

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING DEPARTMENT

**PERMIT**Please Read  
Application And  
Notes, If Any,  
Attached

Permit Number: 090501
<b>PERMIT ISSUED</b>
JUN 11 2009
CITY OF PORTLAND

This is to certify that MCNERNEY EDWARD L JR of Westbay Bldg  
 has permission to Remove Roof, add Second Floor w/Two Bedroom, 1 Bath - Full Kitchen. Existing First to Remain the Same  
 AT 88 VERA ST CLATSOP CO 162-H012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
 Health Dept. \_\_\_\_\_  
 Appeal Board \_\_\_\_\_  
 Other \_\_\_\_\_  
Department Name

*Thomas N. MacKay* 6/10/09  
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0515	Issue Date:	CBL: 162 H012001
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Location of Construction: 88 VERA ST	Owner Name: MCNERNEY EDWARD L JR	Owner Address: 88 VERA ST	Phone: 207-772-0147
Business Name:	Contractor Name: Eastbay Builders, Inc.	Contractor Address: 44 Maplewood Street Portland	Phone: 2074154674
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

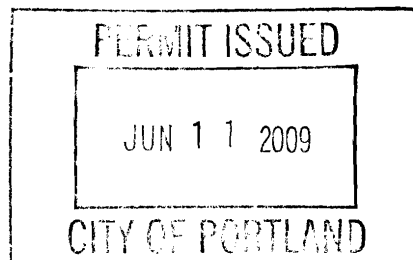
Past Use: Single Family Home	Proposed Use: Single Family Home - Remove Roof, <sup>add</sup> Second Floor w/Two Bedroom, 1 Bath - Full Dormer. Existing First to Remain the Same <i>fb</i>	Permit Fee: \$610.00	Cost of Work: \$58,750.00	CEO District: 4
Proposed Project Description: Remove Roof, <sup>add</sup> Second Floor w/Two Bedroom, 1 Bath - Full Dormer. Existing First to Remain the Same <i>fb</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i> Signature: <i>Jm 6/10/09</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 05/27/2009	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/29/09 ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>

*Using Section 14-43(a) with SF% of 10-10-06 50% increase*



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



**CITY OF PORTLAND, MAINE**  
 Department of Building Inspections

**Original Receipt**

MAY 27 2009

May 27 20 09

Received from Eastbay Builders Inc.

Location of Work 88 Yero

Cost of Construction \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \_\_\_\_\_ Site Fee: \_\_\_\_\_

\_\_\_\_\_ Fee: \_\_\_\_\_

Build. \_\_\_\_\_ Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 160

Check #: 170 Collected \$ 610<sup>00</sup>

*Called Jim Morris for permit fees needed for 6/11/09*

**No work started until permit issued.**



Taken by: Danjan

WHITE - Applicant's Copy  
 YELLOW - Office Copy  
 PINK - Permit Copy



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>88 Vera Street, Portland, Maine 04103</u>		
Total Square Footage of Proposed Structure/Area <u>7504-s.f.</u>	Square Footage of Lot <u>5807 s.f.</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>162</u> Block# <u>H</u> Lot# <u>12</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Edward McNerney</u> Address <u>88 Vera Street</u> City, State & Zip <u>Portland, Me. 04103</u>	Telephone: <u>207-772-0147</u>
Lessee/DBA (If Applicable) <u>N/A</u> <u>MAY 27 2009</u>	Owner (if different from Applicant) Name <u>N/A</u> Address _____ City, State & Zip _____	Cost Of Work: \$ <u>58,750.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Single family</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>removing the roofing system off a one story ranch and turning it into a full domered cape. leaving existing first floor. Addition of 2 bedrooms to BATH</u>		
Contractor's name: <u>Eastbay Builders INC</u> Address: <u>44 Maplewood Street</u> City, State & Zip: <u>Portland, Maine 04103</u> Telephone: <u>207-415-4674</u> Who should we contact when the permit is ready: <u>James Cerino</u> Telephone: <u>207-415-4674</u> Mailing address: <u>Same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Edward J. McNerney Date: 5/26/09

This is not a permit, you may not commence ANY work until the permit is issued

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0515	<b>Date Applied For:</b> 05/27/2009	<b>CBL:</b> 162 H012001
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<b>Location of Construction:</b> 88 VERA ST	<b>Owner Name:</b> MCNERNEY EDWARD L JR	<b>Owner Address:</b> 88 VERA ST	<b>Phone:</b> 207-772-0147
<b>Business Name:</b>	<b>Contractor Name:</b> Eastbay Builders, Inc.	<b>Contractor Address:</b> 44 Maplewood Street Portland	<b>Phone:</b> (207) 415-4674
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - Remove Roof, expand Second Floor living space w/Two Bedroom, 1 Bath - Full Dormer. Existing First floor to Remain the Same	<b>Proposed Project Description:</b> Remove Roof, expand Second Floor living space w/Two Bedroom, 1 Bath - Full Dormer. Existing First floor to Remain the Same
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 05/29/2009

**Note:** Using section 14-436(a). 50% of the first floor footprint is 659 sf. Proposed dormer & change in roof pitch adds 383.24 sf which is 58% of the allowable increase. Allowed to change pitch of roof to create habitable space. **Ok to Issue:**

- 1) This permit is being approved based on the revised plan submitted 5/29/09 changing the roof to a 9/12 pitch and the dormer to a 2/12 pitch.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 06/11/2009

**Note:** **Ok to Issue:**

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Comments:**

5/29/2009-amachado: Spoke to James Cerino, contractor. Need cross section of existing second floor. Need examples of the 8/12 pitch & 9/12 pitch.

5/29/2009-amachado: Received revised plan showing the proposed pitch of the roof going to 9/12.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

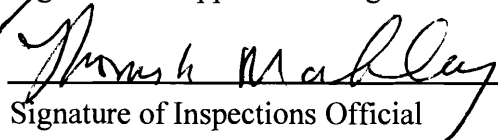
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

