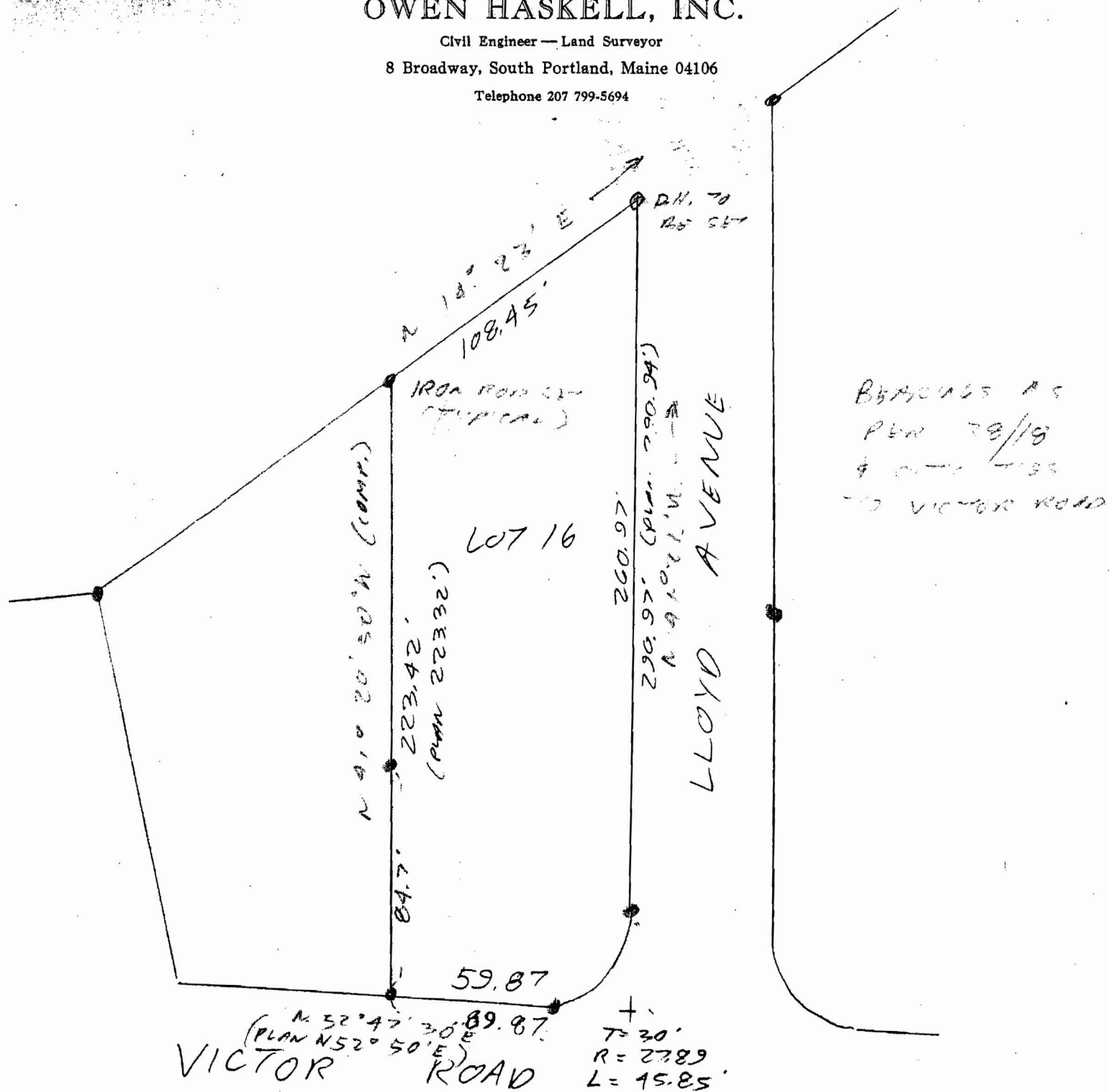


OWEN HASKELL, INC.

Civil Engineer — Land Surveyor

8 Broadway, South Portland, Maine 04106

Telephone 207 799-5694



1" = 50'

