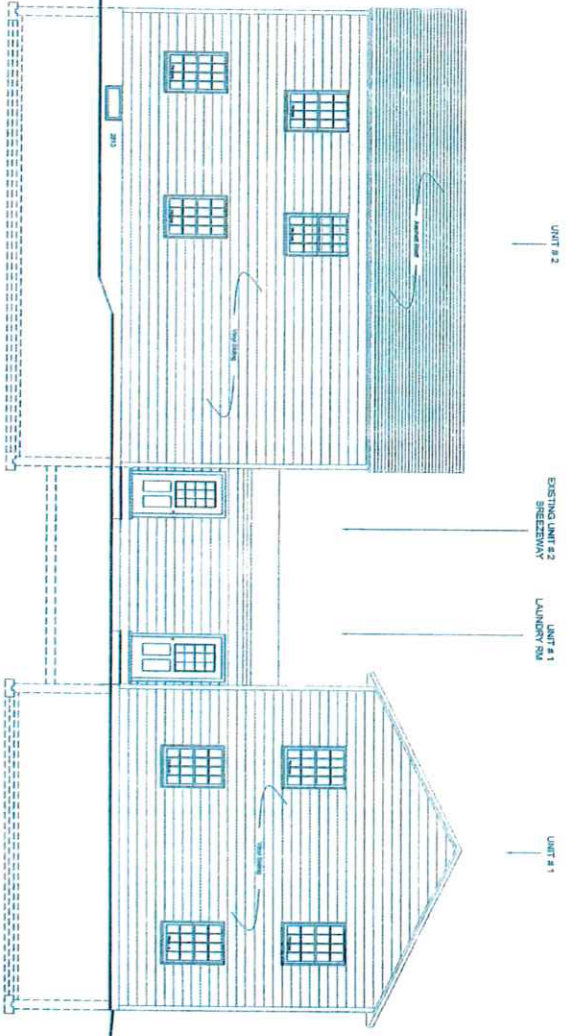
PREVIOUS CONCEPT

FRONT PLAN ELEVATION	
Scale: 1/4" = 1'-0"	Scale: 1/4" = 1'-0"
NELSON 38 WORSE STREET	
01/REV E	

east

Owner's Responsibility
 The owner is responsible for obtaining all necessary permits and for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided by the owner.

- Dim. of Roof Truss
- Top of Sub-floor
- Top of Sub-floor
- Top of Sub-floor
- Top of Sub-floor
- Dim. of Ptg.
- Dim. of Ptg.
- Dim. of Ptg.



3 Left Side Elevation
 Scale: 1/4" = 1'-0"

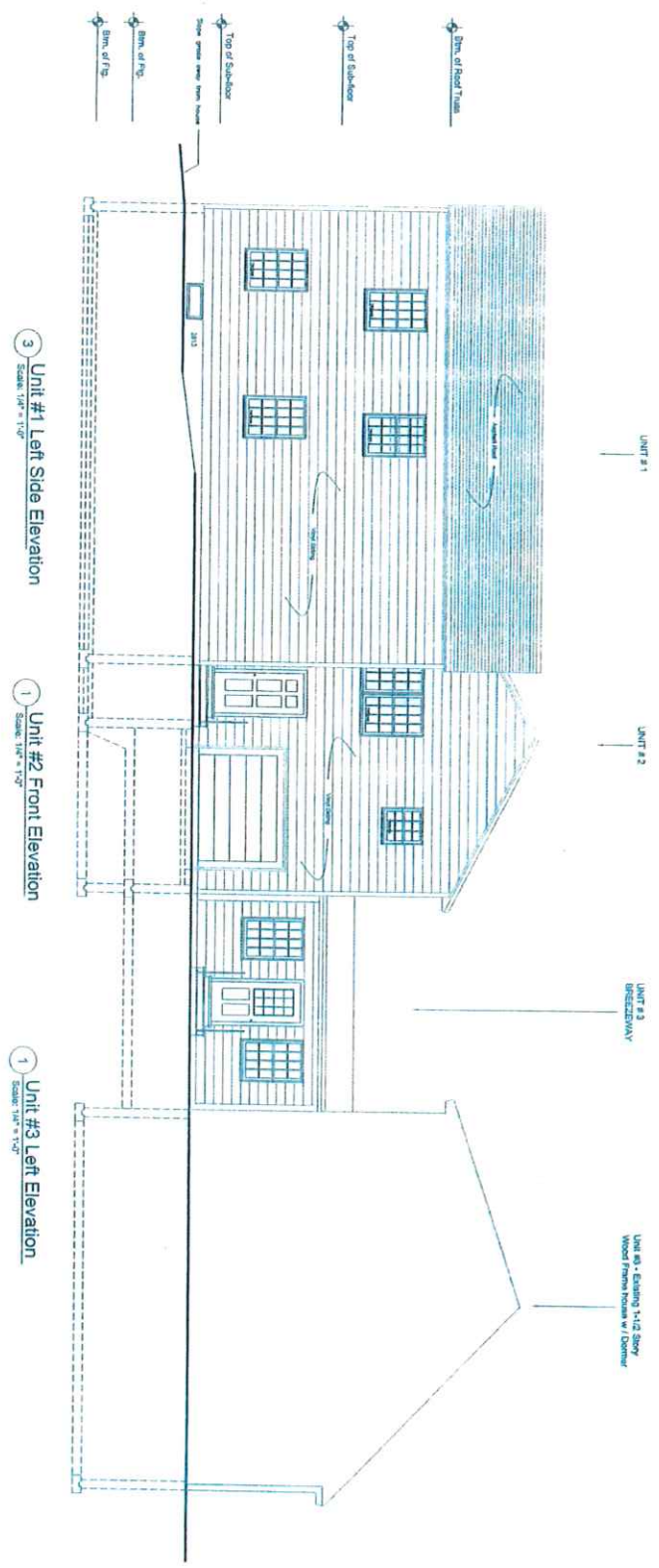
4 Rear Elevation
 Scale: 1/4" = 1'-0"

