

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070360

This is to certify that JOHNSON SCOTT W & MARY LOU ITS

has permission to Replace dining room & Deck 2 dining rooms & deck space

AT 493 OCEAN AVE

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure is completed or work is closed-in 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Chase

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeanne Park 5/12/07
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0360	Issue Date:	CBL: 163 D003001
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Location of Construction: 493 OCEAN AVE	Owner Name: JOHNSON SCOTT W & MARY L	Owner Address: 493 OCEAN AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: R-3 Along Ocean R-3-m REAL

Past Use: 3 unit residential	Proposed Use: 3 unit residential - Replace dining room & Deck w/ 2 dining rooms & attic space	Permit Fee: \$420.00	Cost of Work: \$40,000.00	CEO District: 4
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied See conditions	INSPECTION: Use Group: R2 Type: SB IBC-2003
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Proposed Project Description:
Replace dining room & Deck w/ 2 dining rooms & attic space
*legal use 3 residential D.U.
→ shed roof
per revision plan dated 2/6/08*

Signature: *Grey*
Signature: *JMB 5/12/08*
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

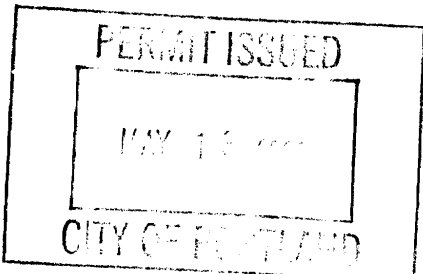
Permit Taken By:
Idobson

Date Applied For:
04/04/2007

Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>showing 14.9% increase</i> <input type="checkbox"/> Flood Zone <i>act of 2002 allowed</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/16/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0360	Date Applied For: 04/04/2007	CBL: 163 D003001
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Location of Construction: 493 OCEAN AVE	Owner Name: JOHNSON SCOTT W & MARY L	Owner Address: 493 OCEAN AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: 3 unit residential - Replace dining room & Deck w/ 2 dining rooms with shed roof with 7'x14' addition	Proposed Project Description: Replace dining room & Deck w/ 2 dining rooms with shed roof with 7'x14' addition
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/06/2008

Note:**Ok to Issue:**

- 1) The increase of your nonconformity is being approved under section 14-436 using 14.9% increase out of an allowable 80%.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted on February 6, 2008. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/12/2008

Note:**Ok to Issue:**

- 1) The new exterior decks and stairs are being reviewed under the IRC as the 3rd unit utilizes two other egresses independent of these.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 03/19/2008

Note:**Ok to Issue:**

- 1) Requested plan detailing 2 means of egress each floor.
- 2) The entire structure shall comply with NFPA 101 "Existing Apartments" Compliance shall be insured prior to the issuance of a Certificate of Occupancy.

Comments:

4/27/2007-mes: see letter - is not meeting 14-436 expansion - is going higher than permitted

6/4/2007-mes: met with Mr. Johnson to go over section 14-436 - He will redesign and get information back to me. He also will give me separate information concerning the garage repairs. We may separate the garage repairs under a separate permit to allow that portion of the job to move forward.

Location of Construction: 493 OCEAN AVE	Owner Name: JOHNSON SCOTT W & MARY L	Owner Address: 493 OCEAN AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

1/4/2008-mes: met with Mr. Johnson - he showed me some sketches that could work. The sketches were not scalable and wasn't able to be sure that it was meeting the 14-436, but it looks closer. I wanted some scalable plans and floor to ceiling heights for the "attic" area above.

4/1/2008-jmb: Spoke to Scott T. About details on plans, new framing section, floor ceiling assemblies, penetrations, storage area separation, stair construction and railings, all on a scale large enough to read. He will submit.

4/30/2008-jmb: Submitted revised plans to scale, need reduced copy or electronic

3/6/2008-mes: received revised plans from applicant on 2/6/08 - applicant out of town for a week told to hold off -

5/2/2008-jmb: Spoke to Scott J. The plans still don't include the fire/sound rated floor ceiling assemblies, stair details and fire penetration. He will submit. He also said the pdf was emailed to Lannie.

5/12/2008-jmb: Received fax for floor ceiling assembly

5/12/2008-jmb: Email msg to Scott J. After receiving the plans for the stairs: I am going allow use of the IRC code for the stair construction as the 3rd unit is independent from the 1st and 2nd units.

This means that the stair and deck guard must be a minimum of 36" in height instead of 42". The handrail height on the stairs can be between 34"-38" as stated on the plans, if it is mounted separately from the top of the balustered rail, or the graspable handrail can be the top rail at 36".



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 493 OCEAN AVE .		
Total Square Footage of Proposed Structure 840	Square Footage of Lot 21,250	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 163 D 3	Owner: SCOTT W. JOHNSON	Telephone: 773-4994 329-5551-DAY
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: SCOTT W. JOHNSON 493 OCEAN AVE . PORTLAND, ME 04103 773-4994	Cost Of Work: \$ 40,000 Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) 3 FAMILY	If vacant, what was the previous use? _____	
Proposed Specific use: SAME	Is property part of a subdivision? NO If yes, please name _____	
Project description: REPLACING - DINING ROOM & DECK WITH 2 DINING ROOMS AND ATTIC SPACE. + Repair Replace Garage Foundation -		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: SCOTT JOHNSON		
Mailing address: _____ Phone: 773-4994 (774-1104 W)		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Scott Johnson

Date:

4/4/07

This is not a permit; you may not commence ANY work until the permit is issued.

The additional floor area shall be created in the uppermost floor by the use of dormers, turrets or similar structures needed to provide the minimum height required for habitable space while preserving the existing roof configuration to the maximum extent possible.

- Sent with letter*
- (b) *For residential principal structures conforming as to land area per dwelling unit as of July 19, 1988, but lawfully nonconforming as to any yard setback or nonresidential principal structures that are lawfully nonconforming as to any yard setback:* The floor area of the expansion shall be limited to no more than eighty (80) percent of the first floor footprint. The additional floor area shall be created by raising the existing roof configuration the minimum amount required to create an additional story of habitable space, or by the use of dormers, turrets or similar structures.

Building expansions under this section may occur only once during the lifetime of an existing structure.

(Ord. No. 61-97, 8-18-97; Ord. No. 284-99, §3, 5-17-99, enacted as an emergency to take effect immediately pursuant to Article II, Sec. 8 of the Portland City Charter)

*Editor's note--Ord. No. 61-97, adopted Aug. 18, 1997, repealed former § 14-436 and enacted similar new provisions as herein set out. Formerly, such section derived from § 602.19.0 of the 1968 Code as amended by Ord. No. 92-88, adopted July 19, 1988.

Sec. 14-437. Setback reductions.

(a) *Authority.* The zoning administrator may grant setback reductions to the extent provided by this section.

(b) *Procedure.* Application for a setback reduction shall be submitted to the building inspections division. A payment of a nonrefundable application fee, as established from time to time by order of the city council to cover administrative costs, shall accompany each application. The application shall be in such form as prescribed by the zoning administrator and shall contain at least the following information and documentation:

1. The name and address of the applicant and his or her

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**
- Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

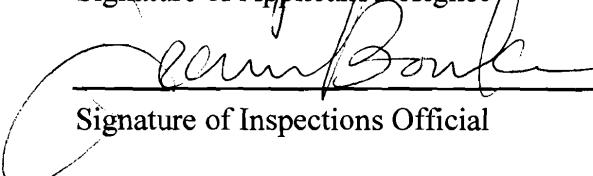
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

5/13/08

Date



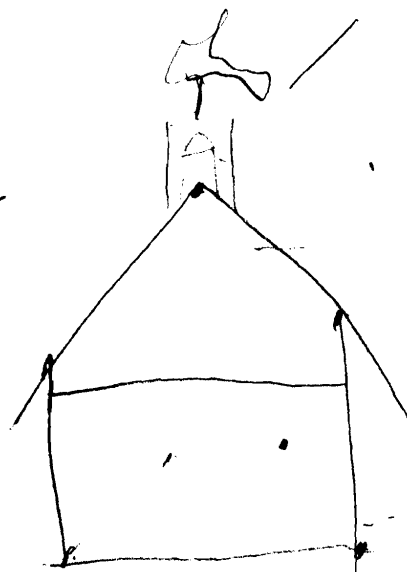
Signature of Inspections Official

5/12/08

Date

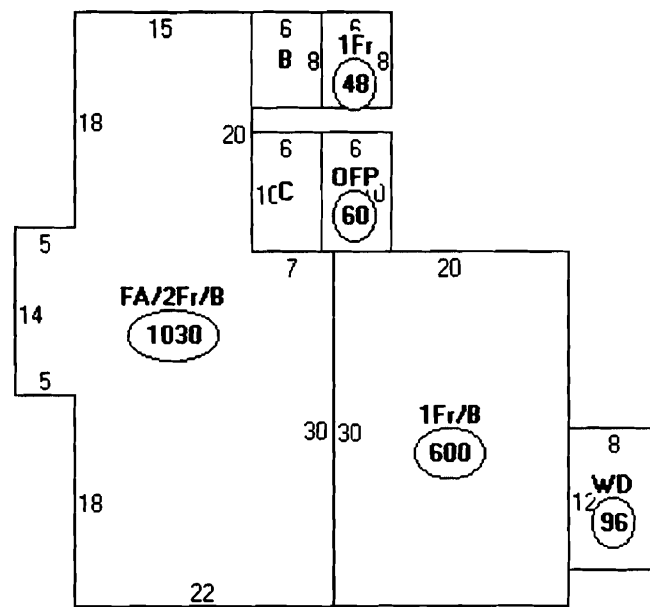


mes@portlandmaine.gov



how to measure
18' MAX

Average
Grade



Descriptor/Area

- A: FA/2Fr/B
1030 sqft
- B: WD/1Fr
48 sqft
- C: WD/OP
60 sqft
- D: 1Fr
48 sqft
- E: OFF
60 sqft
- F: 1Fr/B
600 sqft
- G: WD
96 sqft



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*Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator*

April 27, 2007

Scott W. Johnson
493 Ocean Avenue
Portland, ME 04103

RE: 493 Ocean Avenue – 163-D-003 – R-5 primary zone along Ocean Ave, with R-3 zone in the rear – permit #07-0360

Dear Mr. Johnson,

I am in receipt of your permit to replace and existing dining room and deck with 2 dining rooms and attic space and to repair and replace the garage foundation.