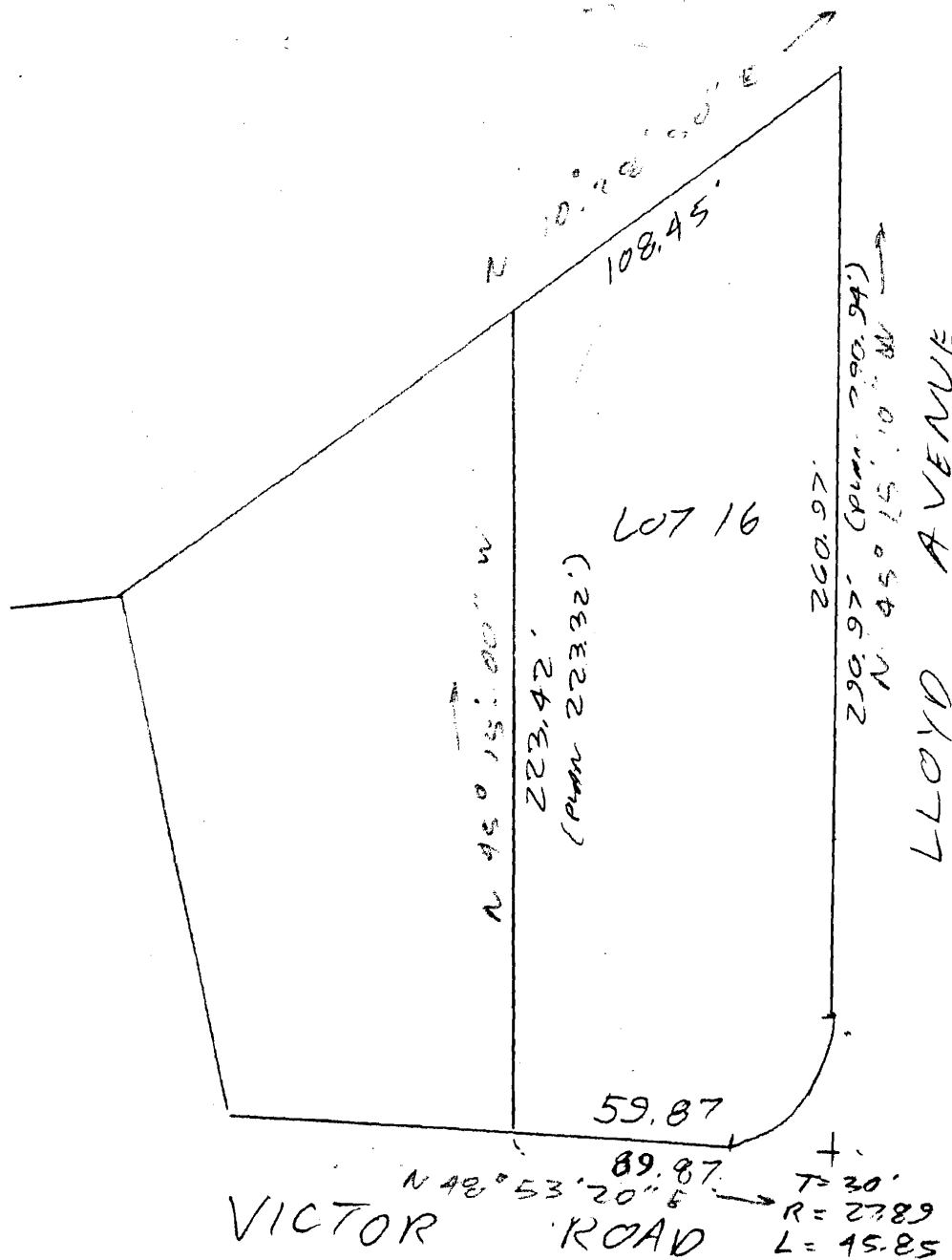
John C. Haskell
R.L.S. # 1252
4-1-87

OWEN HASKELL, INC.

Civil Engineer — Land Surveyor

8 Broadway, South Portland, Maine 04106

Telephone 207 799-5694



BEARINGS AS
PER TAPPLANE
PLAN BY
OWEN HASKELL, INC.
AND CITY TIES
TO VICTOR STREET

1" = 50'

Portland Home Performance

Peter Raszmann
120 Pleasant Ave
Portland, Maine, 04103

Home Performance Evaluations, Home Inspections, Contracting
(207) 775-5141 W (207) 329-8117 Cell
praszmann @ verizon.net

Gary and Cathy Glick
84 Victor Road
Portland, Maine, 04101
773-6065

Preliminary budget for your proposed additions

Scope of work / To construct an 8'x12' dining room addition to be finished as a new dining room. The space will have the same elevation as the existing floor, relocate two existing windows in the existing kitchen to the east side of the new addition. The interior will have a pocket door facing the existing kitchen and a double interior door facing towards the north.

Another entrance addition on the rear or west of the home will be 8'x8' and will be 1 step down from the existing floor and contain an entrance door and closets.

I talked with someone with the City of Portland and it is possible for you to create your own blueprints. What I will require to build this is an accurate floor plan, Side and rear elevation/exterior view of the home, electrical plan, and one section drawing indicating the details of the new additions .

I spoke with John @ FMC cad drafting services Inc. Portland , and he informed me that to produce drawings as required by the city for such a project will cost probably under \$500.

Given this information , what follows is a preliminary budget for the project.

(Resources used to date)

City of Portland 874 -8693

Applicator's Sales 797-7950

Home Depot 761 0600

1. Plans \$600 +Permits \$400	<u>\$1000</u>
2. Excavation and backfill	<u>\$2000</u>
3. Grading200/seeding100 / 1 load of topsoil \$100	\$400
4. Foundations 44 lf x8" walls= 600+537+400 labor/and footers400 2 yds+slabs 2yds 350	<u>\$2278</u>
4A. Cut access doors in 8" concrete walls x 2	<u>\$1600</u>
5. Framing/ subflooring, ,walls , sheathing	\$6057
6. Roofing 400 sf @1.8+\$100	\$820
7. Remove and haul off part of existing roof	\$475
8. windows/ relocate 2 windows/ @150 Ea	\$300
Install new windows .I need to know how many and what sizes? Probably a trip to Loranger Door and Window is in order. 6 windows @ 350=2100 plus install\$300	