PREVIOUS CONCEPT

REAR PLAN ELEVATION	
DATE: 1/18/14	SCALE: 1/4" = 1'-0"
PROJECT: NELSON 38 MORSE STREET	
DRAWN: [Name]	
CHECKED: [Name]	
DATE: 01/18/14	
BY: [Name]	

West

Project: 38 Morse Street
 Date: 01/27/2015
 Scale: 1/8" = 1'-0"
 Drawing: 01/REV. E



3 Unit #1 Left Side Elevation
 Scale: 1/8" = 1'-0"

1 Unit #2 Front Elevation
 Scale: 1/8" = 1'-0"

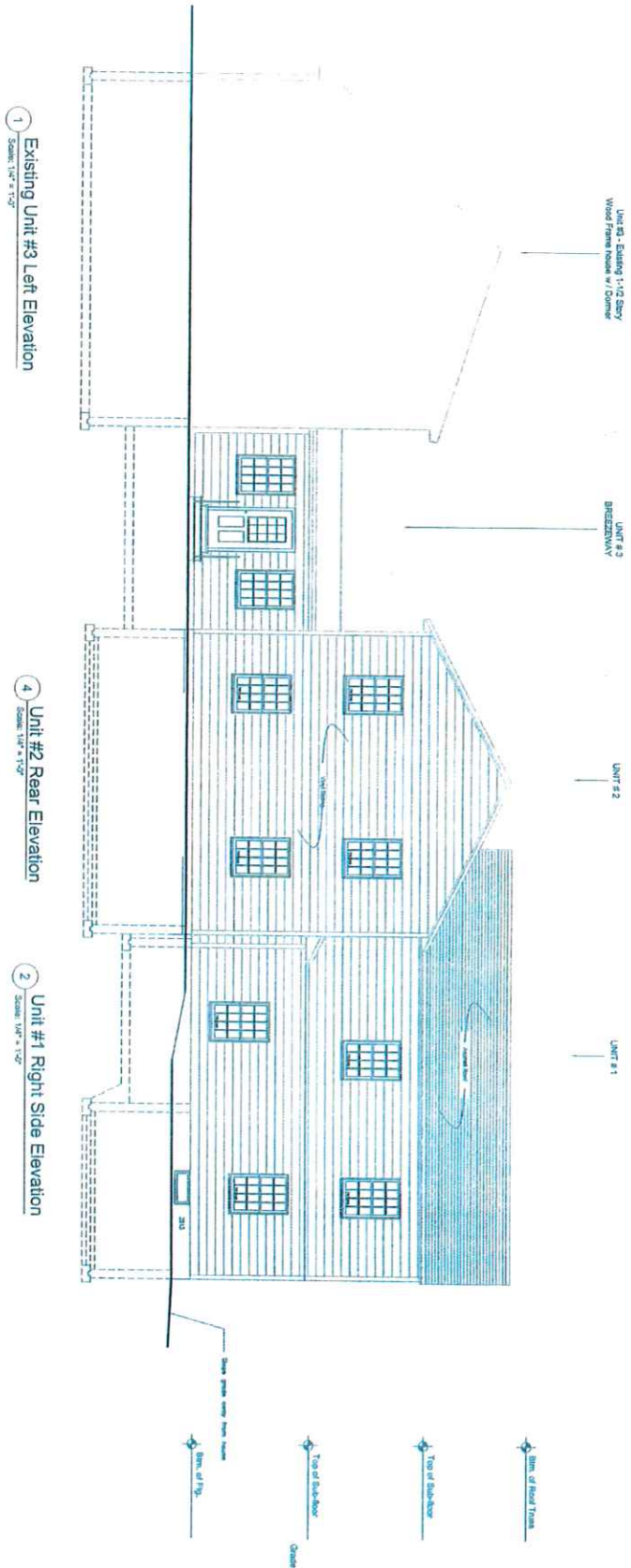
1 Unit #3 Left Elevation
 Scale: 1/8" = 1'-0"

