

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

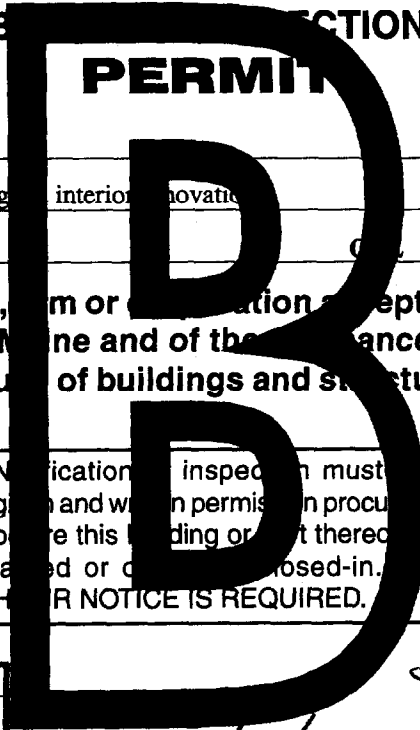
BUILDING DEPARTMENT

PERMIT

Permit Number: 021194

This is to certify that Dennis Ross/Vose, Larry
has permission to build 22' x 22' attached garage interior renovation
AT 36 Vera St City of Portland 162 H006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

PERMIT ISSUED
OCT 18 2002
Department Name _____
CITY OF PORTLAND

10/10/02
[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1194	Issue Date: OCT 18 2002	CBL: 162 H006001
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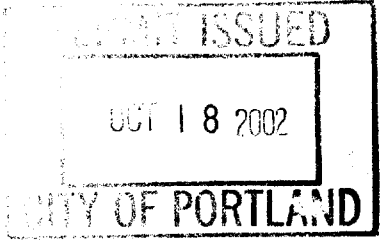
Location of Construction: 36 Vera St	Owner Name: Dennis Ross	Owner Address: 36 Vera St	Phone: 207-774-3178
Business Name:	Contractor Name: Vose, Larry	Contractor Address: 15 Hearn Road Scarborough	Phone: 2078832986
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	Zone: R-3

Past Use: single family	Proposed Use: single family w/22' x 22' attached garage and interior renovations	Permit Fee: \$198.00	Cost of Work: \$25,000.00	CEO District: 2
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Proposed Project Description: build 22' x 22' attached garage & interior renovations	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: 5B BOCA 99 <i>JA</i>
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Permit Taken By: gg	Date Applied For: 10/18/2002	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>10/18/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>10/18/02</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

11/21/02 Site Not READY. No forms in. Called contractor for

11-22-02 checked Set Backs
10'- on side yard
12'- on rear yard

FRONT 5' back from edge of
set Existing Structure
Back

OK to Put Footing

2/13/03 - For Close In - Framing/Elec - House only -
Does not incl. Garage - ok but will need
Specs from Wood Structures. (10)

2/14/03 Specs Rec'd - ok - (10)

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>36 VERA</u>		
Total Square Footage of Proposed Structure <u>24 X 24 - 576 sq. Ft.</u>	Square Footage of Lot <u>6000</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>162</u> <u>H</u> <u>6</u>	Owner: <u>DEMONIS ROSS</u>	Telephone: <u>774-3178</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>36 VERA ST</u> <u>PORTLAND, MAINE 04104</u>	Cost Of Work: \$ <u>25000.00</u> Fee: \$ <u>198</u>
Current use: <u>Home</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: _____		
Project description: _____		
Contractor's name, address & telephone: <u>Larry Vose, 15 Hearn Rd, Scarborough</u> <u>04074</u>		
Who should we contact when the permit is ready: <u>Same</u> <u>883-2986</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>883-2986</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Larry Vose</u>	Date: <u>10/18/02</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

Applicant:

Date:

Address:

36 Vera St.

C-B-L:

162-H-6

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 1957

Zone Location - R-3

Interior or corner lot - Corner

Proposed Use/Work - Garage

Sewage Disposal -

Lot Street Frontage -

Front Yard -

25' Req. - 25' shown - OK

Rear Yard -

Sic. 14-433 -

Side Yard -

8' Req. - 11' shown

5' Req. on rear
13' shown - OK

Projections -

OK

Width of Lot -

Height -

Lot Area -

5807 SF

Lot Coverage/Impervious Surface -

25% = 1451.75 Allowed

Area per Family -

Off-street Parking -

912 SF - House

30 SF - Bulkhead

Loading Bays -

15 SF - front stairs

Site Plan -

957

Shoreland Zoning/Stream Protection -

484 - proposed garage

Flood Plains -

1441 SF - OK

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

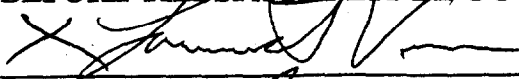
Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

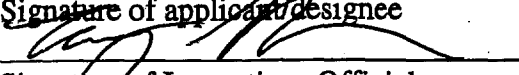
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of applicant/designee

10/10/02
Date


Signature of Inspections Official

Date

CBL: 102-H-6 Building Permit #: 02-1194

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 4918 PAGE 334 COUNTY Cumberland
PLAN BOOK 28 PAGE 18 LOT 40