At this time I can not approve zoning for this permit because you are not meeting the current Land Use Ordinance regulations regarding your property.

Your property is currently legally nonconforming for setbacks. Because your property is legally nonconforming for setbacks, the amount of expansion allowed under 14-436 is limited in scope. I have attached a copy of 14-436 which guides this type of expansion. The ordinance only allows additional floor area created by raising the existing roof configuration the **minimum** amount required to create an additional story of habitable space, or by the use of dormers, turrets or similar structures. Your proposal goes beyond the requirements of the ordinance.

Your permit will be on hold if you would like to revise your plans to meet the ordinance.

Please call if you have any questions.

Very truly yours,

A handwritten signature in black ink that reads "Marge Schmuckal".

Marge Schmuckal
Zoning Administrator

Cc: file

From: scottjohnson <ltssj@maine.rr.com>
To: Marge Schmuckal <MES@portlandmaine.gov>
Date: 6/7/2007 4:02:06 PM
Subject: Re: 493 Ocean Avenue (CDB 163.003)

The garage will be exactly the same height.

We will work on some variations for roof line configurations.

Thanks.
Scott

> From: Marge Schmuckal <MES@portlandmaine.gov>
> Date: Thu, 07 Jun 2007 14:49:05 -0400
> To: ltssj@maine.rr.com
> Subject: Re: 493 Ocean Avenue (CDB 163.003)
>
> Scott,
> If you are going to change anything (including the height) about the garage, I
> would need plans showing the specifics of what you would be changing before I
> can sign off on a permit.
>
> I don't know if you can incorporate a deck. I would need to see what you are
> proposing first to see if it meets the wording of the ordinance. And an
> exterior stairway which is not enclosed, then it would not meet zoning.
> Building code regulations regarding stairways are a separate matter which I do
> not regulate. The building code folks regulate those requirements.
>
> Marge
>
>>>> scottjohnson <ltssj@maine.rr.com> 6/7/2007 2:00:17 PM >>>
> Marge,
>
> My notes say that the maximum is 18 ft. Can I raise it 1 foot, making the
> new height 17 ft from average grade? If the 16 ft permit is quickly doable
> and 17 ft is another involved process, I will make it 16 ft.
>
> Also, with regard to the house, can we incorporate a roof deck?
> Are spiral staircases legal?
>
> Thanks,
>
> Scott
>
>
>> From: Marge Schmuckal <MES@portlandmaine.gov>
>> Date: Thu, 07 Jun 2007 11:38:02 -0400
>> To: ltssj@maine.rr.com
>> Subject: Re: 493 Ocean Avenue (CDB 163.003)
>>
>> Scott,
>> Let me reiterate what I think you just told me. The existing height of the
>> existing garage is 16 ft from average grade to the midway point of the roof.
>> Are you also telling me that when you lift it up and replace the foundation
>> that you will NOT be raising it any higher? That it will remain the 16 ft in
>> height?

>>
>> If you can confirm this, I will have a separate permit created just for the
>> garage as we work on the house addition.
>>
>> Thank you,
>> Marge
>>
>>>>> scottjohnson <ltssj@maine.rr.com> 6/7/2007 11:34:23 AM >>>
>> Hi Marge,
>>
>> Thank you for meeting with me Monday.
>>
>> With regard to the separate permit for re-supporting the garage, the height
>> from average grade to the point half way between the roof peak and eave edge
>> is 16".
>>
>> Please let me know what I need to do. New Permit app or additional funds?
>>
>> Thanks again for your help.
>>
>> Scott Johnson
>

From: Marge Schmuckal
To: scottjohnson
Date: 6/7/2007 11:38:03 AM
Subject: Re: 493 Ocean Avenue (CDB 163.003)

Scott,

Let me reiterate what I think you just told me. The existing height of the existing garage is 16 ft from average grade to the midway point of the roof. Are you also telling me that when you lift it up and replace the foundation that you will NOT be raising it any higher? That it will remain the 16 ft in height?

If you can confirm this, I will have a separate permit created just for the garage as we work on the house addition.

Thank you,
Marge

>>> scottjohnson <ltssj@maine.rr.com> 6/7/2007 11:34:23 AM >>>
Hi Marge,

Thank you for meeting with me Monday.

With regard to the separate permit for re-supporting the garage, the height from average grade to the point half way between the roof peak and eave edge is 16".

Please let me know what I need to do. New Permit app or additional funds?

Thanks again for your help.