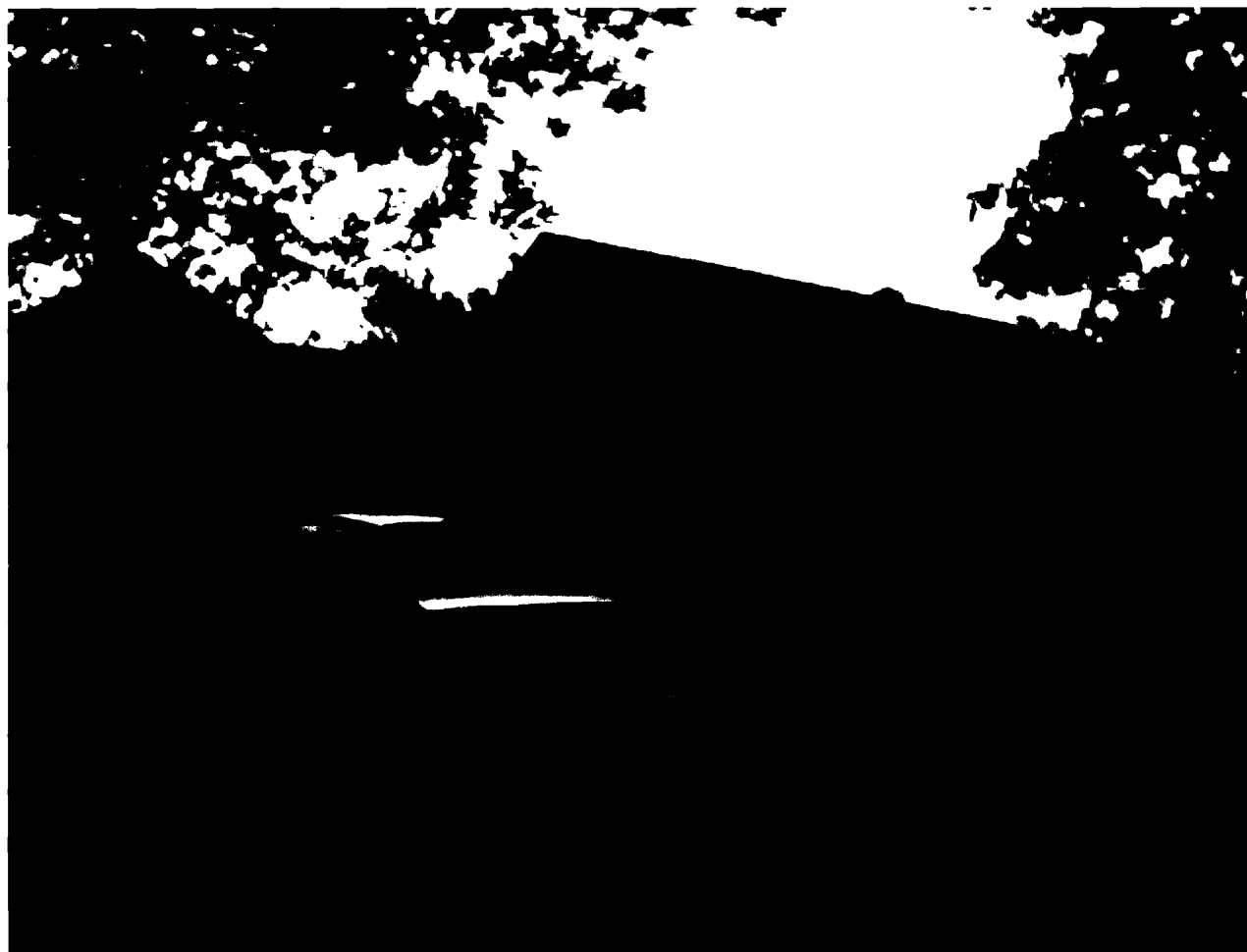
**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

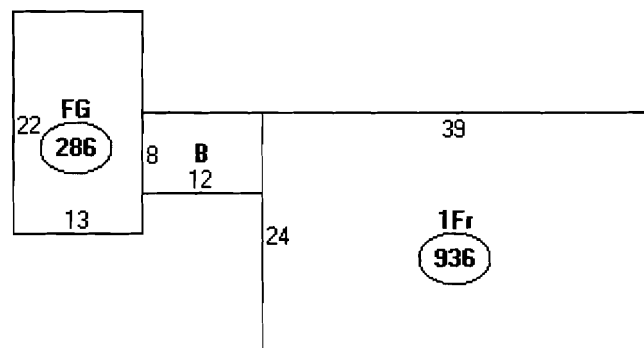
\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

