

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 070672

This is to certify that JOHNSON SCOTT W & MARY LOU ITS

has permission to Repair & replace foundation under existing garage

AT 493 OCEAN AVE

163 D003001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

**PERMIT ISSUED**

JUN 18 2007

CITY OF PORTLAND

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is loaded or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director, Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

6/13/07

Please call 874-8703 or 874-8698 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

         If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

[Signature]  
Signature of Applicant/Designee

6-18-07  
Date

[Signature]  
Signature of Inspections Official

6-18-07  
Date

CBL: 163-D-3

Building Permit #: 070672

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0672	Issue Date:	CBL: 163 D003001
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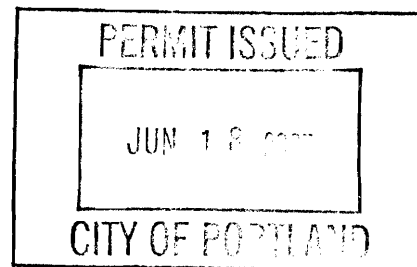
Location of Construction: 493 OCEAN AVE	Owner Name: JOHNSON SCOTT W & MARY L	Owner Address: 493 OCEAN AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: <i>Along R-3-Ocean R-3 in REAL</i>

Past Use: 3 unit Residential Connected w/ permit#070360	Proposed Use: 3 unit Residential - Repair & replace foundation under existing garage	Permit Fee: <i>fees on # 07-0360</i>	Cost of Work: \$0.00	CEO District: 4
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Proposed Project Description: Repair & replace foundation under existing garage	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 06/08/2007	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Min <input type="checkbox"/> MM <input type="checkbox"/> Denied	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>ok with conditions 6/8/07</i>	Date:	Date:



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>493 OCEAN AVE .</b>		
Total Square Footage of Proposed Structure <b>840</b>		Square Footage of Lot <b>21,250</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>163      D      3</b>	Owner: <b>SCOTT W. JOHNSON</b>	Telephone: <b>773-4994</b> <b>329-5551-DAY</b>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>SCOTT W. JOHNSON</b> <b>493 OCEAN AVE .</b> <b>PORTLAND, ME 04103</b> <b>773-4994</b>	Cost Of Work: \$ <b>40,000</b> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <b>3 FAMILY</b>	If vacant, what was the previous use? _____	
Proposed Specific use: <b>SAME</b>	Is property part of a subdivision? <b>NO</b> If yes, please name _____	
Project description: <b>REPLACING - DINING ROOM &amp; DECK WITH 2 DINING ROOMS AND ATTIC SPACE. + Repair Replace Garage Foundation -</b>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <b>SCOTT JOHNSON</b>		
Mailing address: _____ Phone: <b>773-4994 (774-1104 W)</b>		

*Needs more info for see #07-0340*  
*Pulled out for A Separate permit*

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: **Scott Johnson** Date: **4/4/07**

**This is not a permit; you may not commence ANY work until the permit is issued.**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-0672	<b>Date Applied For:</b> 06/08/2007	<b>CBL:</b> 163 D003001
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<b>Location of Construction:</b> 493 OCEAN AVE	<b>Owner Name:</b> JOHNSON SCOTT W & MARY L	<b>Owner Address:</b> 493 OCEAN AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> 3 unit Residential - Repair & replace foundation under existing garage	<b>Proposed Project Description:</b> Repair & replace foundation under existing garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/08/2007

**Note:** **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that the repairs will be accomplished by raising the garage and adding a foundation. The owner does not intend to increase the present height of the garage. It will remain at 16'.
- 4) PLEASE NOTE: Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 06/13/2007

**Note:** **Ok to Issue:**

- 1) The frost wall must extend 4'-0" below grade.
- 2) This permit is to repair the garage foundation ONLY. No other work is authorized under this permit.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**Comments:**

6/8/2007-ldobson: Fee paid under permit#070360 - was originally part of that permit - separated out to be able to start work on the garage.

**From:** scottjohnson <ltssj@maine.rr.com>  
**To:** Marge Schmuckal <MES@portlandmaine.gov>  
**Date:** 6/7/2007 4:02:06 PM  
**Subject:** Re: 493 Ocean Avenue (CDB 163.003)

The garage will be exactly the same height.

We will work on some variations for roof line configurations.