Scott Johnson

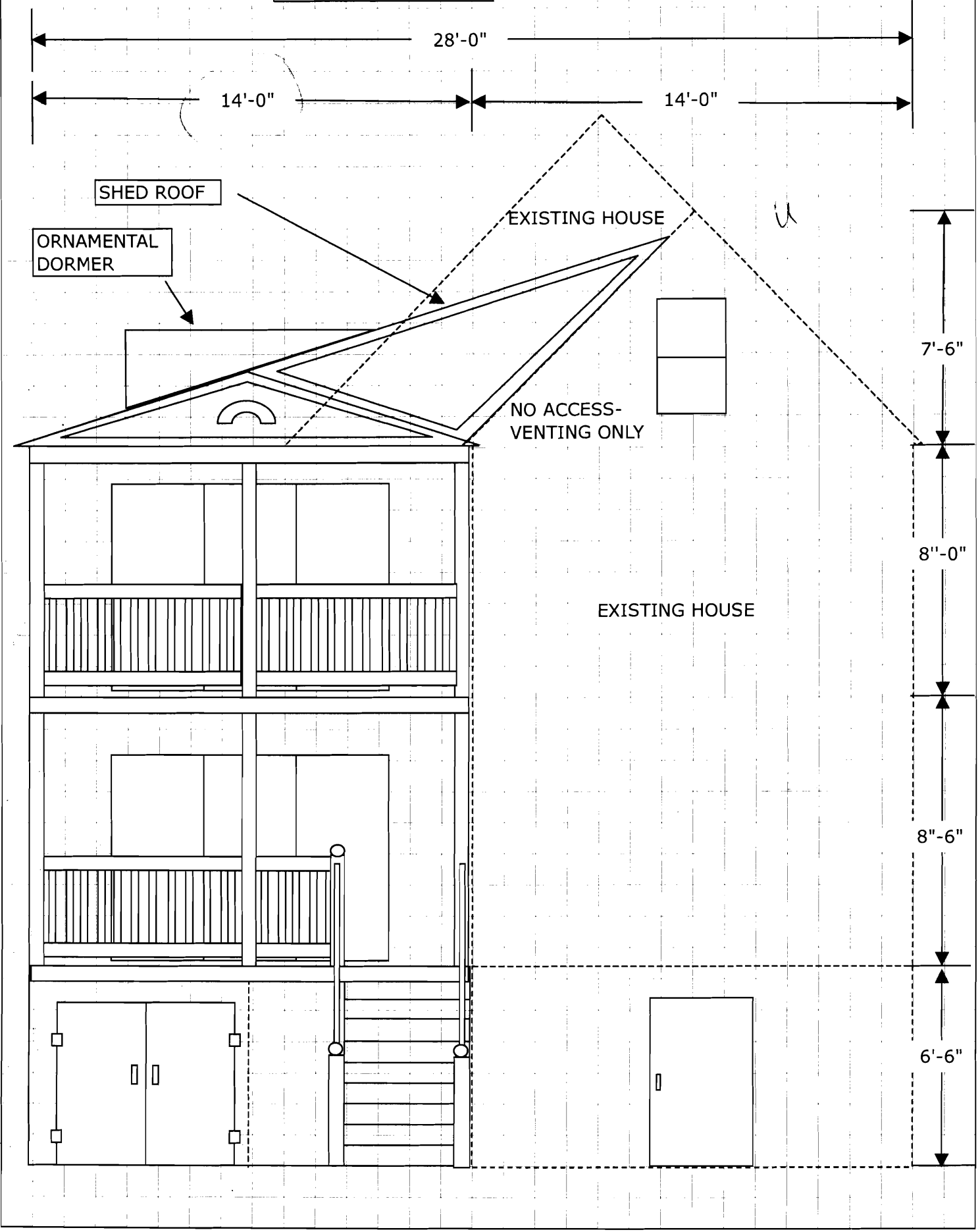
Revised plans OK under 14-436

493 OCEAN AVE, PORTLAND MAINE

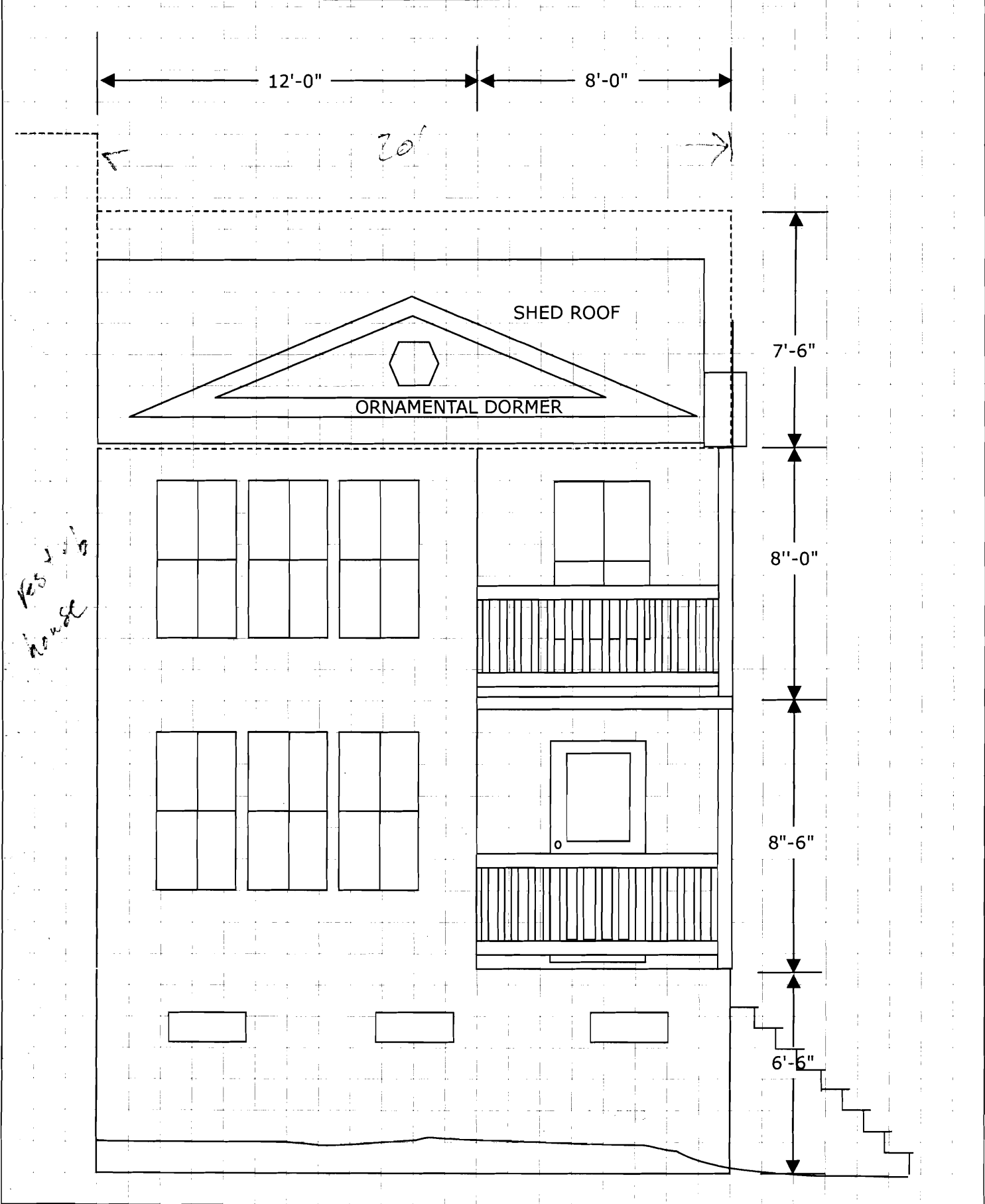
BUILDER: SCOTT JOHNSON

SCALE 1/4" = 1'

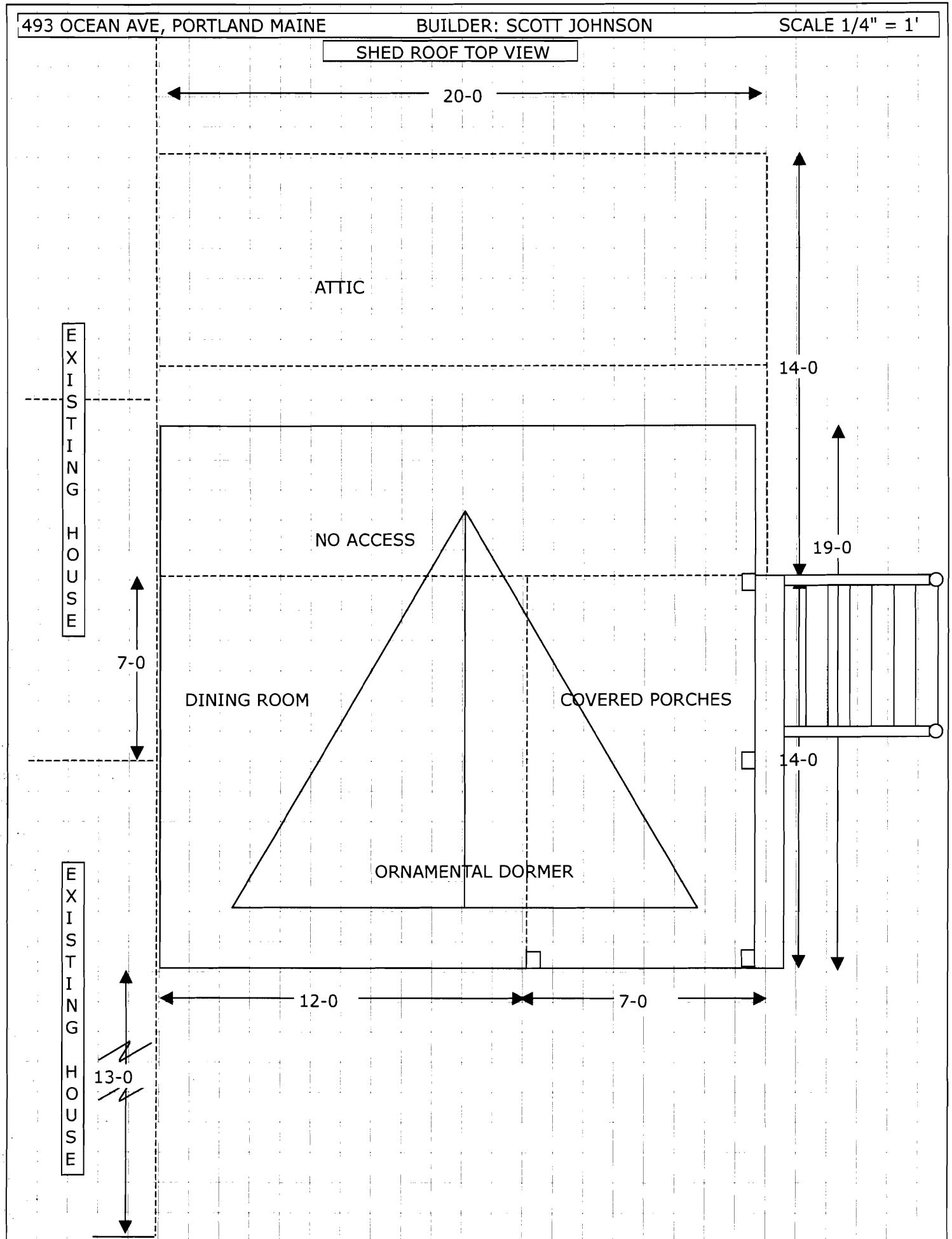
SHED ROOF REAR VIEW



SHED ROOF SIDE



SHED ROOF TOP VIEW



From: scottjohnson <ltssj@maine.rr.com>
To: <gec@portlandmaine.gov>
Date: 3/19/2008 5:52:04 PM
Subject: 493 Ocean Ave CBL 163 D003

