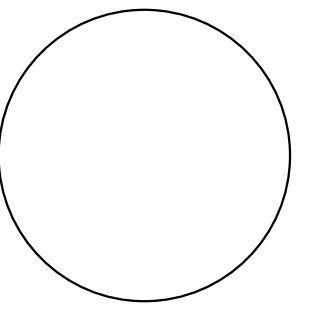


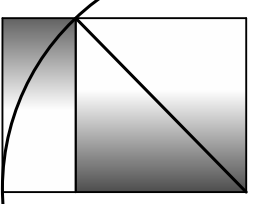
OCEAN AVE RESIDENCE ADDITION

524 OCEAN AVE PORTLAND, ME

OCEAN AVE RESIDENCE ADDITION
524 OCEAN AVE
PORTLAND, ME



WHIPPLE
CALLENDER
ARCHITECTS

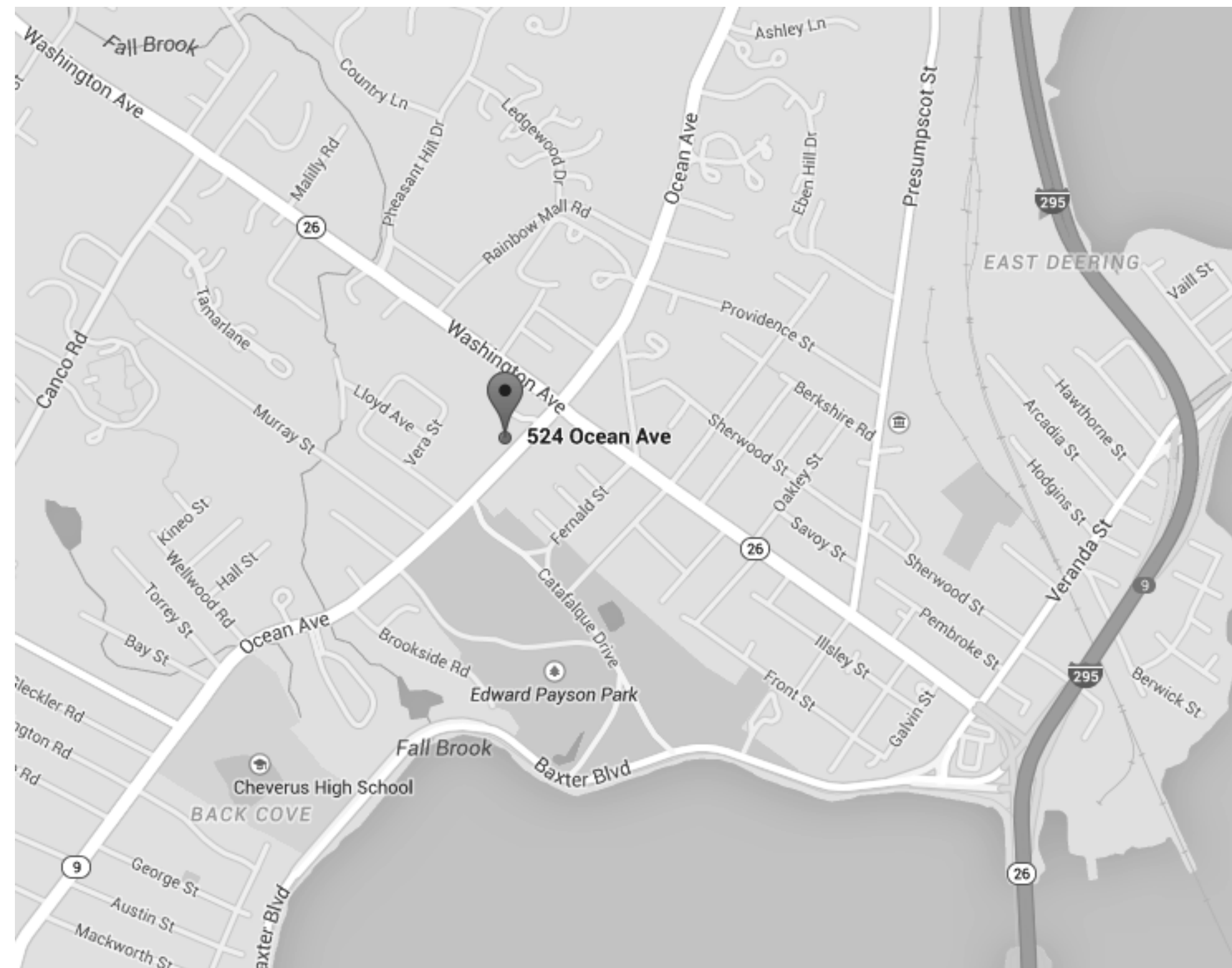


136 PLEASANT AVE.
PORTLAND, ME 04103
P 207.775.2696
F 207.775.3631
www.whipplecallender.com

VICINITY MAP



1" = 1000'