	+trim\$300+ \$240		\$2940
	+ext jambs=	?	
9.	Siding/ remove existing siding and install ½" tuff R foam 1500 SF@ <u>1.03</u>		\$1545
	fir out around windows(in addn to installing new windows)13 windows @25		\$325
	And install new siding/1496 sf @3.5 sf		\$5236
10.	Wood flooring 160 sf @ \$8		\$1280
11.	Electrical 6 outlets and two int lights/ 2 os lites 4 switches Fix allow of \$200 +		<u>\$1400</u>
12.	Drywall @1.4 sf x 550 sf		\$770
13.	Insulation/ new work <u>walls352SF@\$2.5+160SF</u> in attic @2.75=		\$1320
14.	Int trim \$300 + French doors\$700+pocket door\$400		\$1450
15.	Int trim around windows. I'm assuming extension jambs on windows and trim for Windows. (I have money earmarked for 6 windows in item 8 Above).	?	
16.	no heating system improvements.		
17.	no painting in the budget		
18.	Replace ext trim And soffits (I'm not sure what is to be done here (Aluminum coil stock, vinyl, Or wood that is painted. 65 lf @3 + soffits 94 lf @ \$4.5+200 to remove and haul off old trim		\$818
19.	Subcontractors that are hired and managed by me will have a markup of %15 . These items are tentatively underlined. We'll have to look at these		\$1241
	Total for all items above		\$33,255

Bear in mind that I consider this as a budget and many items will need more clarity about what they represent. If this meets your budget expectations , to move forward we should meet again and determine how best to complete the design and permit pieces of this and also work form a contract that I will be happy to supply beforehand for you to look over

Thanks for your interest in Portland Home Performance.

Peter Raszmann

Portland Home Performance

Peter Raszmann
Contracting
120 Pleasant Ave
Portland, Maine, 04103

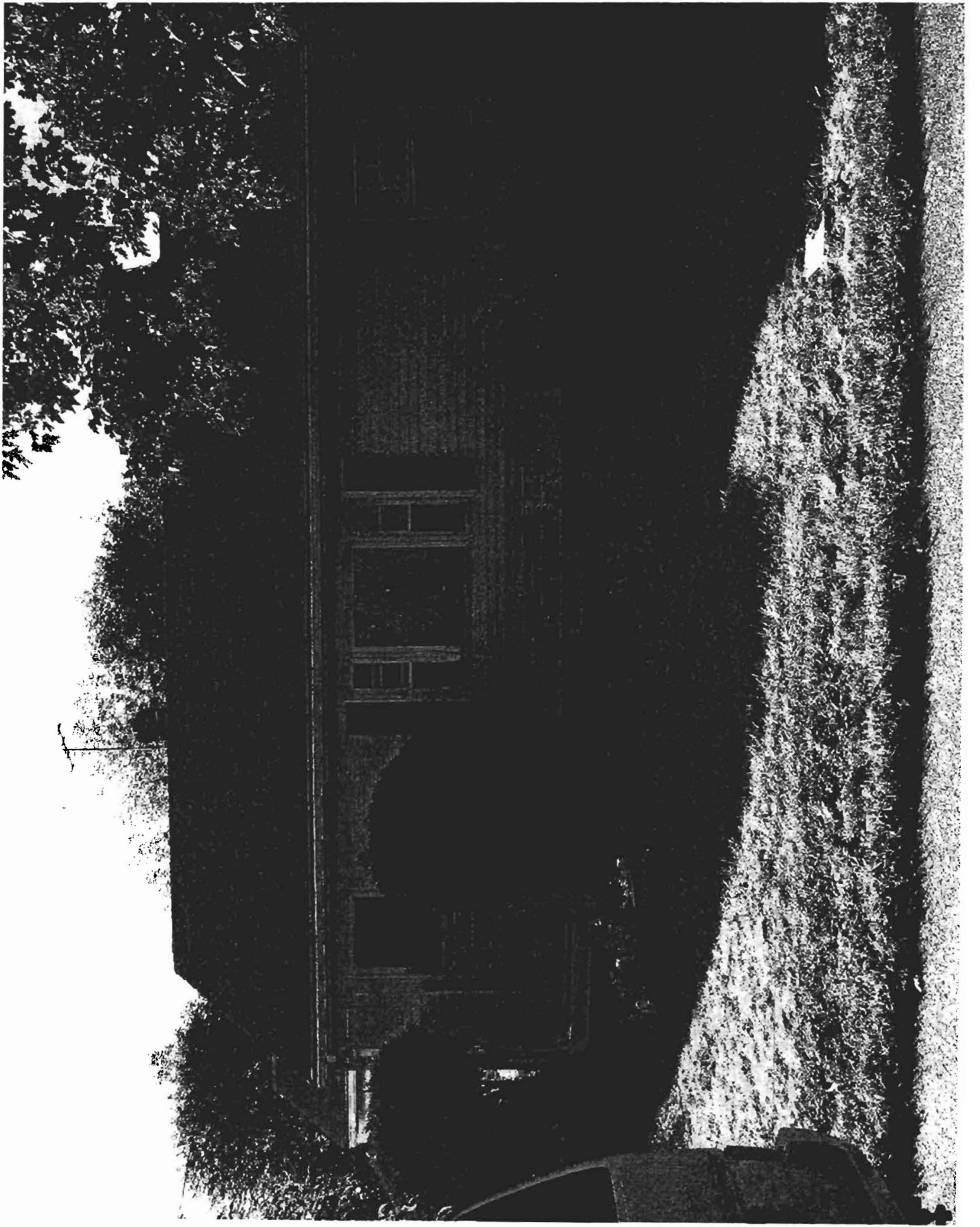
Home Performance Evaluations, Home Inspections,
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praszmann @ verizon.net