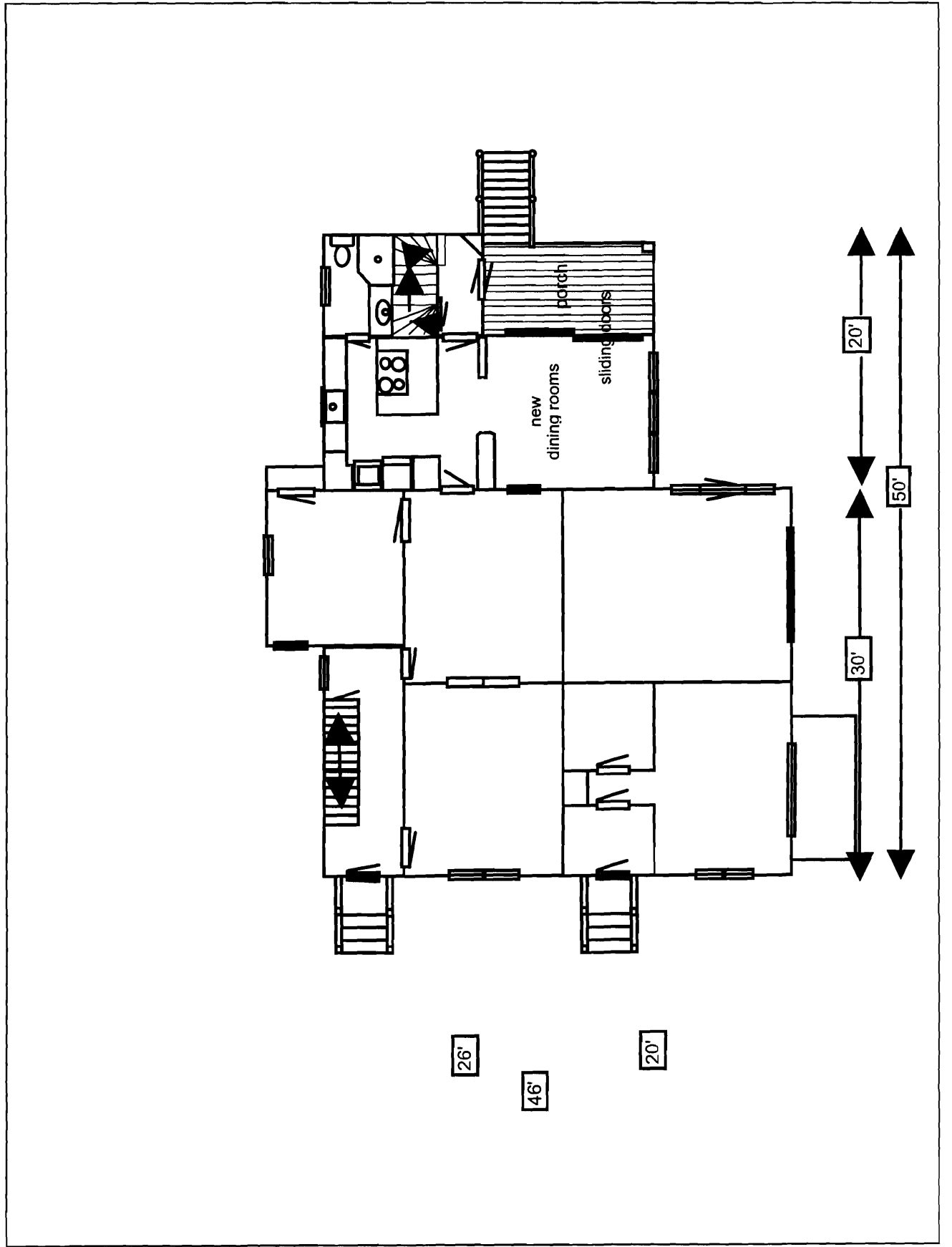
Greg,

Here~~s~~ is the floor plan. Both floors are laid out the same.

If you have any further questions, please don~~t~~ hesitate to call.

Thanks,

Scott Johnson



Need Scribble plans 1/4/08

OLD



NEW



See
revised

VIEW FROM PAYSON PARK

NTS



OLD



NEW

VIEW FROM FRONT

OLD



NEW



*See
revised*

VIEW FROM BACK



VIEW FROM NEIGHBOR

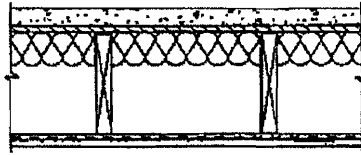
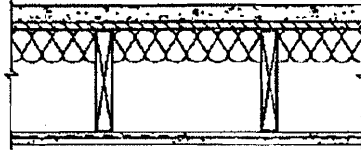
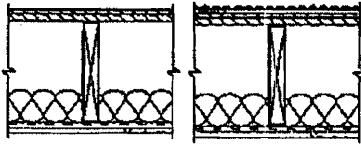
120

ATTN: JEANIE BOURKE

REF: 493 OCEAN AVE CBL 163 D003001

GA-600-2006 FIRE RESISTANCE DESIGN MANUAL

1/1

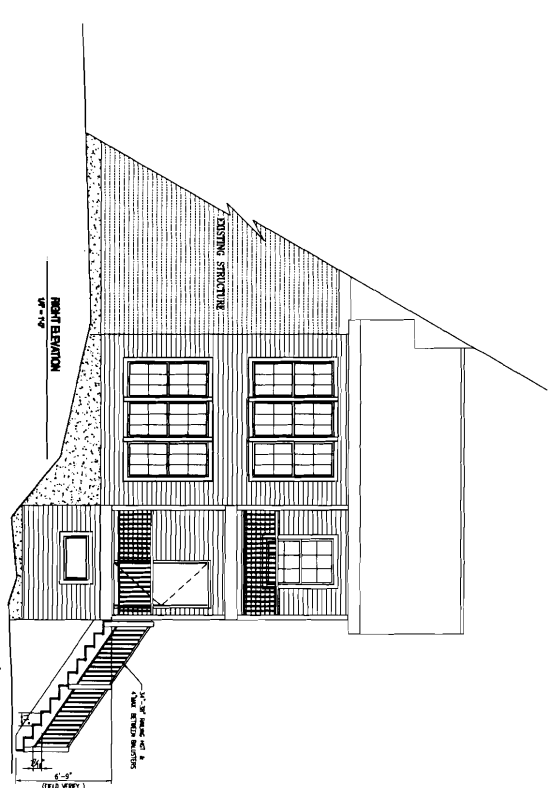
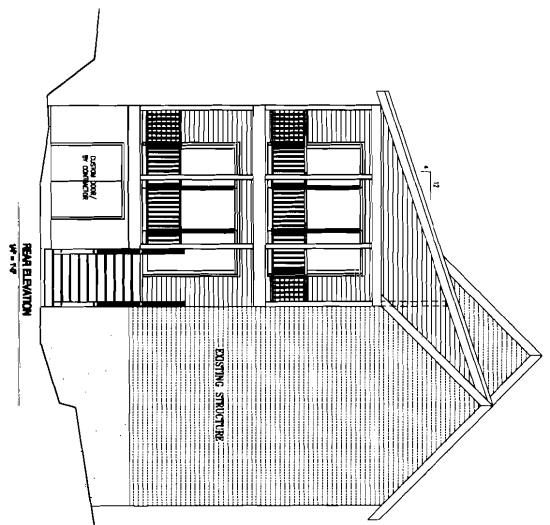
FLOOR-CEILING SYSTEMS, WOOD FRAMED			
GA FILE NO. FC 5115	PROPRIETARY*	1 HOUR FIRE	50 to 54 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 5/8" interior plywood with exterior glue subfloor and 1 1/2" perlite-sand concrete reinforced with No. 19 SWG galvanized hexagonal wire mesh. 3" glass fiber insulation 0.90 pcf in joist space stapled to subfloor.			
PROPRIETARY GYPSUM BOARD United States Gypsum Company - 5/8" SHEETROCK® Brand FIRECODE® C Core Gypsum Panels		Approx. Ceiling Weight: 2 psf Fire Test: UL R3453-7, 5-1-70; UL Design L516 Sound Test: KAL L 224-28-65, 3-30-65 (74 C & P) IIC & Test: KAL L 224-27-65, 3-30-65	
GA FILE NO. FC 5116	PROPRIETARY*	1 HOUR FIRE	50 to 54 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws at 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 5/8" interior plywood with exterior glue subfloor and 1 1/2" perlite-sand concrete reinforced with No. 19 SWG galvanized hexagonal wire mesh. 3" glass fiber insulation 0.90 pcf in joist space stapled to subfloor.			
PROPRIETARY GYPSUM BOARD American Gypsum Company - 5/8" FireBloc® Type C BPB America Inc. - 5/8" ProRoc® Type C Gypsum Panels BPB Canada Inc. - 5/8" ProRoc® Type C Gypsum Panels G-P Gypsum - 5/8" ToughRock® Fireguard® C Lafarge North America Inc. - 5/8" Firecheck® Type C National Gypsum Company - 5/8" Gold Bond® Brand FIRE-SHIELD C™ Gypsum Wallboard PABCO Gypsum - 5/8" FLAME CURB® Super C™ Temple-Inland Forest Products Corporation - 5/8" TG-C		Approx. Ceiling Weight: 2 psf Fire Test: UL R3453-7, 5-1-70; Based on UL R3660-7, -8, 11-12-87; R2717-61, 8-18-87; Based on UL R7094, 90NK10635, 10-24-80; Based on UL R8742, 88NK22591, 10-6-88; UL Design L516 Sound Test: KAL L 224-28-65, 3-30-65 (74 C & P) IIC & Test: KAL L 224-27-65, 3-30-65	
GA FILE NO. FC 5120	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 8" o.c. at ends and 12" o.c. at intermediate furring channels. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 64" long with screws 8" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails, 1 1/4" long, 0.085" shank, 1/4" heads, two per joist. Wood joists supporting 5/8" interior plywood with exterior glue subfloor and 3/8" particle board, 1.5 psf. 3 1/2" glass fiber insulation batts, 0.7 pcf, friction fit in joist cavities supported alternately every 12" by wire rods and resilient furring channels.			
Sound tested with carpet and pad and with insulation stapled to joists.		Approx. Ceiling Weight: 2 psf Fire Test: FM FC-181, 8-31-72 Sound Test: G&H OC-3MT, 10-13-71 (73 C & P) IIC & Test: G&H OC-3MT, 10-13-71	

*Contact the manufacturer for more detailed information on proprietary products.