6/11/09  
\_\_\_\_\_  
Date



Descriptor/AreaA: 1Fr  
936 sqftB: EP  
96 sqftC: FG  
286 sqft

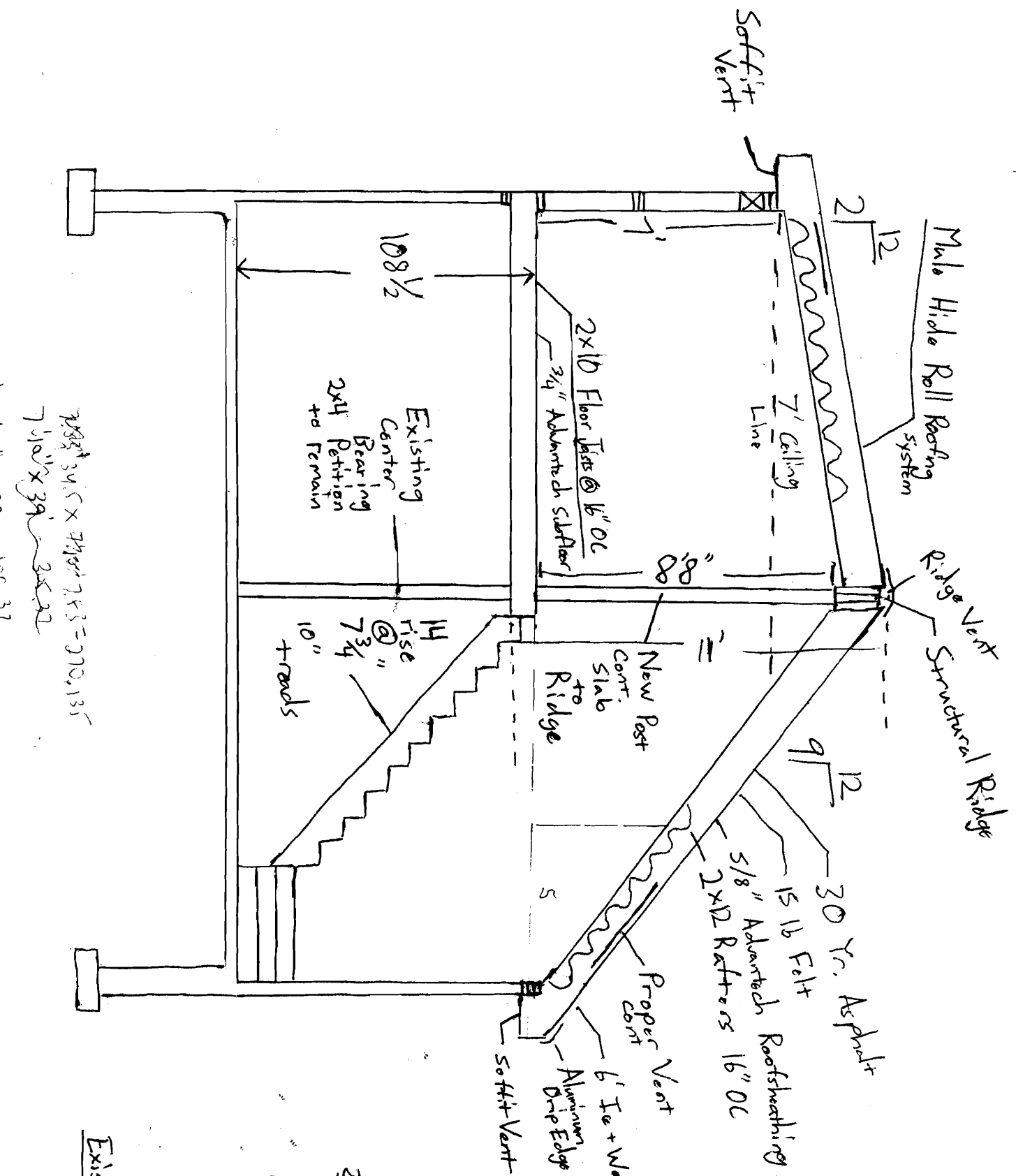
$$24 \times 12$$

$$7 \times 12 = 84 \quad 7'$$

$$8 \times 12 = 96 \quad 8'$$



Proposed Section



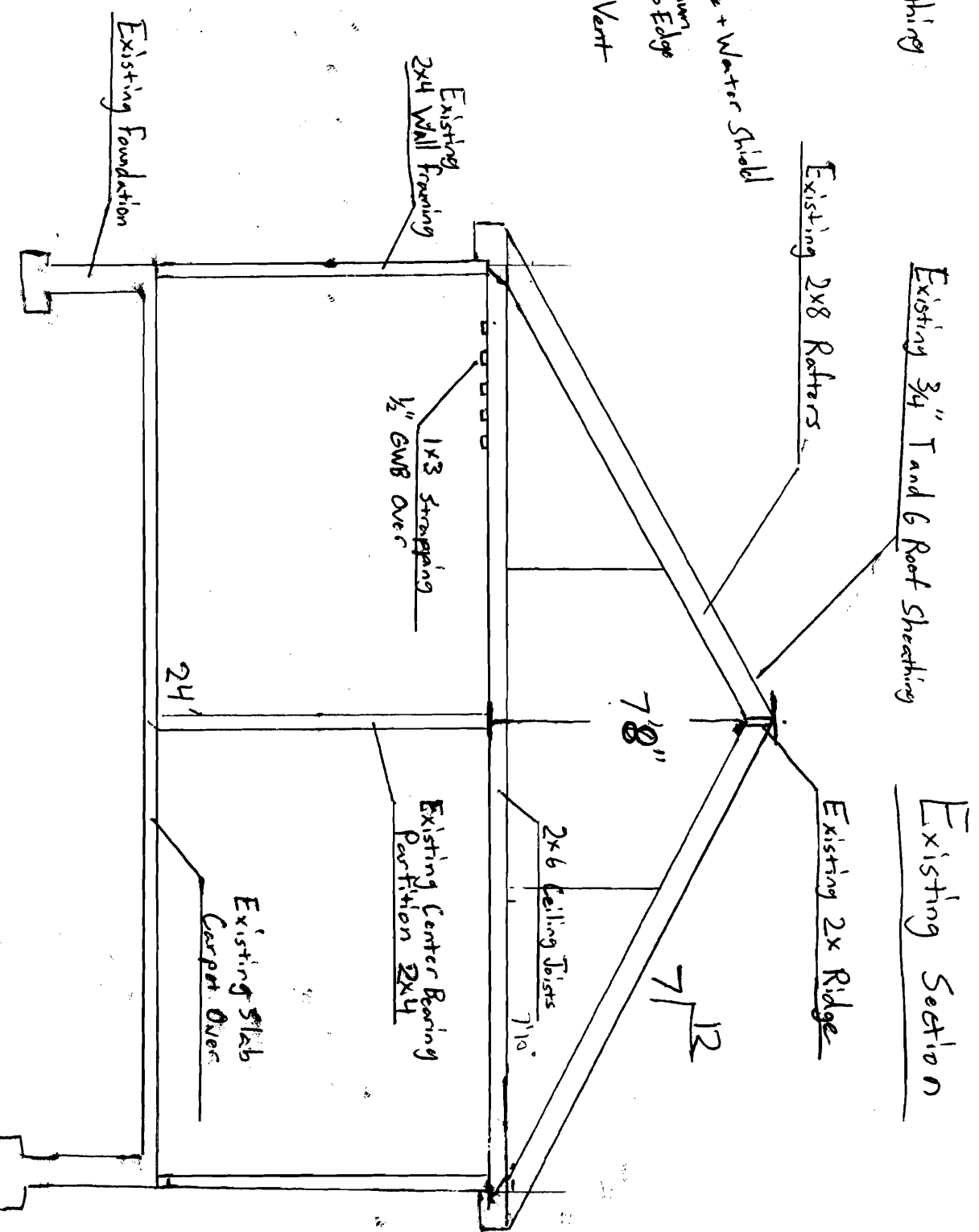