Specifications for addition for

Gary and Kathleen Glick
84 Victor Road
Portland, Maine, 04101

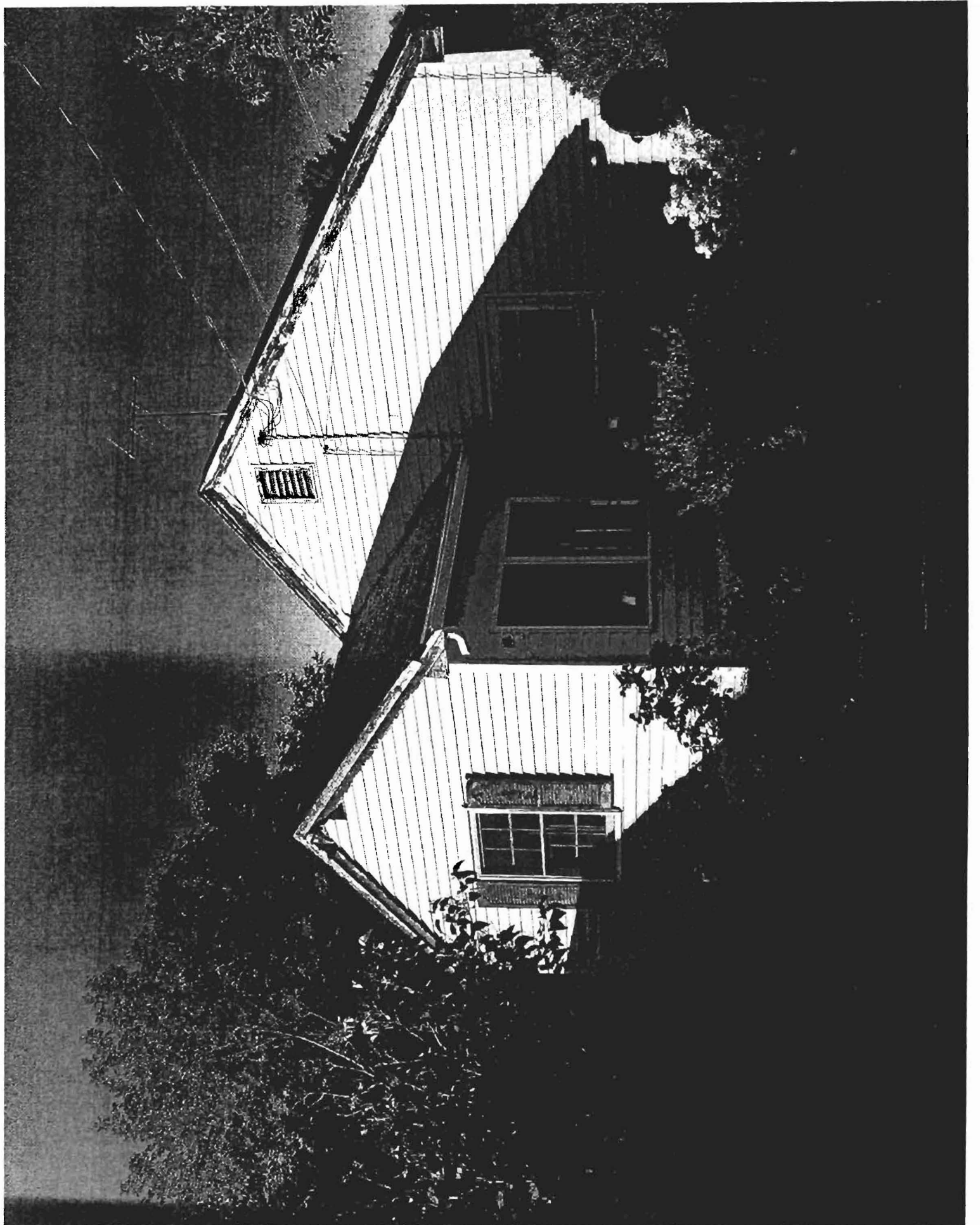
At the same address.