MAY 12 2008

MAY 1 2008

MAY 12 2008



See
Condition
JWB

34-38" Rail
2 4" space
7 7/16 Rise
11 Tread

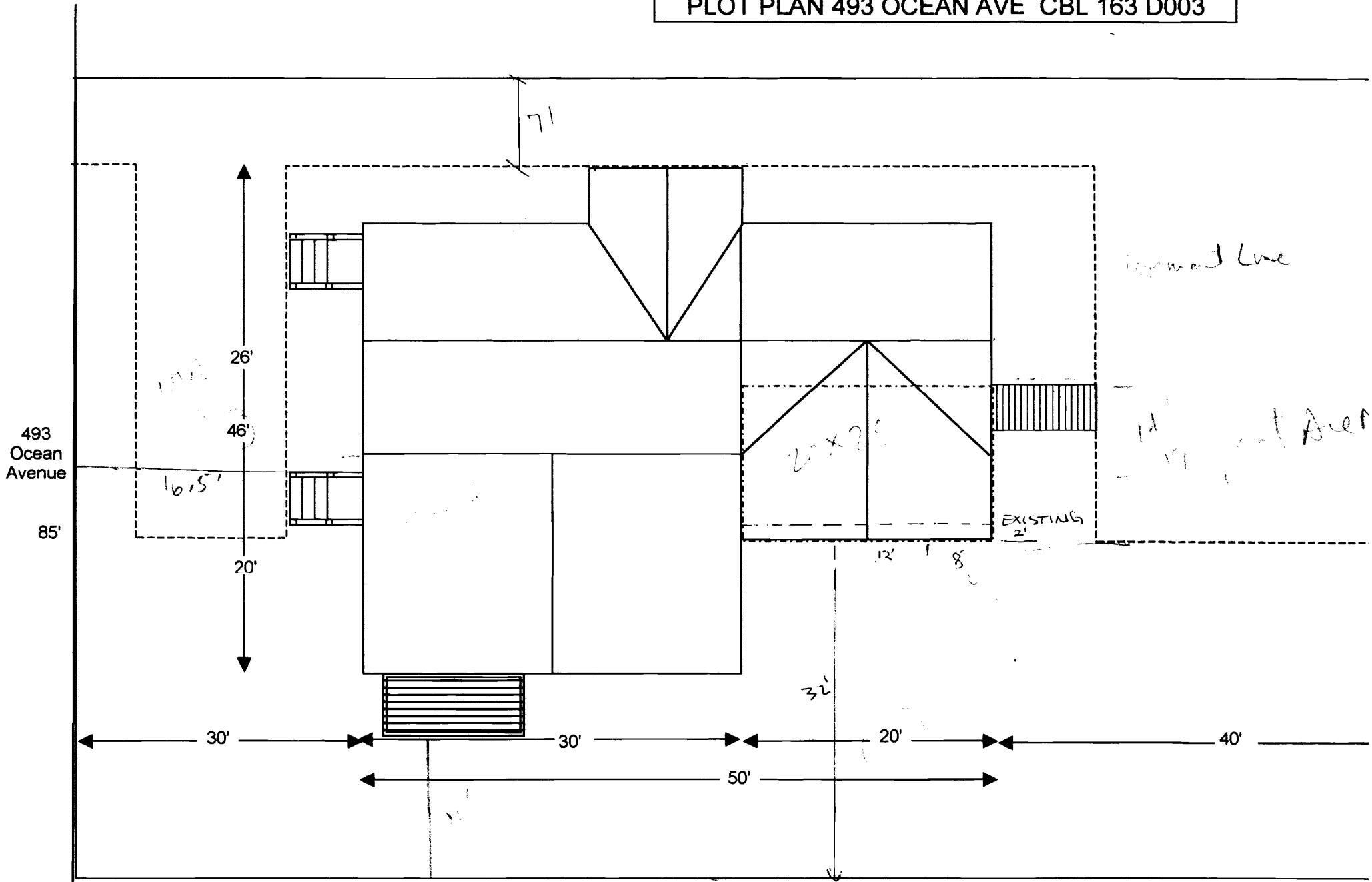
Revisions:

Date: 05-05-08
Scale: 1/4" = 1'-0"
Drawn By: DJL
Project: 101318
Sheet Number: 1-4-3

HOUSE ADDITION-ELEVATION
SCOTT JOHNSON
493 OCEAN AV. PORTLAND, ME.



PLOT PLAN 493 OCEAN AVE CBL 163 D003



Property Line

14' 14' out Area

EXISTING 2'

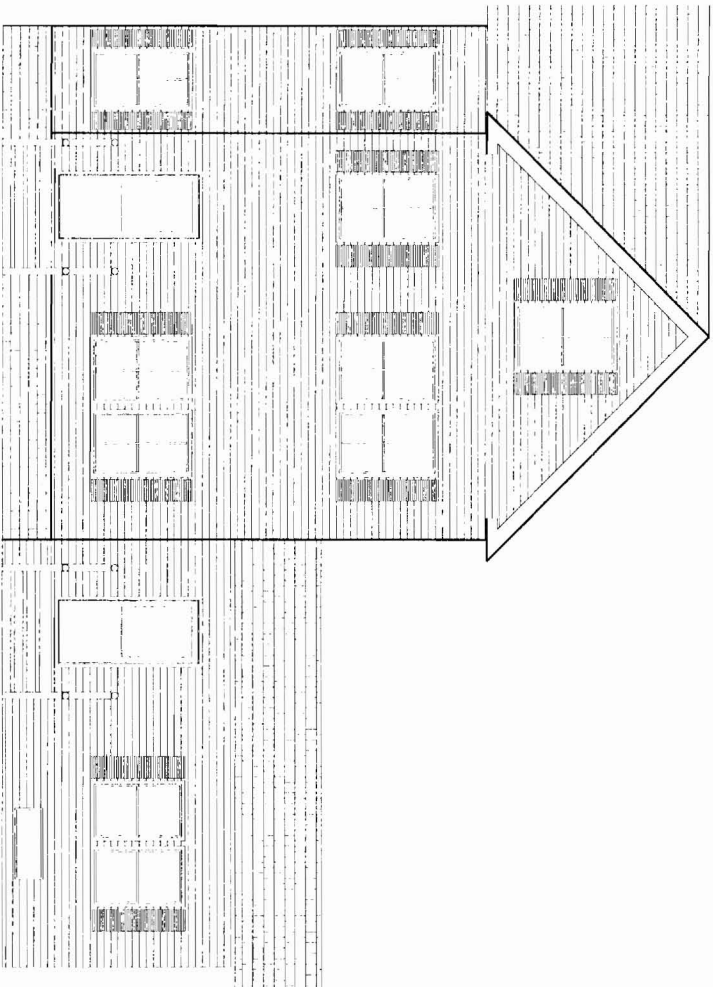
20x20'

PROPERTY LINE

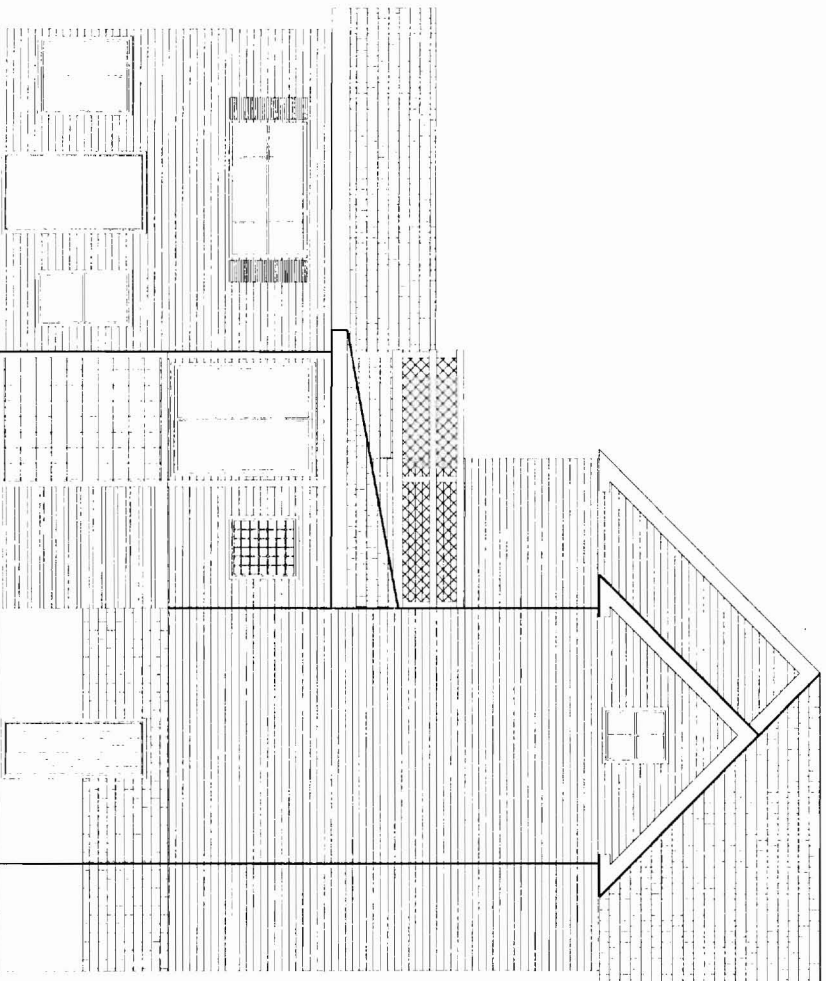
250'