Thanks.  
Scott

> From: Marge Schmuckal <MES@portlandmaine.gov>  
> Date: Thu, 07 Jun 2007 14:49:05 -0400  
> To: ltssj@maine.rr.com  
> Subject: Re: 493 Ocean Avenue (CDB 163.003)  
>  
> Scott,  
> If you are going to change anything (including the height) about the garage, I  
> would need plans showing the specifics of what you would be changing before I  
> can sign off on a permit.  
>  
> I don't know if you can incorporate a deck. I would need to see what you are  
> proposing first to see if it meets the wording of the ordinance. And an  
> exterior stairway which is not enclosed, then it would not meet zoning.  
> Building code regulations regarding stairways are a separate matter which I do  
> not regulate. The building code folks regulate those requirements.  
>  
> Marge  
>  
>>>> scottjohnson <ltssj@maine.rr.com> 6/7/2007 2:00:17 PM >>>  
> Marge,  
>  
> My notes say that the maximum is 18 ft. Can I raise it 1 foot, making the  
> new height 17 ft from average grade? If the 16 ft permit is quickly doable  
> and 17 ft is another involved process, I will make it 16 ft.  
>  
> Also, with regard to the house, can we incorporate a roof deck?  
> Are spiral staircases legal?  
>  
> Thanks,  
>  
> Scott  
>  
>  
>> From: Marge Schmuckal <MES@portlandmaine.gov>  
>> Date: Thu, 07 Jun 2007 11:38:02 -0400  
>> To: ltssj@maine.rr.com  
>> Subject: Re: 493 Ocean Avenue (CDB 163.003)  
>>  
>> Scott,  
>> Let me reiterate what I think you just told me. The existing height of the  
>> existing garage is 16 ft from average grade to the midway point of the roof.  
>> Are you also telling me that when you lift it up and replace the foundation  
>> that you will NOT be raising it any higher? That it will remain the 16 ft in  
>> height?

>>  
>> If you can confirm this, I will have a separate permit created just for the  
>> garage as we work on the house addition.  
>>  
>> Thank you,  
>> Marge  
>>  
>>>> scottjohnson <ltssj@maine.rr.com> 6/7/2007 11:34:23 AM >>>  
>> Hi Marge,  
>>  
>> Thank you for meeting with me Monday.  
>>  
>> With regard to the separate permit for re-supporting the garage, the height  
>> from average grade to the point half way between the roof peak and eave edge  
>> is 16".  
>>  
>> Please let me know what I need to do. New Permit app or additional funds?  
>>  
>> Thanks again for your help.  
>>  
>> Scott Johnson  
>

**From:** Marge Schmuckal  
**To:** scottjohnson  
**Date:** 6/7/2007 11:38:03 AM  
**Subject:** Re: 493 Ocean Avenue (CDB 163.003)

Scott,

Let me reiterate what I think you just told me. The existing height of the existing garage is 16 ft from average grade to the midway point of the roof. Are you also telling me that when you lift it up and replace the foundation that you will NOT be raising it any higher? That it will remain the 16 ft in height?

If you can confirm this, I will have a separate permit created just for the garage as we work on the house addition.

Thank you,  
Marge

>>> scottjohnson <ltssj@maine.rr.com> 6/7/2007 11:34:23 AM >>>  
Hi Marge,

Thank you for meeting with me Monday.