PREVIOUS CONCEPT

LEFT PLAN ELEVATION	
Scale: 1/8" = 1'-0"	Date: 01/27/2015
NELSON 38 MORSE STREET	
01/REV. E	

South

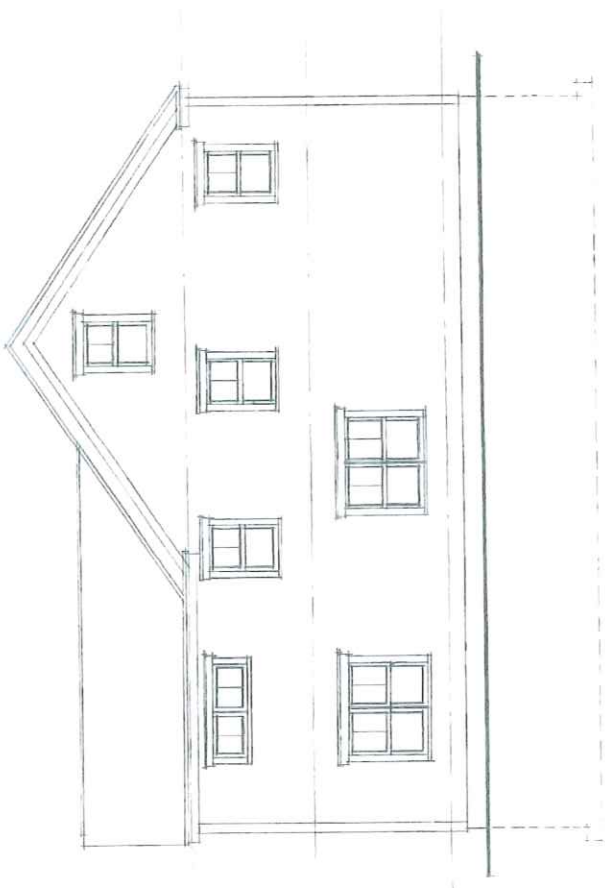
Client: [unreadable]
 Date: [unreadable]
 Project: [unreadable]
 Scale: 1/4" = 1'-0"