1A-436 - 80% rule

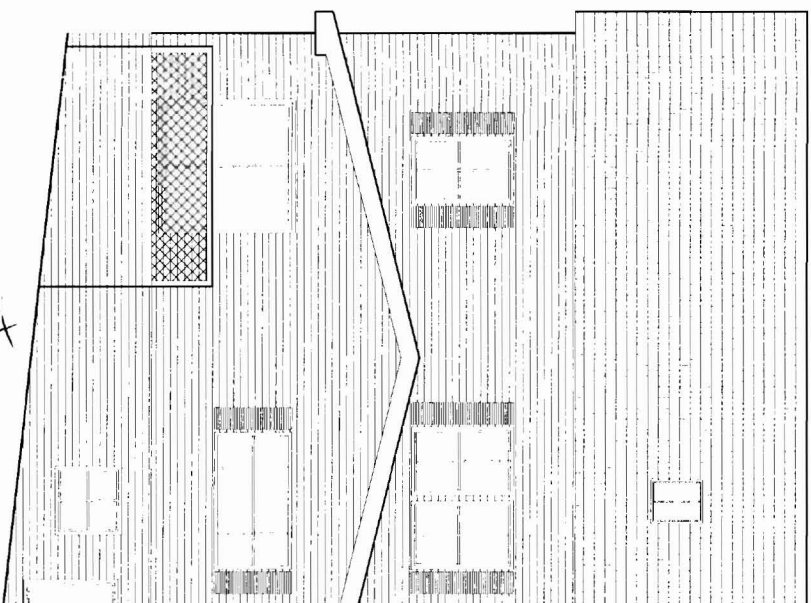
1A-436 - 78% rule



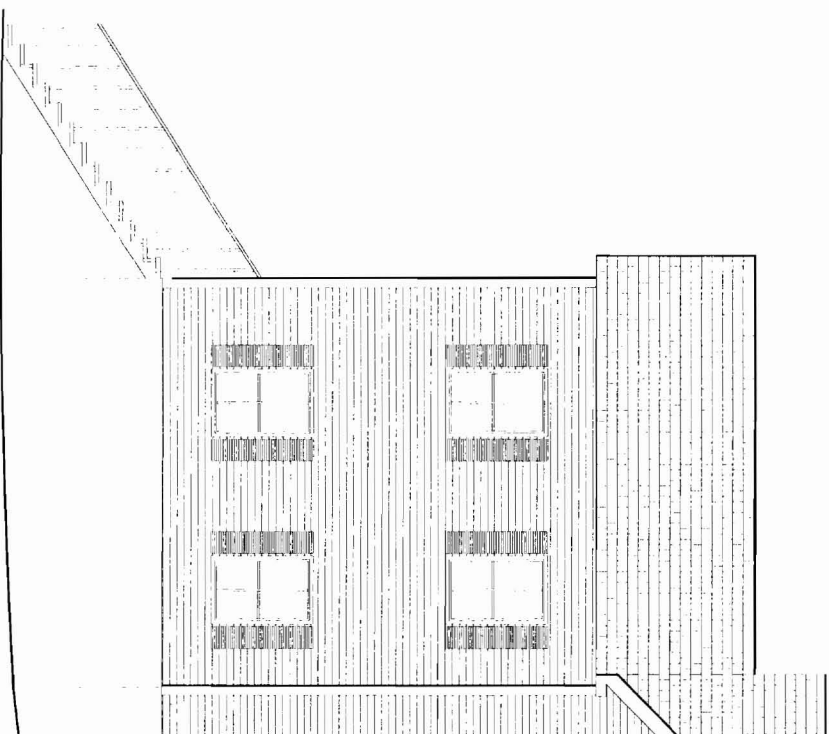
1
1/4" = 1'-0" EXISTING FRONT ELEVATION



3
1/4" = 1'-0" EXISTING REAR ELEVATION



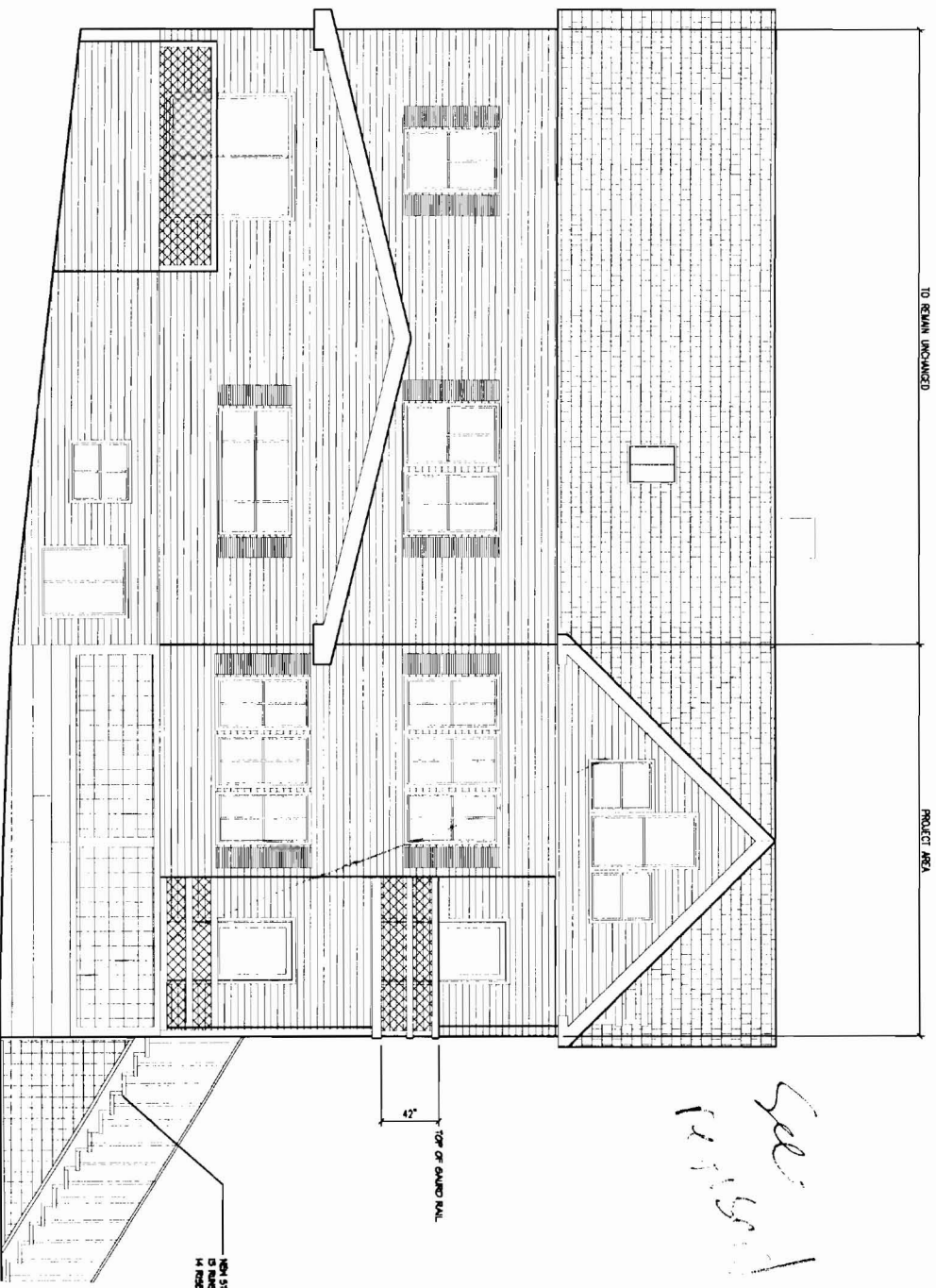
2
1/4" = 1'-0" EXISTING LEFT ELEVATION
right



4
1/4" = 1'-0" EXISTING RIGHT ELEVATION

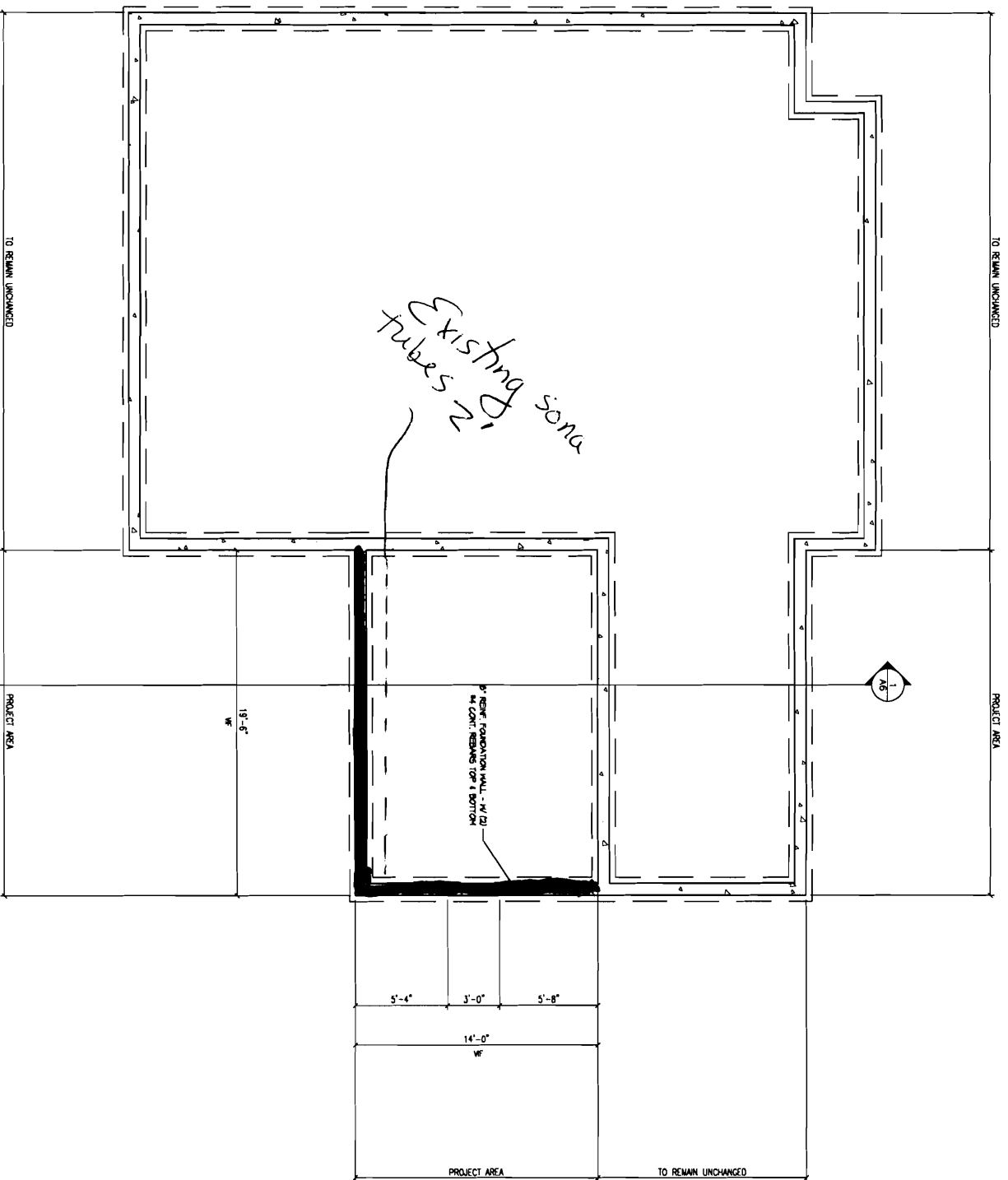
NOTE:

This drawing is provided for informational purposes only. It is not intended to be used for construction. All construction shall be in accordance with the applicable local code requirements. The contractor shall be responsible for all details, materials, and methods of construction. The architect shall be responsible for the design and coordination of the project. The contractor shall be responsible for the construction of the project. The architect shall be responsible for the design and coordination of the project. The contractor shall be responsible for the construction of the project. The architect shall be responsible for the design and coordination of the project. The contractor shall be responsible for the construction of the project.