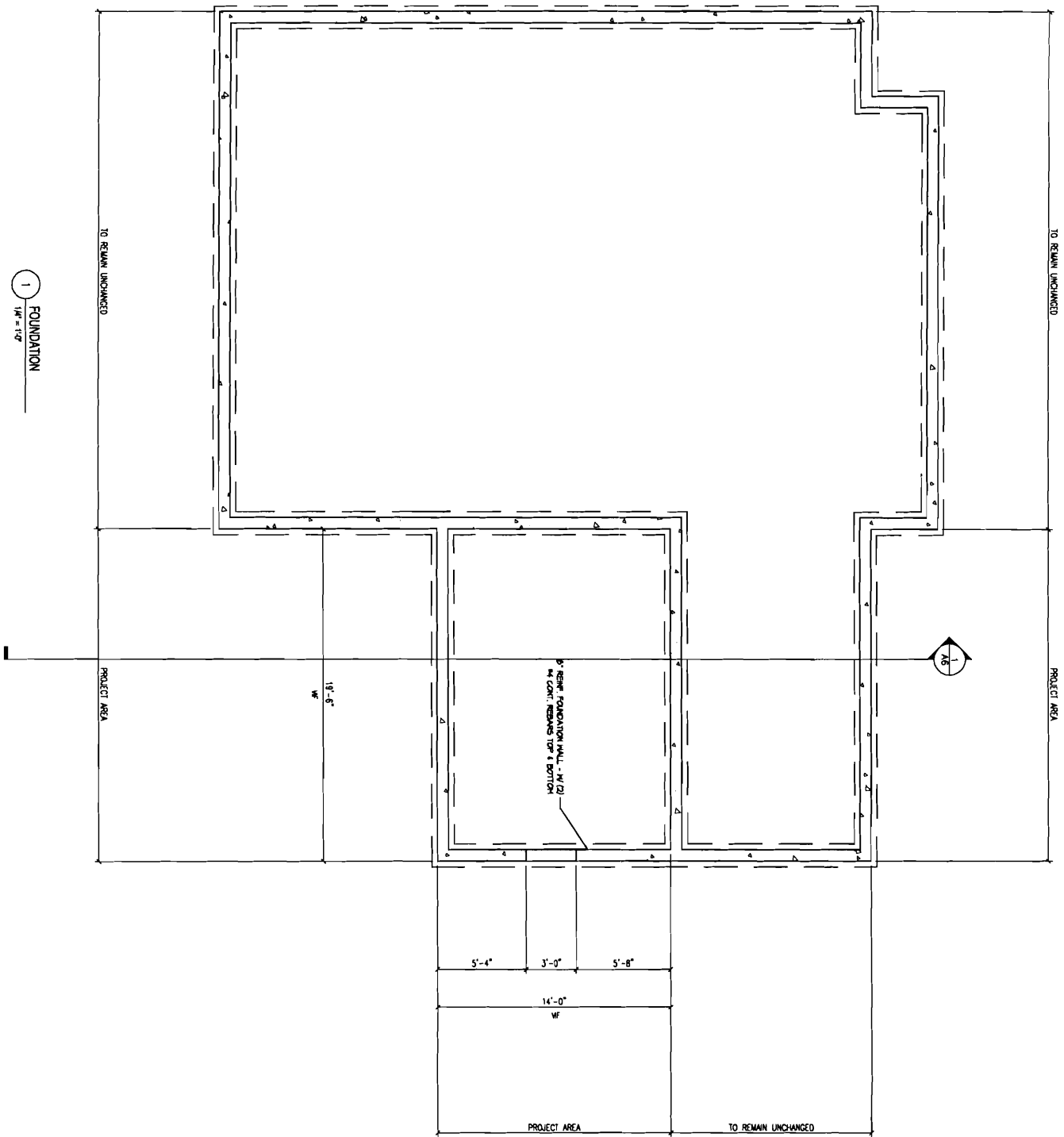
With regard to the separate permit for re-supporting the garage, the height from average grade to the point half way between the roof peak and eave edge is 16".

Please let me know what I need to do. New Permit app or additional funds?

Thanks again for your help.