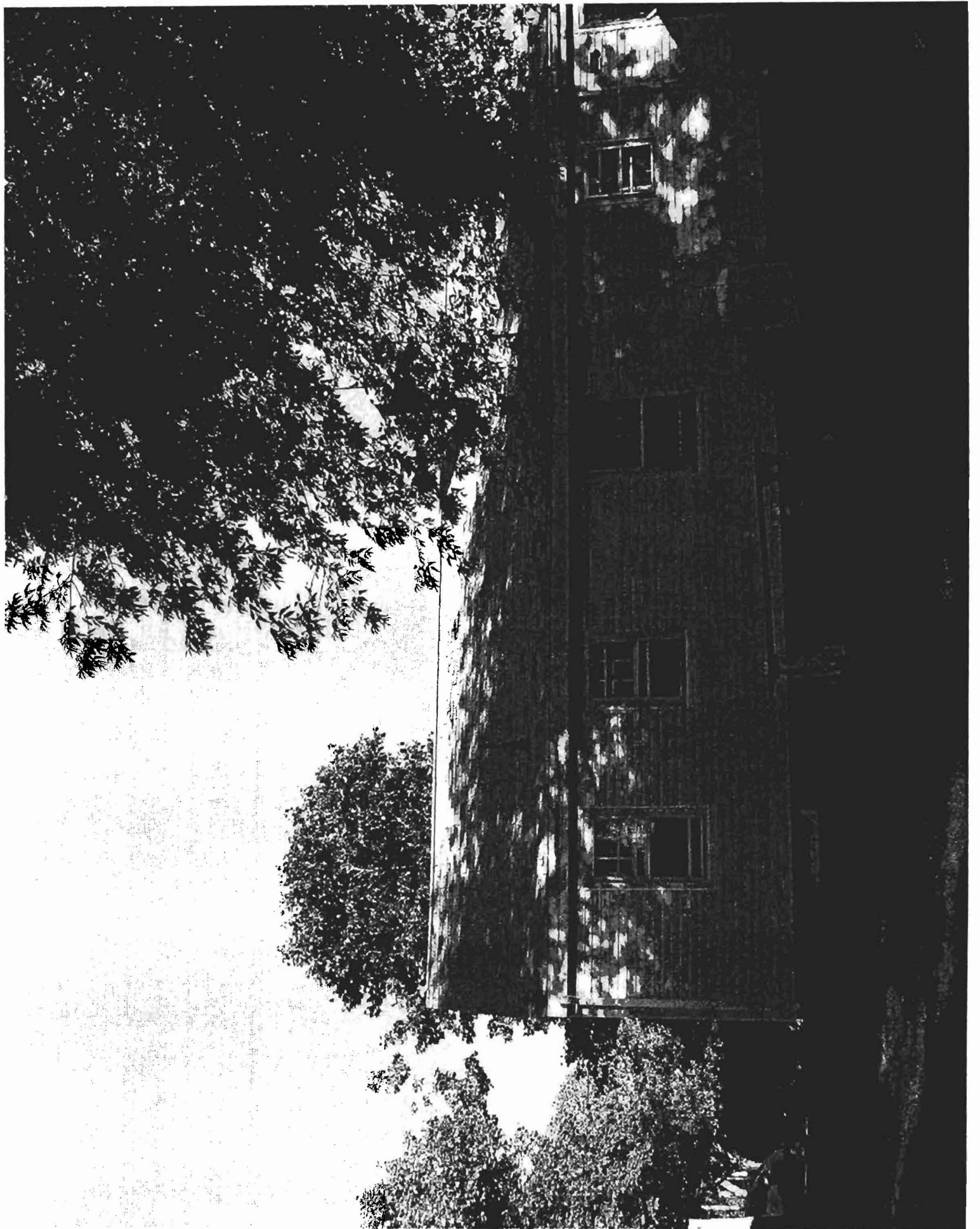
1. The Dining Room and entry Additions
 - A. Footers 8"x16" footers
 - B. Foundation is to be a poured frostwall 5' panels x8" thick 4" slab(not sure about this)
 - C. sill 2"x6" pressure treated Pine
 - d. floor joist to be 2"x8" wit bridging on spans over 8'
 - e. Flooring 3/45" tongue and groove Advantech
 - f. walls 2"x6" walls with 1/2" Advantech sub siding
 - g. ext trim ,soffit and fascia?
 - g. Roofing/ 2"x8" @16"OC unless specified otherwise. Roof Decking 5/8" Advantech roofing underlayment, 30 yr as(select something at Applicator's sales)
 - h. windows and door as specified in the window and door schedule.
 - i. flooring in dining room is 3/4" hardwood/ Mudroom
 - J. Insulation/ R 19 Fiberglass in walls(5.5") and R38 min in ceilings.
 - k. Door, window ,base trim same as the rest of the home
 - l. Interior surfaces/ drywall ceilings/ white ceiling paint/ walls to be determined
 - m. electrical/ Add one circuit in each area(one in mudroom and one in entry/outside recepticals and lights as per plans.
2. Window replacement as per window and door schedule/ Trim for windows and doors same as the existing.
3. Exterior siding. Vinyl siding or "Cedar Impressions or equivalent"
4. Garage/ sill/foundation repair ?Siding same as the house.













This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	162 J001001
Location	84 VICTOR RD
Land Use	SINGLE FAMILY

Owner Address	GLICK GARY & KATHLEEN M JTS 84 VICTOR RD PORTLAND ME 04103
----------------------	--

Book/Page	
Legal	162-J-1 VICTOR RD 84 LLOYD AVE 22730 SF

Current Assessed Valuation

Land	Building	Total
\$30,100	\$112,900	\$143,000

Property Information

Year Built 1953	Style Ranch	Story Height 1	Sq. Ft. 1032	Total Acres 0.522	
Bedrooms 3	Full Baths 2	Half Baths	Total Rooms 5	Attic None	Basement Full

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1953	Size 14X28	Grade C	Condition F
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

Picture	Sketch	Tax Map
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

From: "Gary Glick" <gglick@fps.k12.me.us>
To: "Ann Machado" <AMACHADO@portlandmaine.gov>
Date: 11/7/2007 4:18:15 PM
Subject: Re: Scheduling to meet with you

*Check stream
 protection
 area on lot.*

Hi Ann,
 Thanks again for taking the time and care to meet with me. Your feedback was most helpful.