$2 \times 3 \times 34.5 \times 219 \div 2 \times 3 = 210.135$   
 $7'10" \times 39' = 285.30$   
 $(213) 2'10" \times 39 = 160.37$   
 $2,85.30 + 160.37 = 445.67$   
 $383.24 \div 445.67 = 0.86$

MAY 23 2009

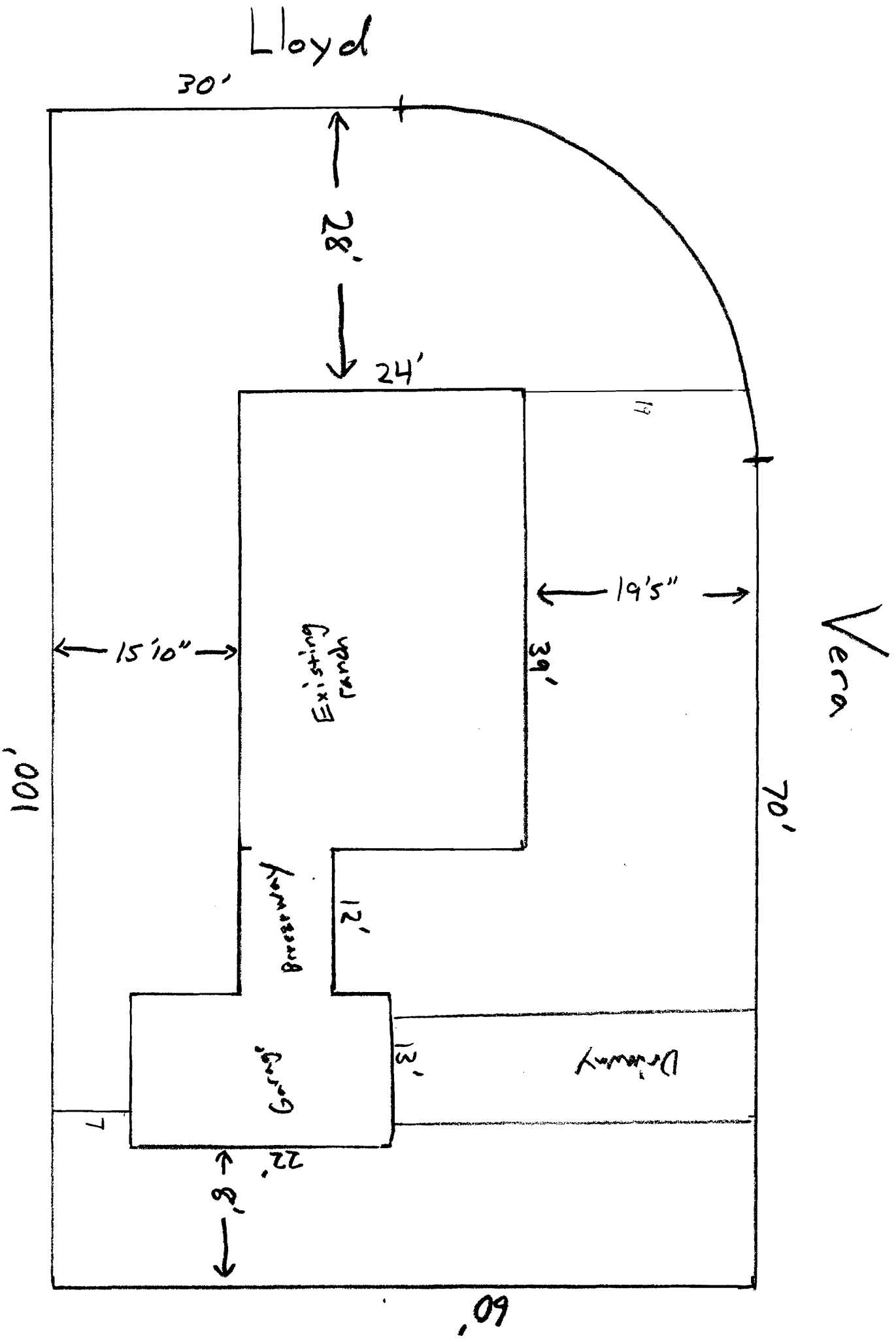
McNemy Residence  
 88 Vera St. Portland Me. 04103  
 Drawn By: Eastbay Builders