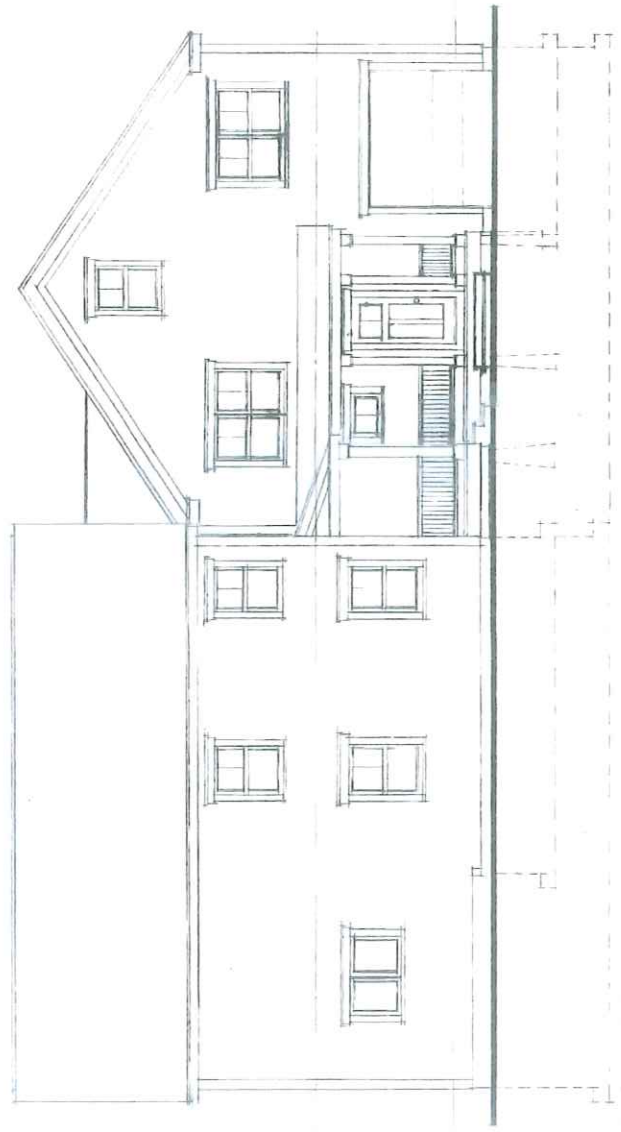
PREVIOUS CONCEPT

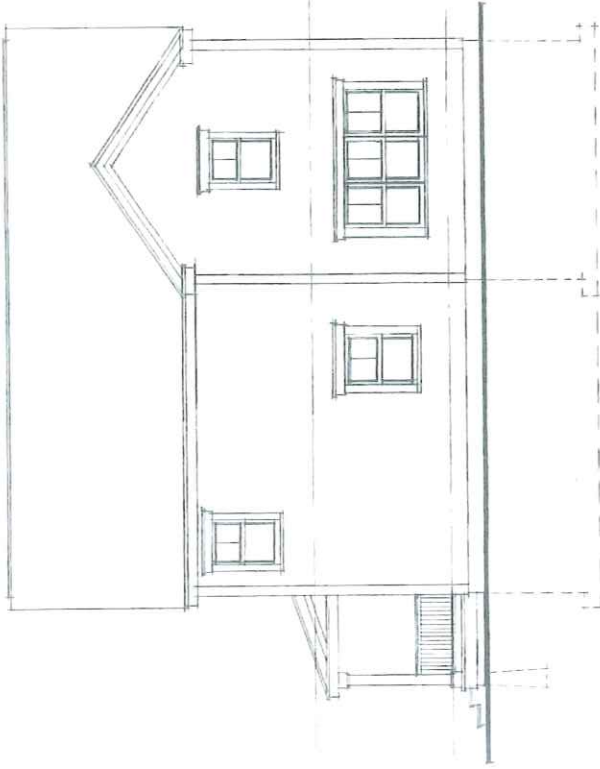
RIGHT PLAN ELEVATION	
DATE: 1/27/11	SCALE: 1/4" = 1'-0"
PROJECT: NELSON 38 MORSE STREET	DATE: 01/11
DESIGNER: [unreadable]	DATE: 01/11
DATE: 01/11	REV: E

PROPOSED UNIT 3
WEST ELEVATION

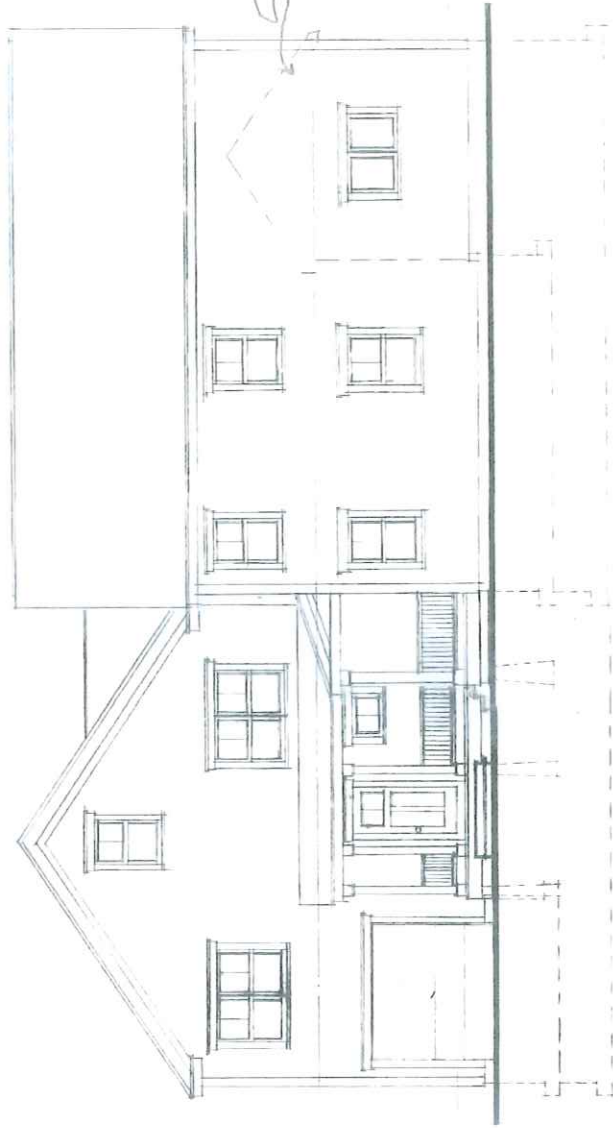


PROPOSED SOUTH
ELEVATION
(UNIT 3/2)





PROPOSED UNIT 3
NORTH ELEVATION



UNIT 1/2
CONVECTOR
(ON STREET)

PROPOSED EAST
(NORTH ST.)
UNIT 2 1/2
ELEVATION