I strung a line across the front of the property, and as the existing house is close to 22 feet setback, we would have to chop approximately 3 feet off the dining room, which makes that particular arrangement not worth doing.

However, your suggestion to swap the mudroom to the front, and move the dining room to the rear was intriguing.

As it turns out, the 8X8ish mudroom could be made to fit within the front setback.

The question now is whether the 8ishx12ish dining room would fit off the rear where the mudroom would have gone (only extending approximately 4 feet further than the mudroom would have).

In addition, the allowable orientation and location of the entry stairs to the now front mudroom needs to be clarified as well.

Before I get FMC (necessary) and a surveyor (hopefully not necessary) involved, I would love to again meet with you, (albeit for less time than last time) to achieve clarification.

Are you still free this Friday from 2:45 to 4?

Thank you so much in advance for your further assistance and accommodation.....gg

----- Original Message -----

From: Ann Mach ado
 [mailto:AMACHADO@portlandmaine.gov]
 To: gglick@fps.k12.me.us
 Sent: Mon, 05
 Nov 2007 08:19:18 -0500
 Subject: Re: Scheduling to meet with you

> Gary -

>

> 11/5 between 3 & 4 works

> 11/6 from 2:45 to 4 works

> 11/7 from 3 to 4 works

> 11/9 from 2:45 to 4 works

>

> Why don't you pick a time and emailit to me or call me at 874-8709 and

> I will put you into the calendar.

>

> Ann

>

> >>> "Gary Glick" <gglick@fps.k12.me.us> 11/4/2007 10:25:23 PM >>>

> Dear Ms. Machado,

>

> Thank you for taking the time to review my situation when we informally
 > met several weeks ago. I am the Falmouth High School teacher who has
 > drawings (from FMC CADD) for small additions of a mudroom and dining
 > room on my house at 84 Victor Road. Sorry to be so long in getting back

> to you, but school does become all consuming at times.
> You requested that I get my site plan and survey, and arrange to meet
> with you for a more formal review and assessment. Hopefully, one of
> these dates and times works for you from the following list:
> Monday 11/5 between 3:pm & 4:30pm
> Tuesday 11/6 anytime after 2:45:pm
> Wednesday 11/7 between 3:pm & 4:30pm
> Friday 11/9 anytime after 2:45:pm
>
> Please confirm at your earliest convenience. I thank you in advance
> for your assistance.
> Gary Glick
> 84 Victor Road
> Portland, Maine 04103
> 207-773-6065
> gglick@maine.edu
> gglick@fps.k12.me.us
>

CC: <gglick@maine.edu>, <glickk@mmc.org>, "Peter Raszmann"
<praszmann@verizon.net>

From: Ann Machado
To: Gary Glick
Date: 11/5/2007 8:19:22 AM
Subject: Re: Scheduling to meet with you

Gary -

11/5 between 3 & 4 works
11/6 from 2:45 to 4 works
11/7 from 3 to 4 works
11/9 from 2:45 to 4 works

Why don't you pick a time and email it to me or call me at 874-8709 and I will put you into the calendar.