Existing Cross Section / Proposed Cross Section  
 James Cerino  
 415-4674

Existing Section



MAY 27 2009



McNerny Residence  
 88 Vera St Portland Me 04103  
 Drawn by Eastbay Builders  
 Plot Plan / Scale:  $\frac{3}{16}'' = 2'$

Vera

P.3

Plot size 8874

front 25'-11" - 19'5" given

visions section 14-436(e) - not need leaders, provide not meet front setback

1st floor footprint - 1518<sup>sq</sup> sqft =

1594<sup>sq</sup> sqft

addition - 383,204 = 539.

60'

100'

Lloyd

30'

28'

24'

19

19'5"

39'

15'10"

Existing

Kitchen

12'

Driveway

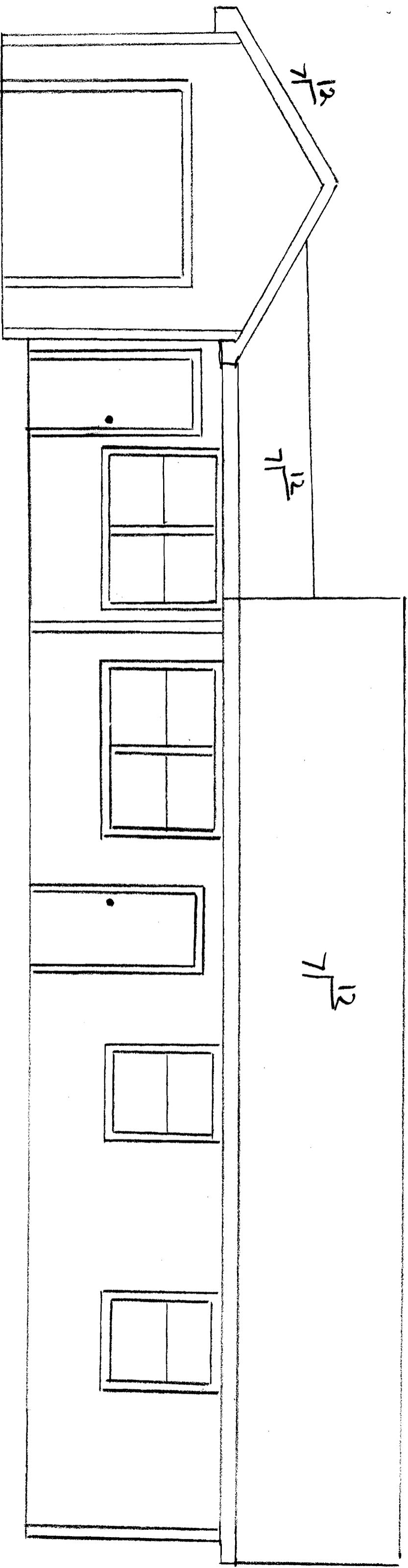
13'

Garage

22'

8'

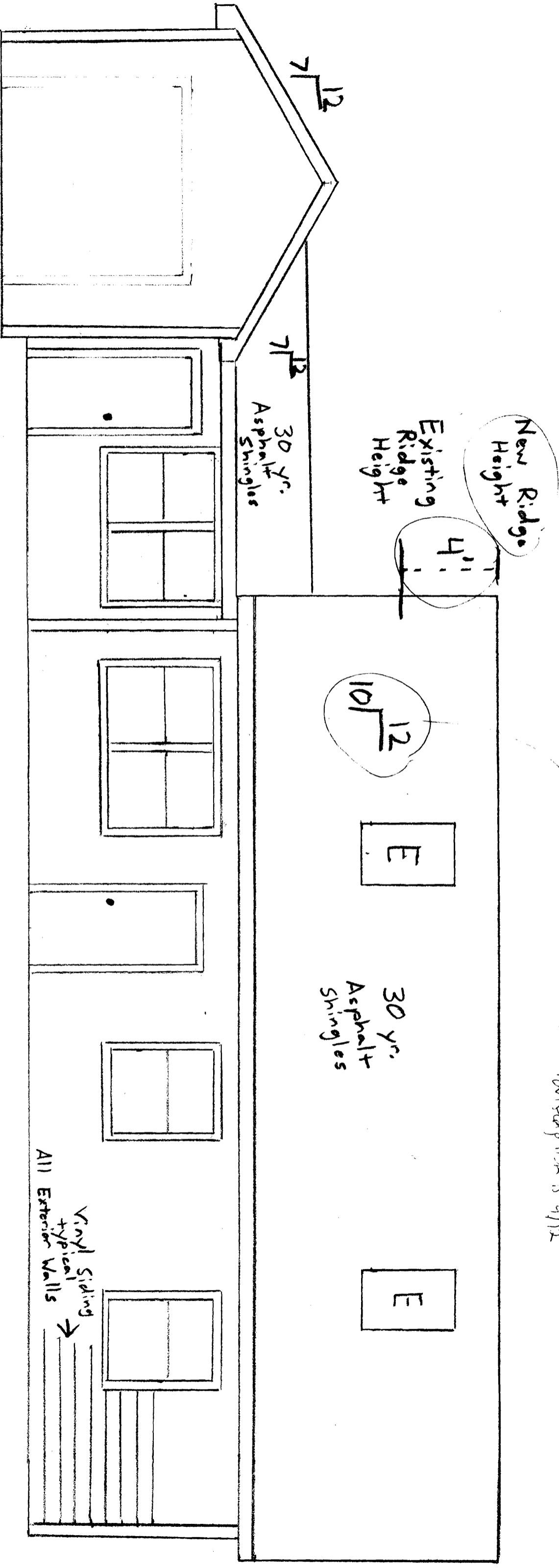
7



McNerny Residence  
88 Vera St. Portland Me. 04103  
Drawn by: Eastbay Builders  
Existing Front Elevation