1 REMODELED LEFT ELEVATION
1/8" = 1'-0"

NOTE:
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1 FOUNDATION
1/4" = 1'-0"

New Foundation

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AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING
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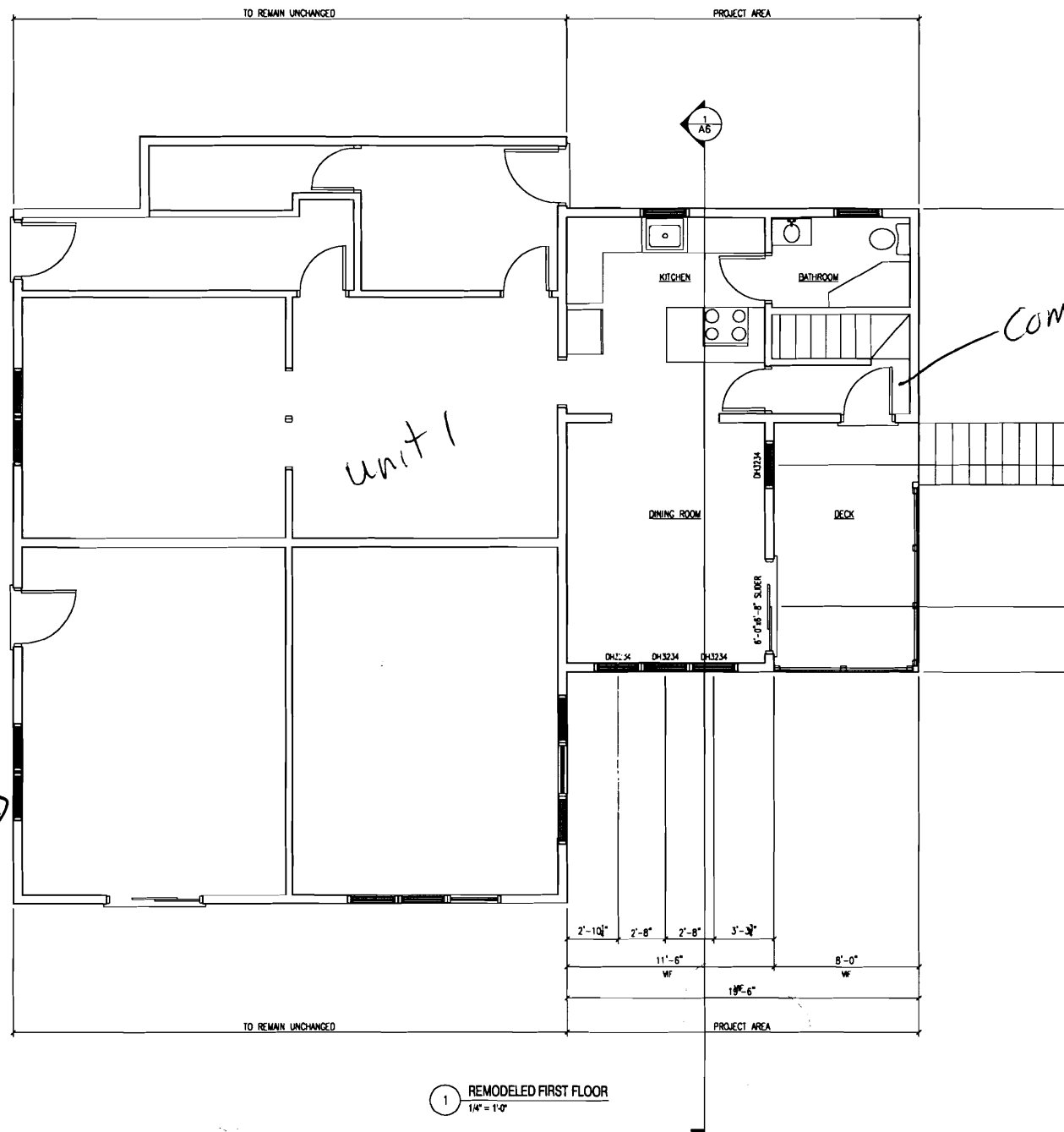
EXISTING HOOD STRUCTURE

REPAIR HOOD FOUNDATION WALL - W/ 2" IN
CONC. REMAINS TOP & BOTTOM ON
EXISTING GRADE

STEP FOUNDATION TO MAINTAIN A MINIMUM
48" MOST DEPTH

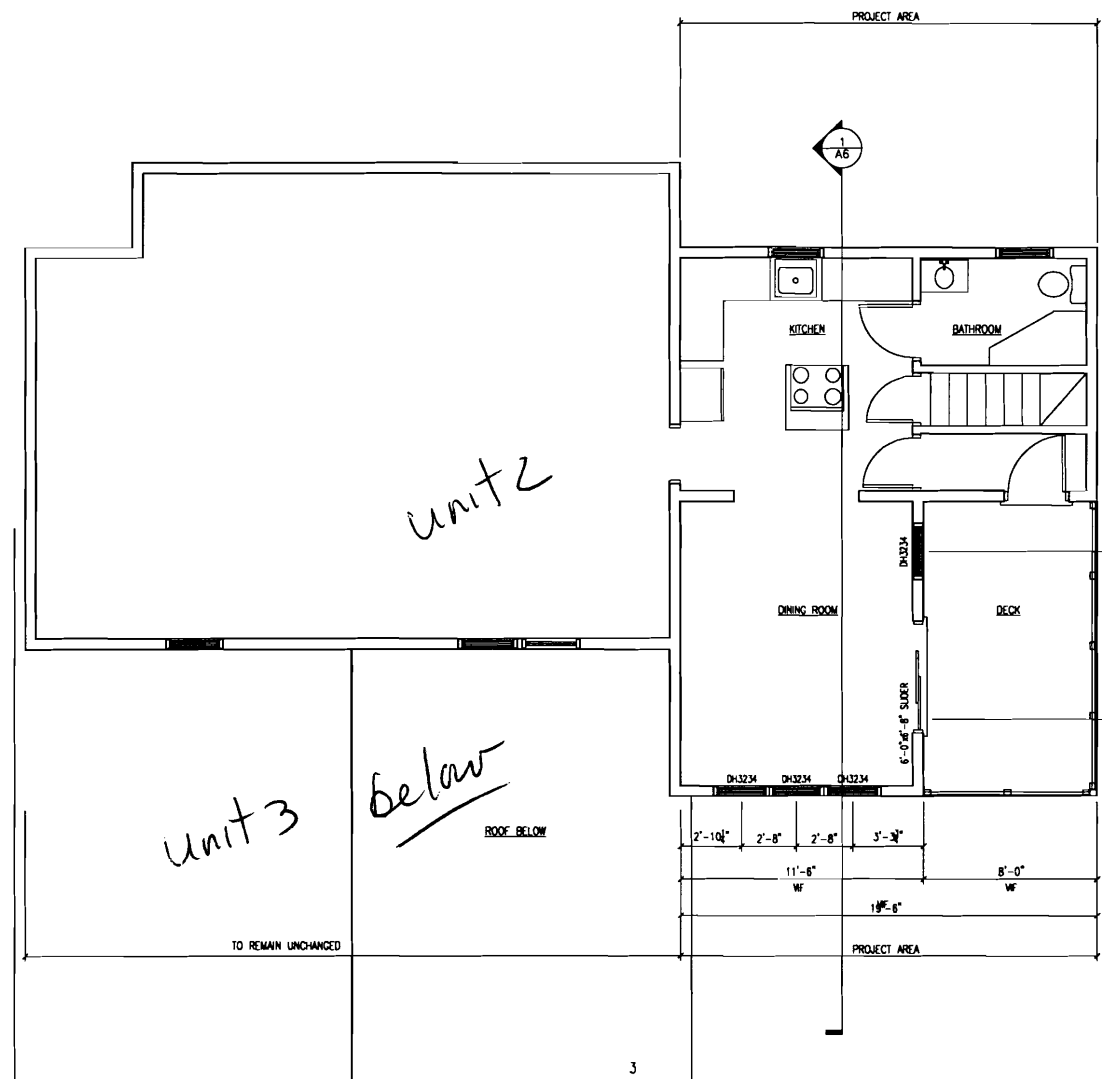
2" CHANGING CONC. FOOTING W/ 2" CONC
FIN

14 x 20



NOTE:

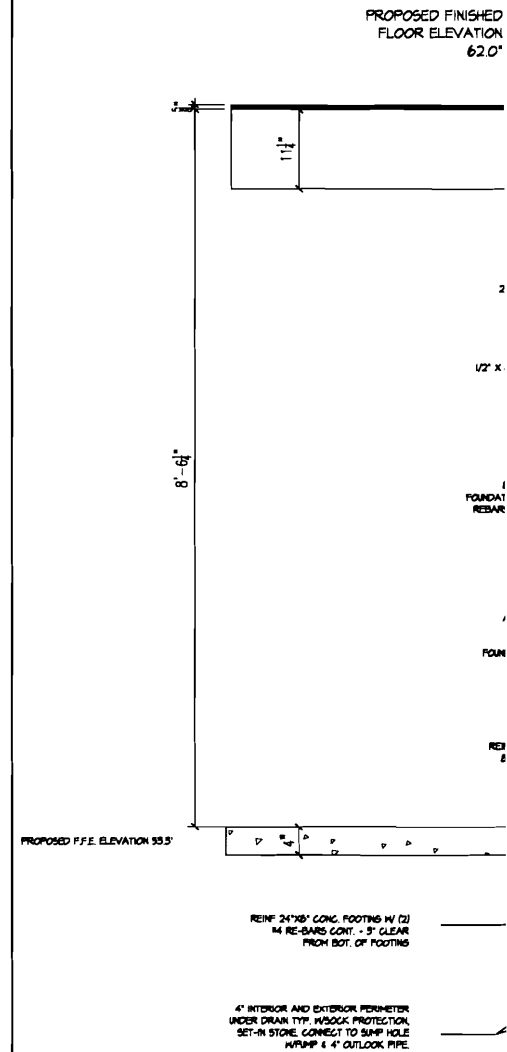
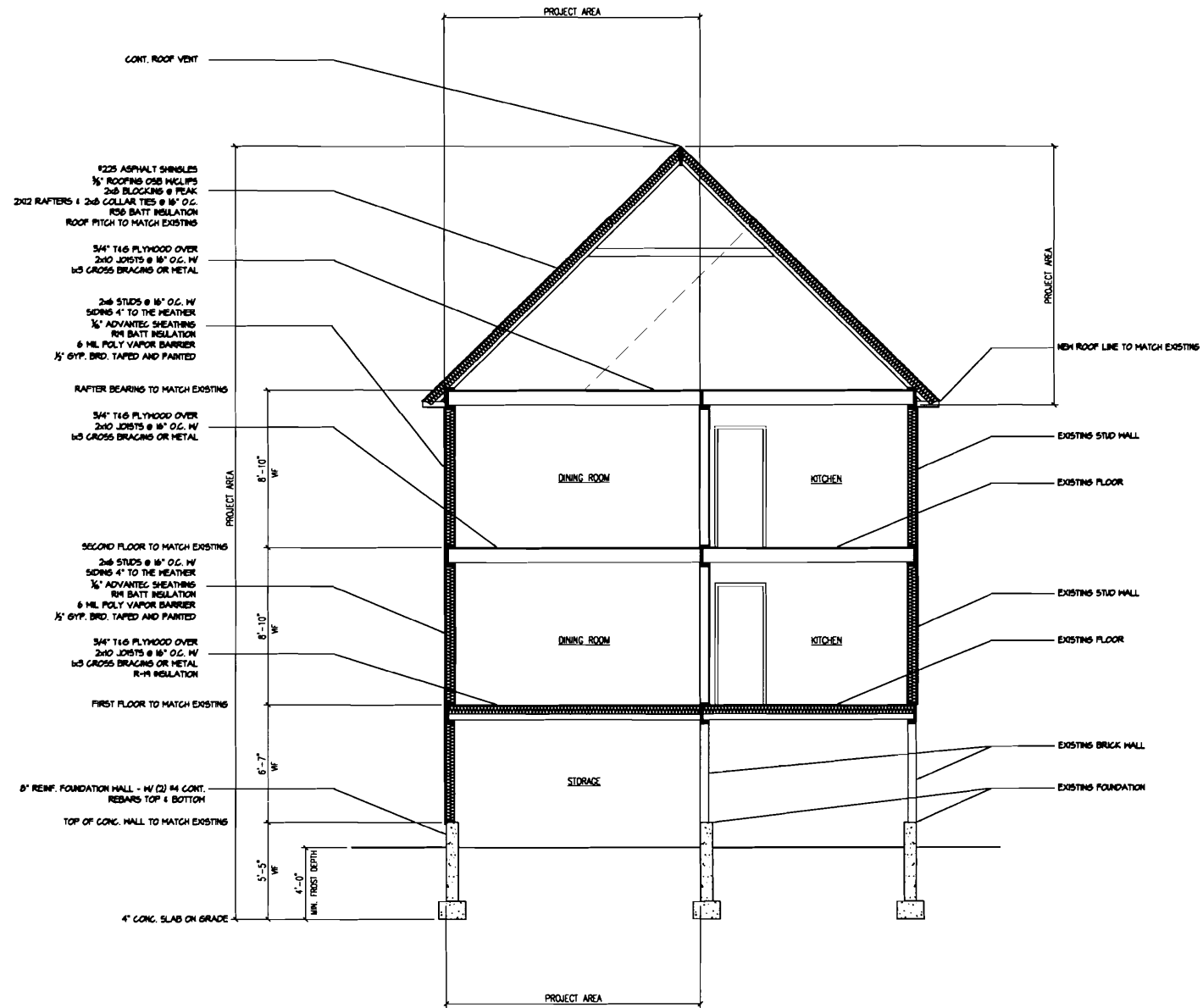
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1 REMODELED SECOND FLOOR
1/4" = 1'-0"

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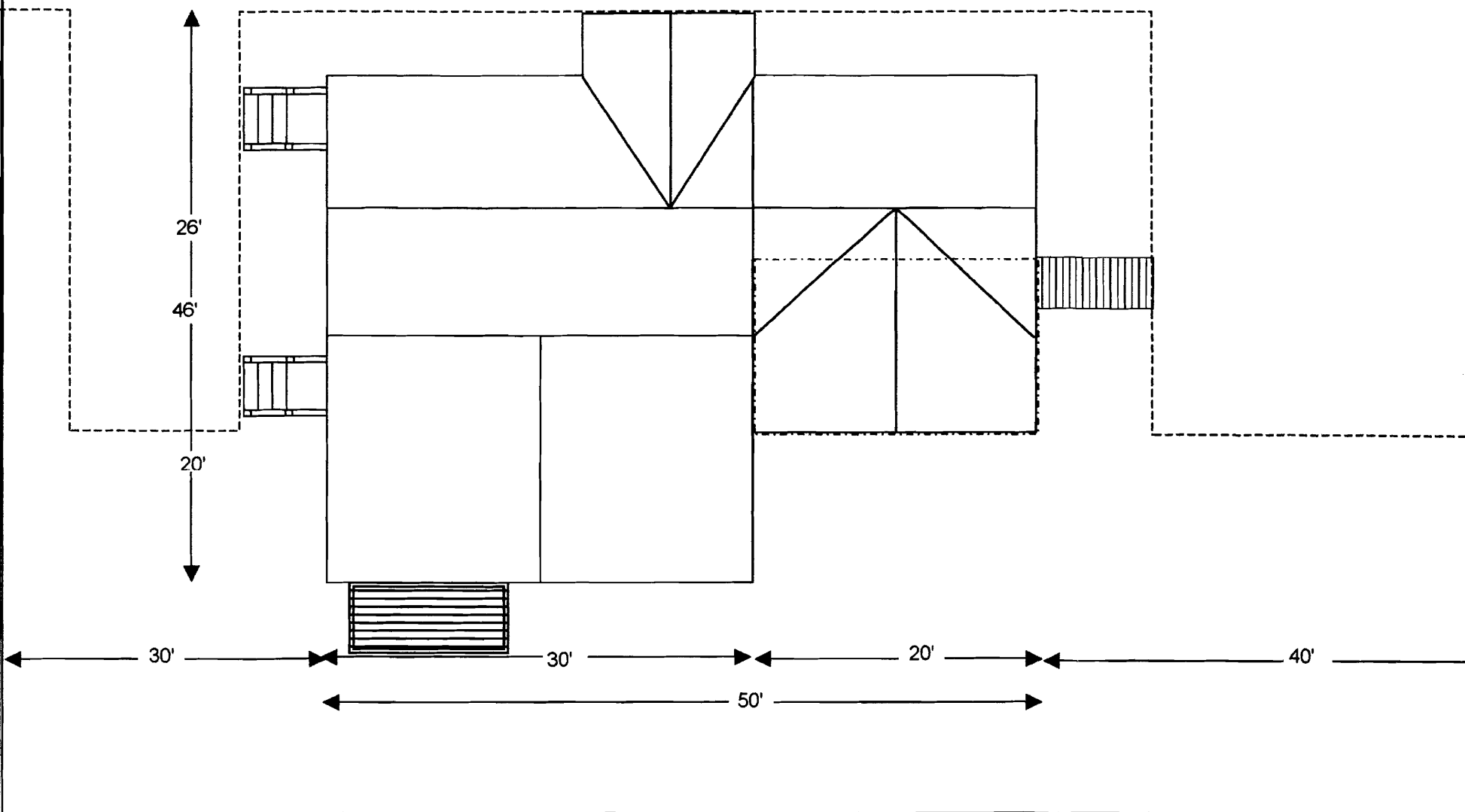
1 BUILDING SECTION
1/4" = 1'-0"

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PLOT PLAN 493 OCEAN AVE CBL 163 D003

493
Ocean
Avenue
85'



R-5

250'