Ann

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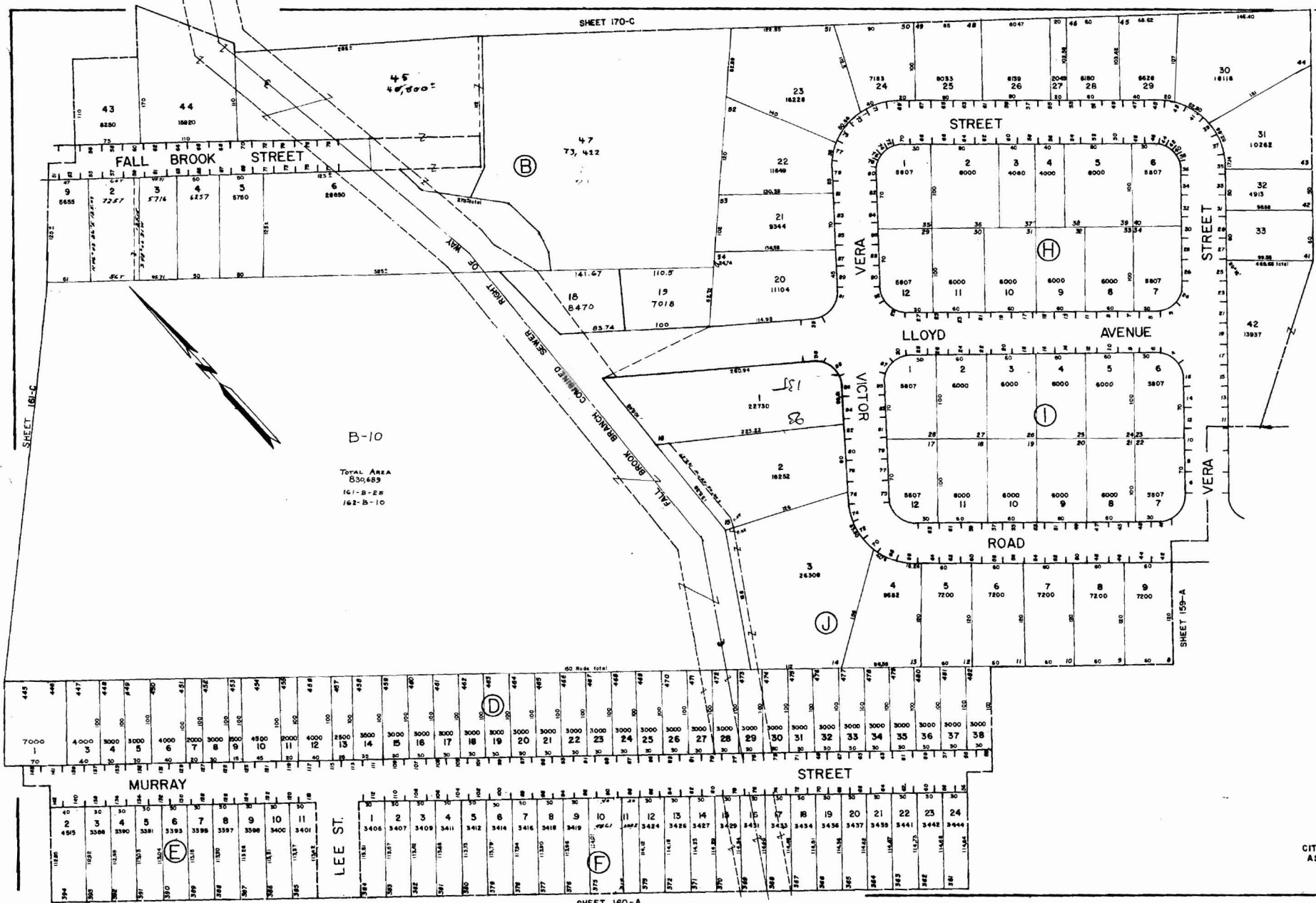
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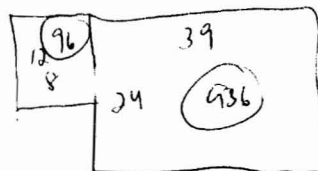
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Gary Glick
84 Victor Road
Portland, Maine 04103
207-773-6065
gglick@maine.edu
gglick@fps.k12.me.us



B-10
 TOTAL AREA
 830,689
 161-B-28
 162-B-10



23
stream protection

land area prod. 6,000
total

Setback

front 25'

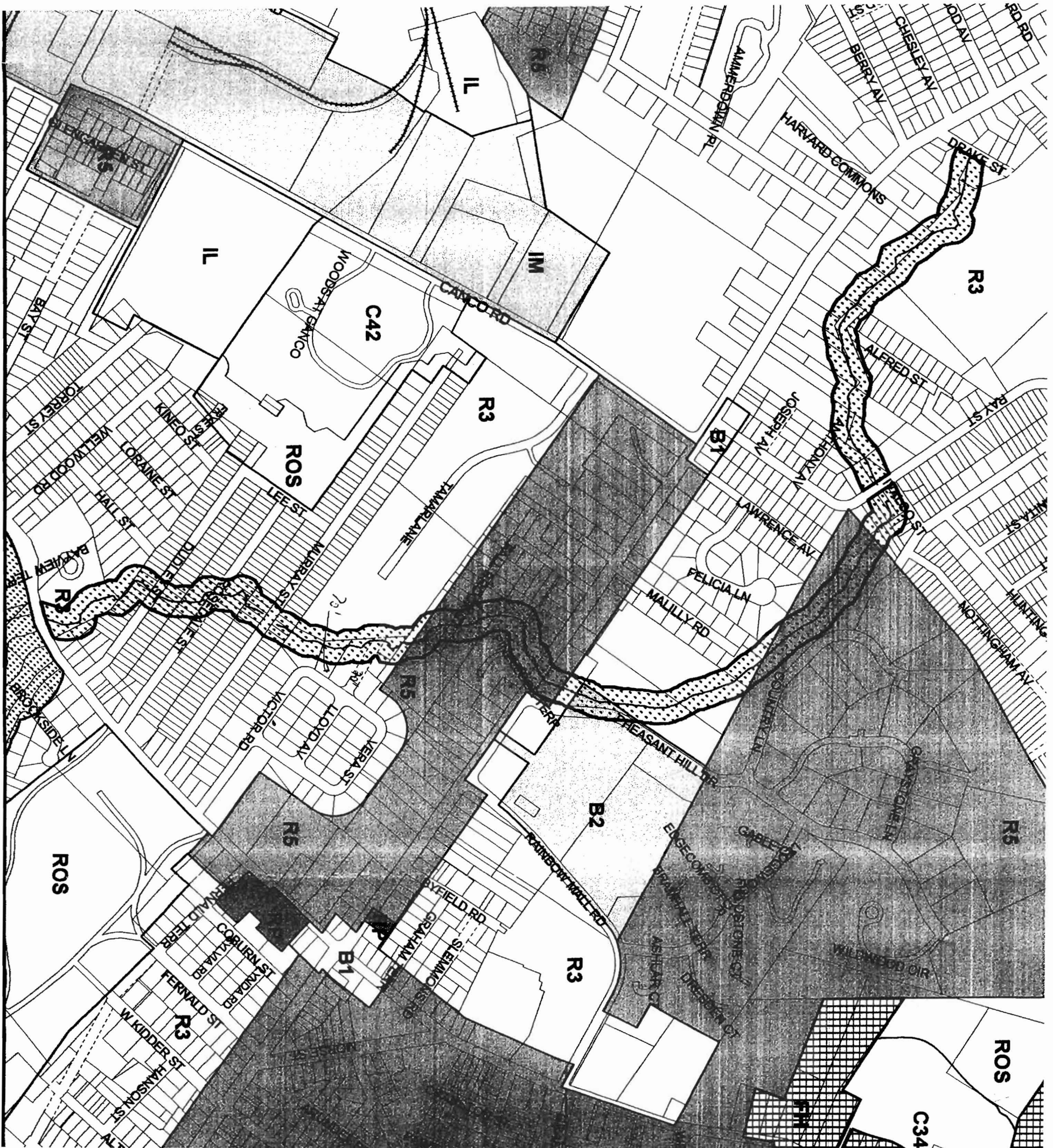
side - 1/2 - 8'