Specifications:

- Demo existing  $7\frac{1}{2}$  roof on main house
- Existing Ceiling Joists to remain
- Frame new Second floor w/  $11\frac{7}{8}$ " TJI Joists 550 series
- Frame new  $10\frac{1}{2}$  roof w/  $35'$   $3\frac{1}{2}$  dormer on backside



New Ridge Height

Existing Ridge Height

4'1"

$7\frac{1}{2}$   
30 yr. Asphalt Shingles

$10\frac{1}{2}$

E

30 yr. Asphalt Shingles

E

Vinyl Siding typical Exterior Walls →

See revised plans submitted 5/24/12  
Revised date is 9/12

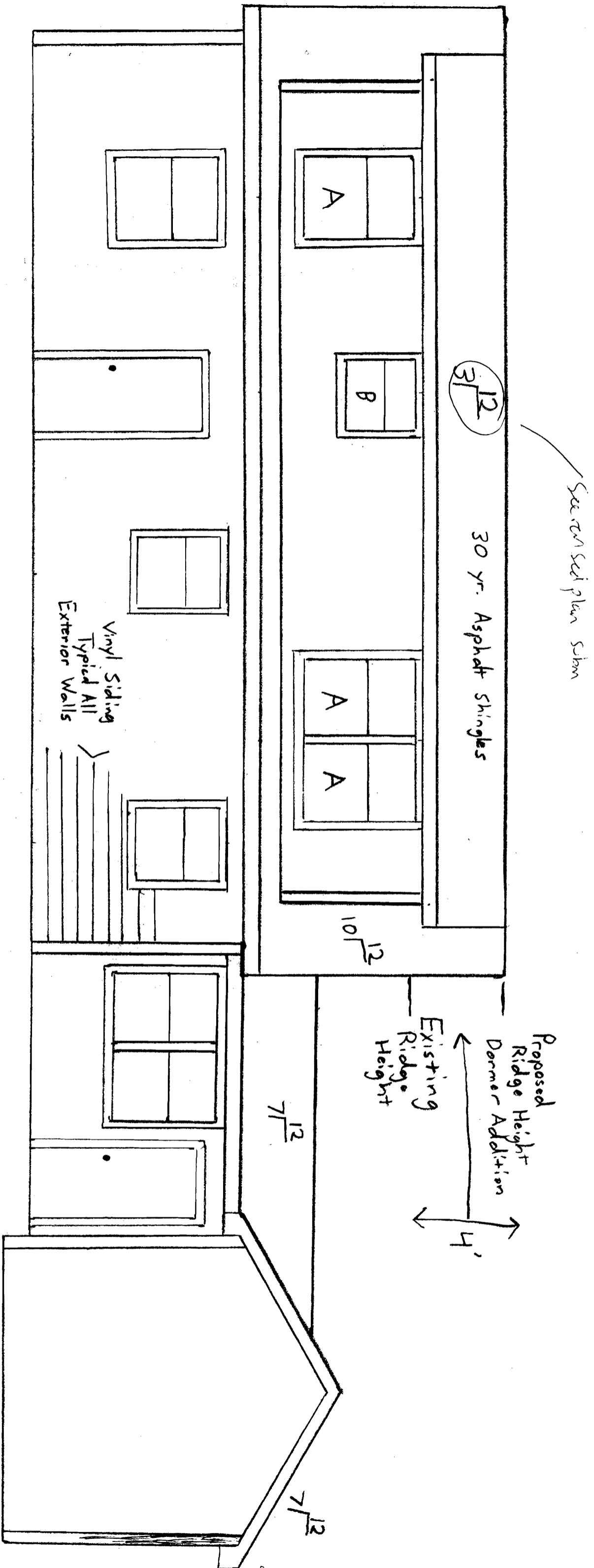
LieNorny Residence

88 Vera St. Portland Mo. 04103

Drawn by: Eastbay Builders

Front Elevation:  
for proposed 2nd flr. Addition

All Drawings:  $\frac{1}{4}'' = 1'$

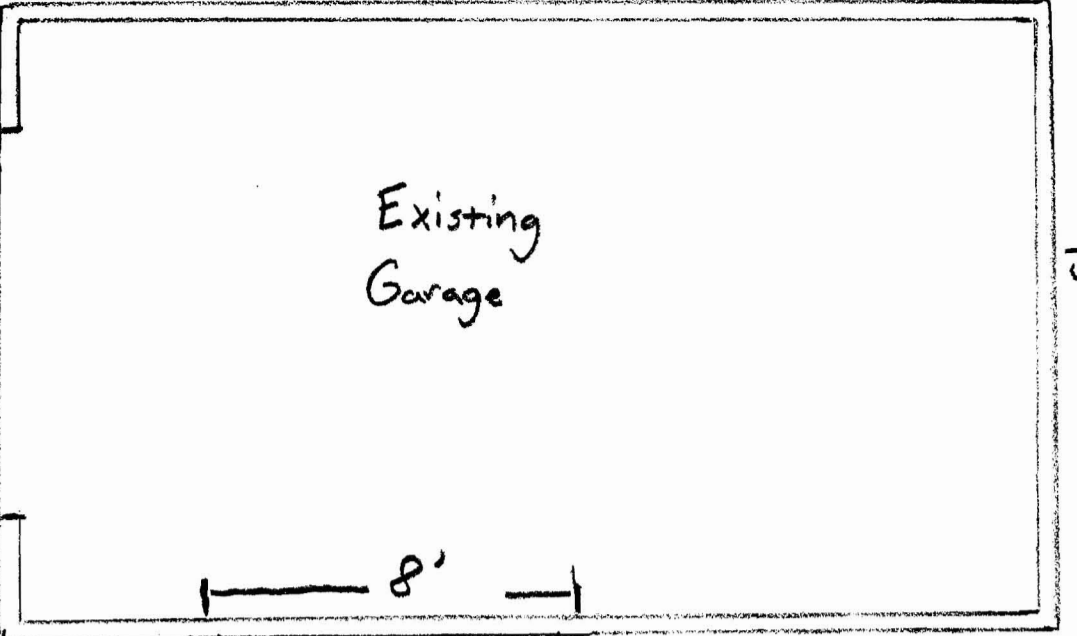


McNerny Residence
88 Vera. St. Portland Me. 04103
Drawn by: Eastbay Builders
Rear Elevation: for proposed 2nd flr. Addition

13'

22'

Existing Garage



- Specifications:
- Existing first floor partitions to remain
  - New staircase to second floor
  - New Posts continuous to Ridge
  - Tempered Glass in Stair Window