PORTLAND, MAINE

GENERAL NOTES

- NOT ALL EXISTING CONDITIONS MAY HAVE BEEN PICKED UP DURING FORMATION OF AS-BUILT DRAWINGS. PLEASE BRING ANY UNDOCUMENTED CONDITION TO ARCHITECT'S ATTENTION BEFORE COMMENCING OR PROCEEDING WITH WORK WHERE A CONFLICT MAY OCCUR.
- NO SMOKING WILL BE ALLOWED ON SITE.
- REMOVE ABANDONED UTILITIES AND WIRING SYSTEMS.
- SURVEY EXISTING CONDITIONS AND CORRELATE WITH DRAWINGS AND SPECIFICATIONS TO VERIFY EXTENT OF DEMOLITION REQUIRED.
- VERIFY CONDITIONS AT SITE TO DETERMINE WHETHER DEMOLITION METHODS PROPOSED FOR USE WILL NOT ENDANGER EXISTING STRUCTURES BY OVERLOADING, FAILURE, OR UNPLANNED COLLAPSE.
- PERFORM DEMOLITION OPERATIONS BY METHODS WHICH DO NOT ENDANGER ADJACENT SPACES, STRUCTURES, OR THE PUBLIC.
- PERFORM DEMOLITION OPERATIONS TO PREVENT DUST AND POLLUTANT HAZARDS. PROVIDE CHUTES AS REQUIRED TO CONTROL DUST AND DEBRIS

PROJECT DATA

ZONING: R5
FRONT YARD SET BACK 20'
SIDE YARD SET BACK 12' TWO STORY
8' ONE STORY
REAR YARD SET BACK 20'
MAX. BLDG. HT. 35'
LOT COVERAGE 40% MAX
15,650 S.F. X .4 = 6,260 S.F. MAX
EXISTING COVERAGE = 3,996 S.F.
PROPOSED COVERAGE = 4,991 S.F.
LOT COVERAGE INCREASE = 995 S.F.

SITE AREA: 15,650 SQ. FT.
BLDG USE: RESIDENTIAL
OCC. GROUP: RESIDENTIAL
CONST. TYPE: WOOD FRAMED
CLIMATE ZONE: 6A
BLDG. CODE: IBC 2009
FIRE SPRINKLERS: NONE

APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF MAINE AND LOCAL JURISDICTION.

IRC 2009
MAINE STATE PLUMBING CODE
PORTLAND ZONING ORDINANCE

THERMAL ENVELOPE REQUIREMENTS PER IRC 2009
- FENESTRATION U-FACTOR 0.35
- SKYLIGHT U-FACTOR 0.60
- CEILING R-VALUE 49
- WOOD FRAME WALL R-VALUE 20 OR 13+5
- FLOOR R-VALUE 30 or insulation to fill cavity min R-19
- BASEMENT WALL R-VALUE 10 continuous or 13 framing cavity
- SLAB R-VALUE R-10 to 4 feet
- CRAWL SPACE WALL R-VALUE 10 continuous or 13 framing cavity

SCOPE OF WORK

RECONFIGURE FRONT ENTRY CLOSET
ADDITION OF GUEST BEDROOM AND BATH, TWO CAR GARAGE, AND ENLARGED KITCHEN
RENOVATE FIRST FLOOR HALF BATH
LAUNDRY MOVED TO FIRST FLOOR FROM BASEMENT
RENOVATIONS TO SECOND FLOOR BY DIVIDING EXISTING BEDROOM INTO TWO BATHROOMS.
REMOVAL OF EXISTING SECOND FLOOR BATHROOM TO CREATE NEW MASTER BEDROOM CLOSET AND ACCESS TO NEW MASTER BATHROOM
REMOVAL OF EXISTING DETACHED TWO CAR GARAGE

SHEET INDEX

SHEET INDEX	
ID	Name
T1	TITLE SHEET
A1.1	SITE PLAN
A1.2	DEMO PLANS
A1.3	FLOOR PLANS
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS
A3.2	SECTIONS
A6.1	DOOR AND WINDOW SCHEDULE
S0.0	STRUCTURAL NOTES
S1.0	FOUNDATION PLAN
S1.1	FIRST FLOOR FRAMING PLAN
S1.2	SECOND FLOOR FRAMING
S1.3	ROOF FRAMING PLAN
S2.1	CONCRETE DETAILS
S2.2	CONCRETE DETAILS
S3.1	FRAMING DETAILS

PROGRESS SET - NOT FOR CONSTRUCTION
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF WHIPPLE CALLENDER ARCHITECTS. IT SHALL NOT BE USED FOR ANY OTHER PURPOSE THAT FOR WHICH IT IS SPECIFICALLY FURNISHED.

DESCRIPTION
DATE
MARK

DATE: 3/3/15
CHECKED BY: AEC
DRAWN BY: JRP
JOB: 14-524 BISHOP
SHEET TITLE: TITLE SHEET

T1