rear side street 20'

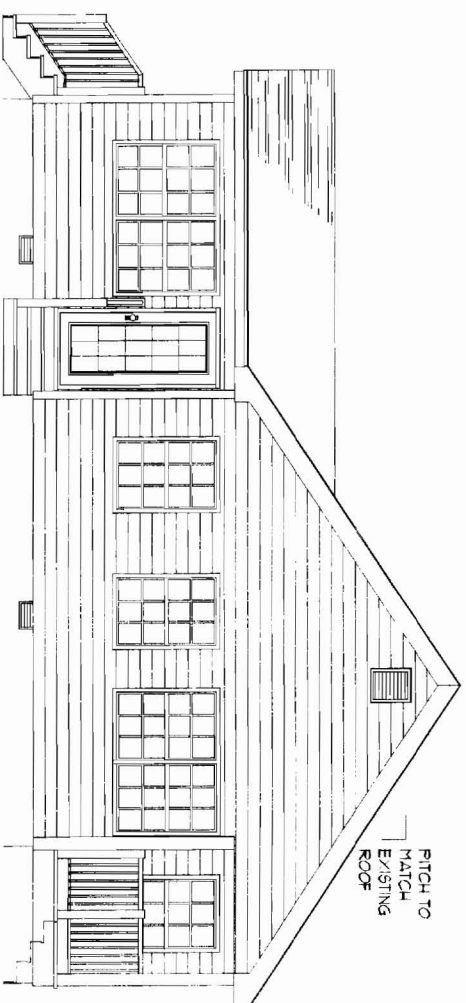
rear 25'

lot coverage 35%

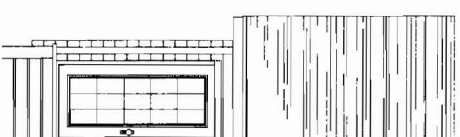
~~7999~~
7955.50



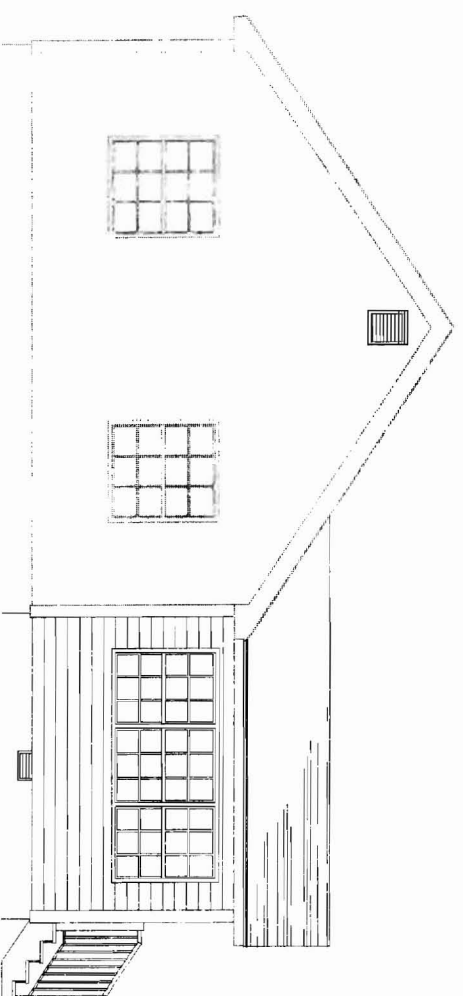
end of address is 57' from front property line - not in stream protection



ELEVATION 1
1/4" = 1'-0"



ELEVATION 2
1/4" = 1'-0"



ELEVATION 3
1/4" = 1'-0"



ELEVATION 4
1/4" = 1'-0"

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE. THE ARCHITECT ASSUMES NO LIABILITY FOR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT.
AND DESIGN IN ACCORDANCE WITH COMMON BUILDING PRACTICES.