Existing Breezeway

12'

16'4"

7'3"

6'9"

Kitchen Cabinets

5'1"

12'

12'

12'

7'8"

8'

7'7"

New Post

New Post Continuous Slab to Ridge

New Stairway to Second Floor Separation Addition

3'3"

15'4"

4'4"

3'5"

5'4"

7'6"

6'10"

11'

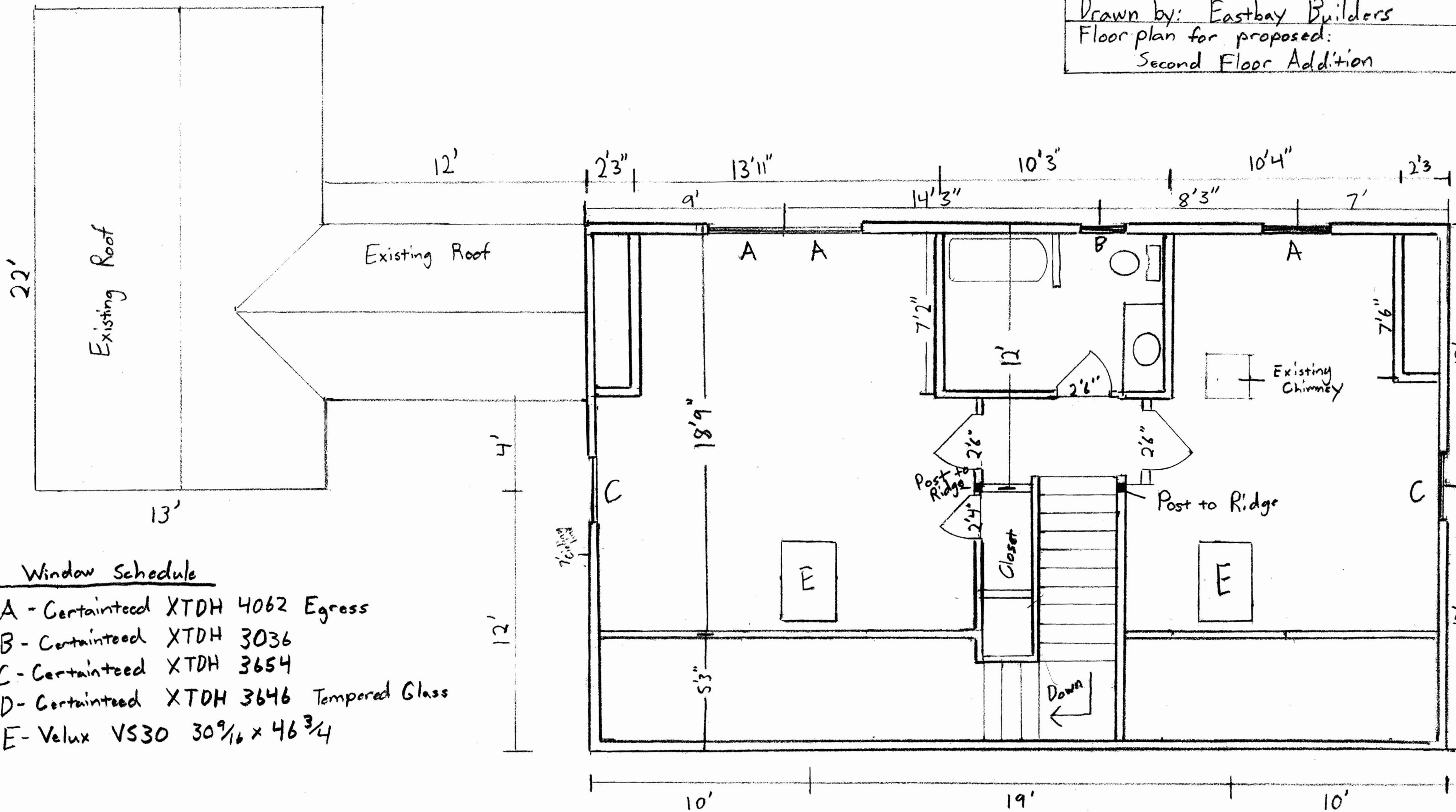
8'4"

McNerny Residence  
 88 Vera St. Portland Me. 04103  
 Drawn by: Eastbay Builders  
 Existing First Floor Plan:  
 Stairway Addition

McNerny Residence

88 Vera St. Portland Me 04103

Drawn by: Eastbay Builders  
Floor plan for proposed:  
Second Floor Addition



Window Schedule

A - Certainteed XTDH 4062 Egress

B - Certainteed XTDH 3036

C - Certainteed XTDH 3654

D - Certainteed XTDH 3646 Tempered Glass

E - Velux VS30 30<sup>9</sup>/<sub>16</sub> x 46<sup>3</sup>/<sub>4</sub>

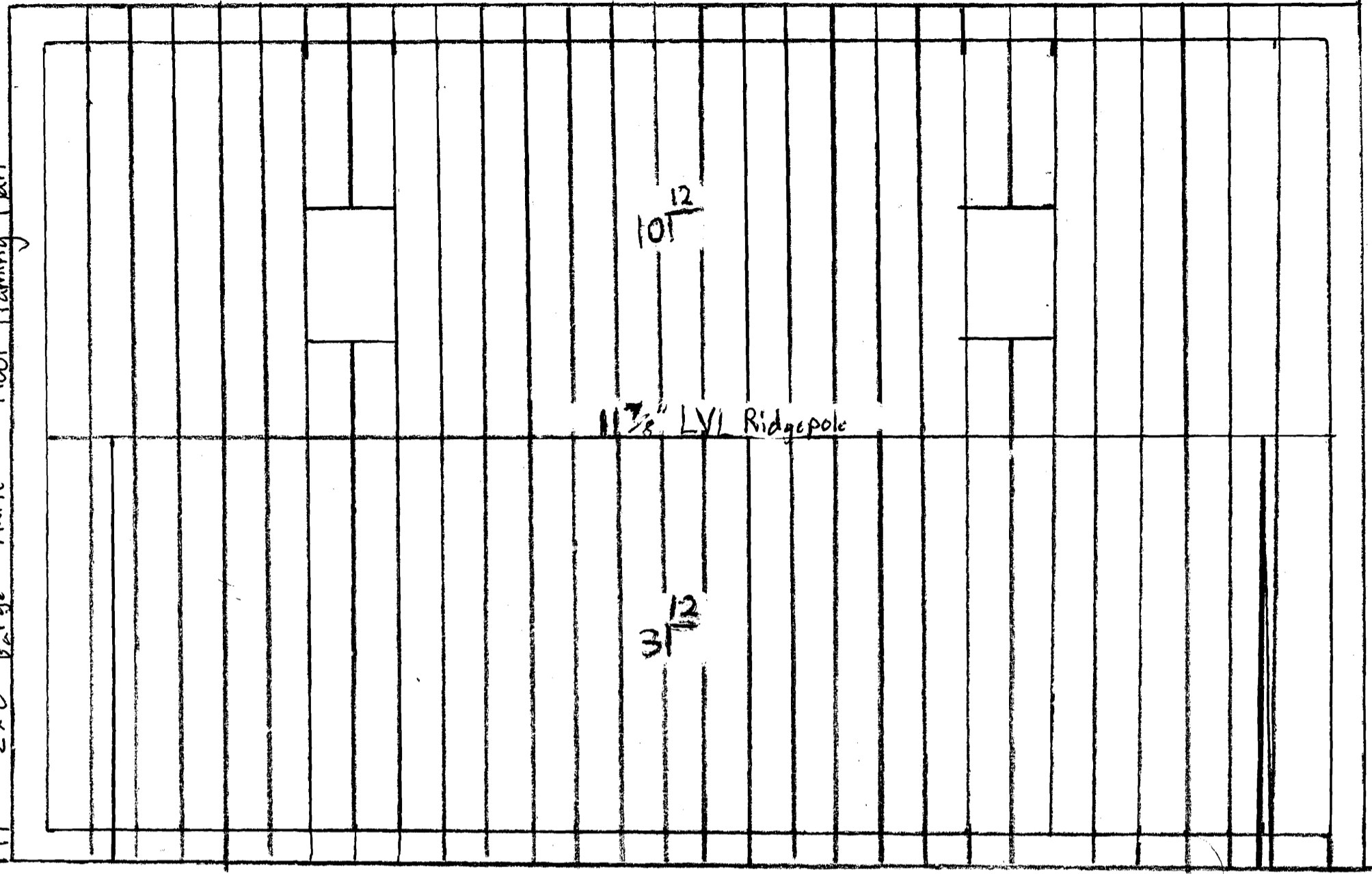
McNerny Residence:  
88 Vera St Portland Me. 04103