Scott Johnson





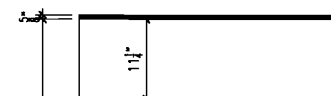
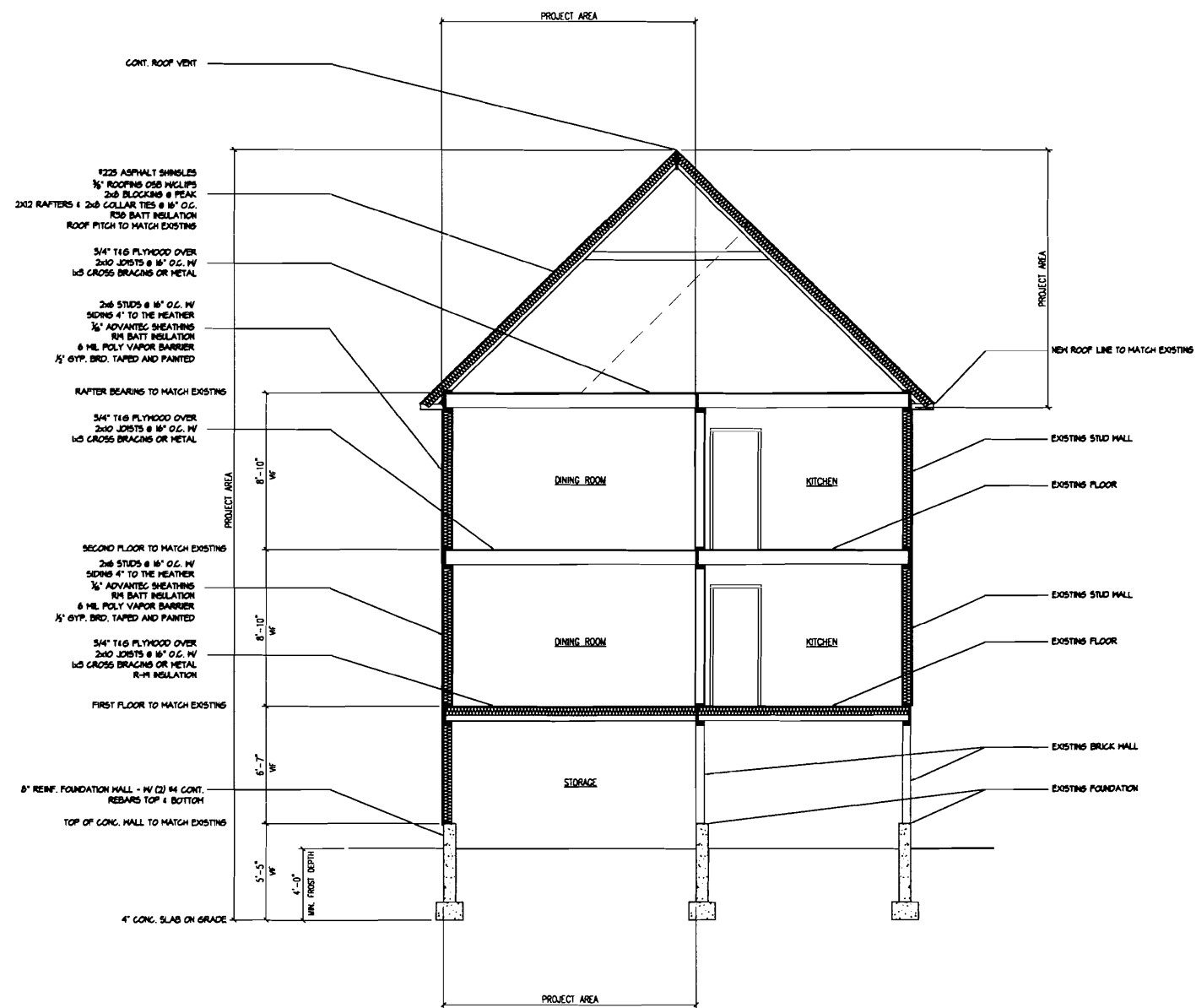
NOTE:  
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY &  
SHOULD NOT BE USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY  
FOR LOCAL CODE COMPLIANCE.  
ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
CLIENTS SHOULD VERIFY INFORMATION PROVIDED BY THE CLIENT  
AND LOCAL CODES PRIOR TO CONSTRUCTION. THE CONTRACTOR  
SERVICES ARE LIMITED TO ARCHITECTURAL DRAWINGS ON LAND  
AND SHALL NOT BE USED FOR CONSTRUCTION. THE CONTRACTOR  
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION  
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION  
PROJECT. THE CONTRACTOR SHALL BE HELD HARMLESS  
FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES  
AND/OR REASONABLE ATTORNEY'S FEES AND COSTS OF LITIGATION

2) SAND HOOD BRIDGE

NEW 8" REPAIR FOUNDATION WALL - 1' W/ (2) 4"  
M. CON. REMAINS TOP & BOTTOM  
TO REPLACE EXISTING HOOD FOUNDATION ON  
EXISTING GRADE

STEP FOUNDATION TO MAINTAIN A MINIMUM  
48" MINUS DEPTH

24" X 48" W/ CONK ROOMS W/ 6" CONK  
PIERS



PROPOSED F.F.E. ELEVATION 93'5"

REINF 24"x8" CONG. FOOTING W/ (2)  
#4 RE-BARS CONT. - 5" CLEAR  
FROM BOT. OF FOOTING

4" INTERIOR AND EXTERIOR PERIMETER  
UNDER DRAIN TYP. W/ROCK PROTECTION.  
SET-IN STORE CONNECT TO SUMP HOLE  
W/1/2" & 4" OUTLOOK PIPE