Drawn by: Eastbay Builders  
Floor + Roof Framing Plans

2x6 Barge Rafter Roof Framing Plan

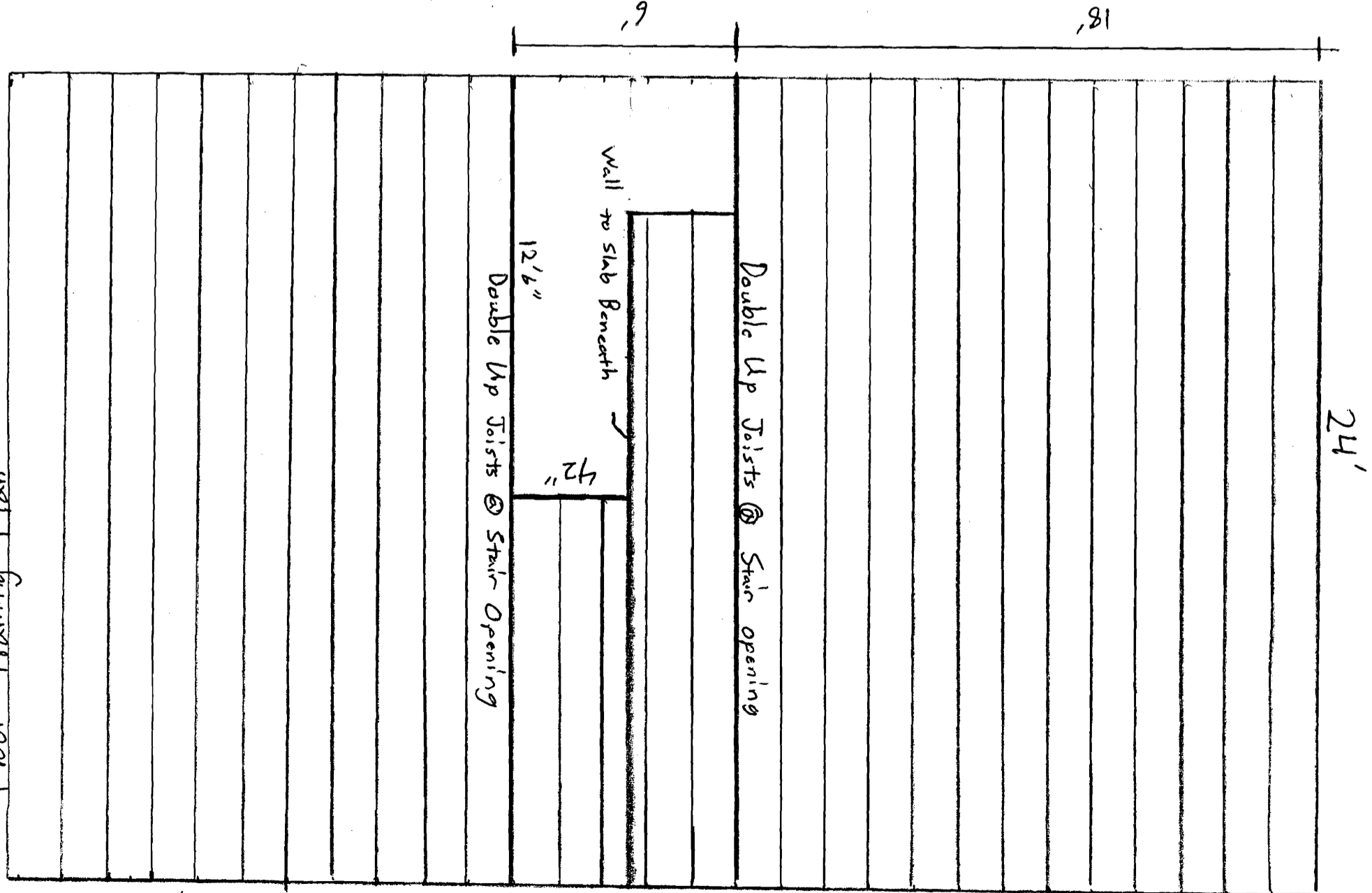
2x12 Rafters @ 16" OC

Double Up Rafters  
Each side of skylights



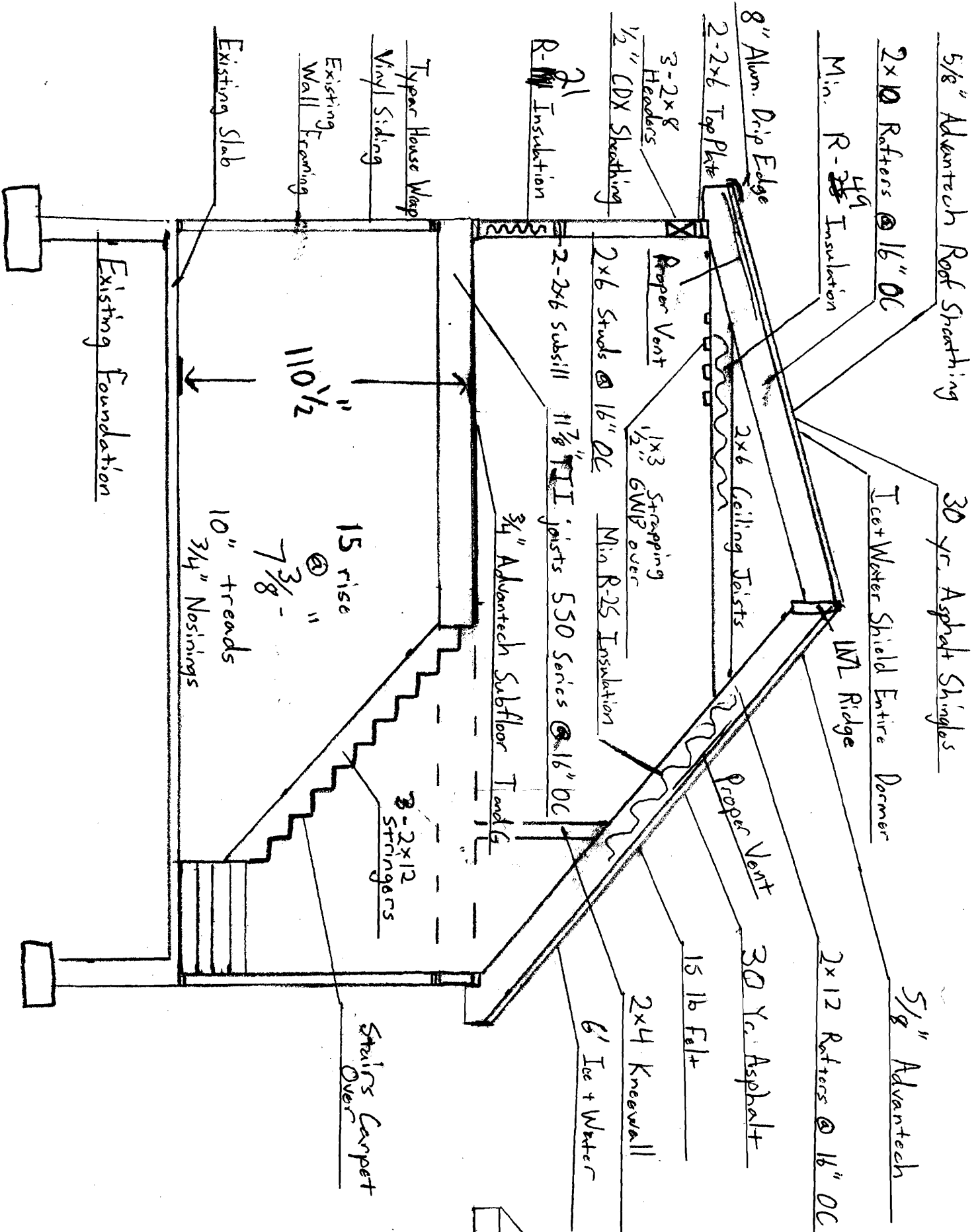
1'04" 2' 1' 35' 3 12" Domes w 2x10 Rafters @ 16" O.C. 2' 1' 1'

Floor Framing Plan

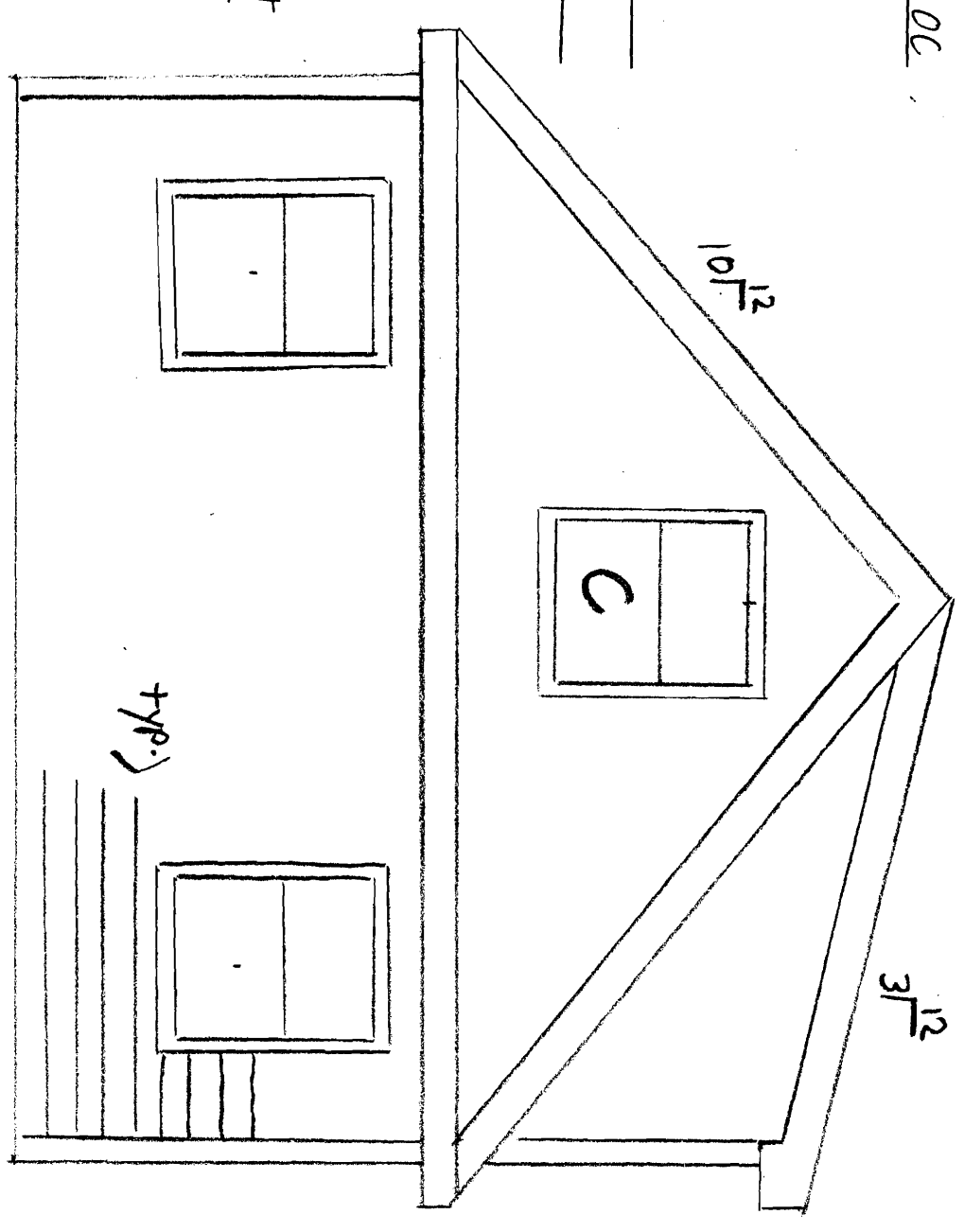


1 7/8" TJI Joists (SSD Series) @ 16" O.C. - Clear span





See revised plan  
 of your summer home  
 Mary



McNery Residence  
 88 Vera St. Portland Mo. 04103  
 Drawn By. Eastbay Builders  
 Side Elevation  
 Sectional / Stair Detail