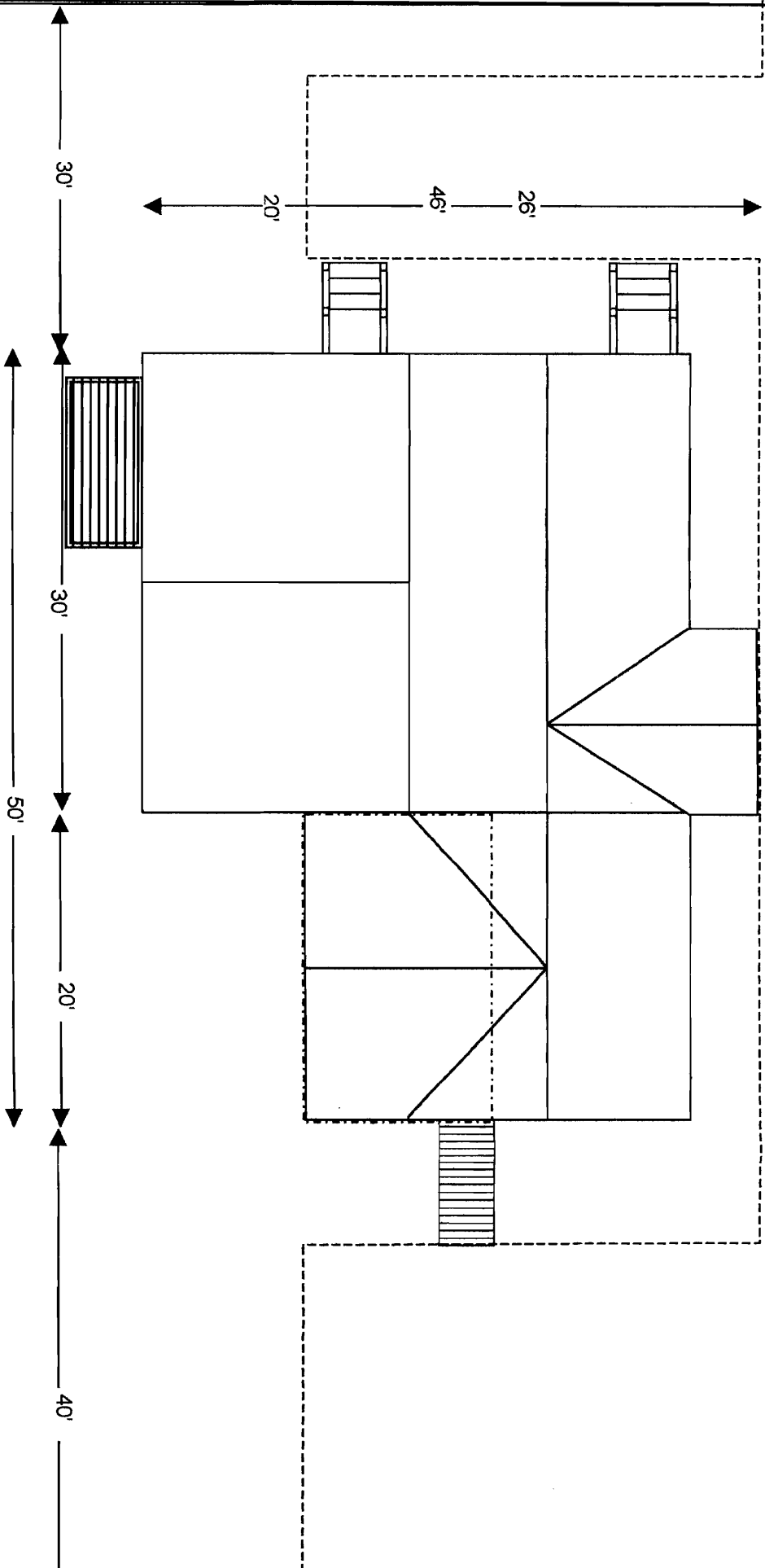
1 BUILDING SECTION  
1/4" = 1'-0"

**NOTE:**

THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.  
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY  
FOR LOCAL CODE COMPLIANCE.  
ALL DRAWINGS, PLANS, SKETCHES, ETC. ARE PROVIDED TO OUR  
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT  
AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES  
AND LOCAL CODES. NONE OF THE EMPLOYEES OF PFC CAD DRAFTING  
SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND  
SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED  
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION  
BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED  
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION  
BEGINS, PFC CAD DRAFTING SERVICES, INC. WILL BE HELD HARMLESS.  
PFC CAD DRAFTING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES  
AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

PLOT PLAN 493 OCEAN AVE CBL 163 D003

493  
Ocean  
Avenue  
85'



R-S

250'