ADDRESS: 36 Vera Street, Portland, Maine

Job Number: 385-14

Inspection Date: 08-26-02

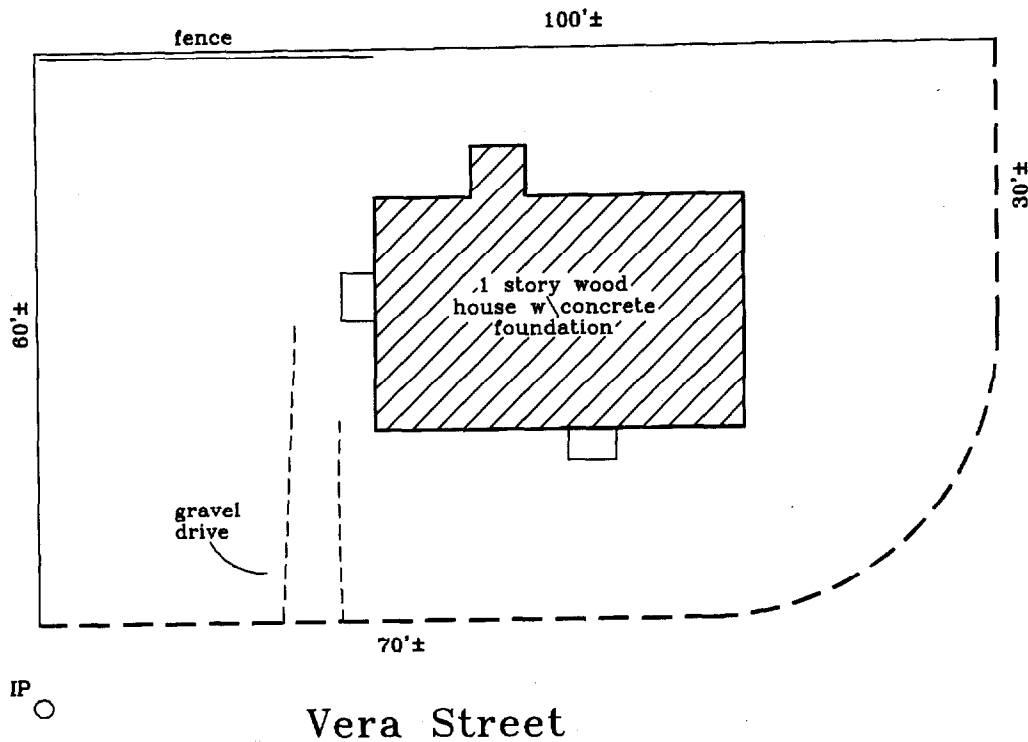
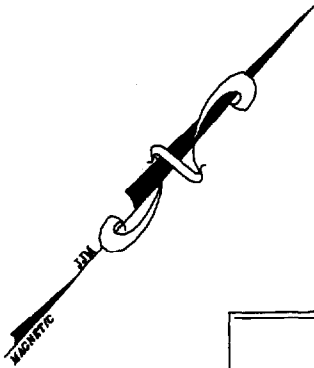
Scale: 1"=20'

Buyer: Dennis Ross

Client #: 02-6614

Seller: Estate of Raymond W. Lamb

COPY



[Handwritten signature]

I HEREBY CERTIFY TO: Hopkinson, Abbondanza & Backer, the
lender and its title insurer.

Monuments found did not conflict with the deed description.
The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community
Panel: 230051 0007 B

The structure does not fall within the special flood hazard zone.

The land does not fall within the special flood hazard zone.

A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

copyright © 1994

Livingston - Hughes

Professional Land Surveyors & Foresters

88 Guinea Road

Kennebunkport - Maine 04046

207-967-9761 phone 207-967-4831 fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY



P.O. Box 347
20 Pomerleau Street
Biddeford, ME 04005

Tel: 207-282-7556
Customer Service: 877-974-7782
Out of State: 800-341-9612

Facsimile Cover Sheet

To: KEVIN CARROLL
Company: PORTLAND ME. BUILDING INSPEZ.
Phone:
Fax: 874. 8716

From: CHRISTOPHER
Company: Wood Structures Inc.
Phone: (207) 282 - 7556
Fax: (207) 282 - 2423

Date: 2-14 03

Pages including this

Cover page: 2

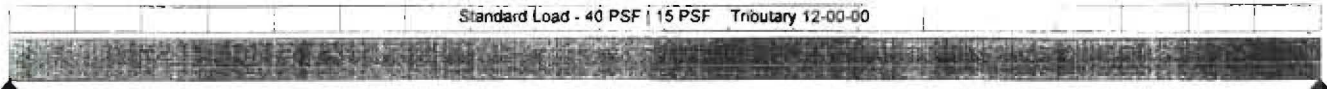
Comments:

KEVIN:
LARRY JOSE CALLED ASKING FOR
SPEC'S ON STRUCTURAL RIDGE USED
ON 36 VOLA AVE PROJECT.

Double 3 1/2" x 11 7/8" VERSA-LAM® 3080 DF

Job Name - LARRY VOSE
 Address - 36 VERA AVE
 City, State, Zip - PORTLAND, ME 04101
 Customer - KEVIN CARROLL
 Code reports - ICBO 5663, NER 442

File Name - BC CALC Project - RB01
 Description -
 Specifier - VOSE
 Designer - CHRISTOPHER
 Company - WOOD STRUCTURES
 Misc - ITEMS PURCHASED THRU WICKS LBR PORT



B0
 3120 lbs L
 1309 lbs D

B1
 3120 lbs LL
 1309 lbs DL

Total Horizontal Length - 13-00-00

General Data

Version: US Imperial
 Member Type: - Roof Beam
 Number of Spans: - 1
 Left Cantilever: - No
 Right Cantilever: - No
 Slope: 0/12
 Tributary: 12-00-00
 Repetitive: n/a
 Construction Type: n/a
 Live Load: 40 PSF
 Dead Load: 15 PSF
 Part Load: 0 PSF
 Duration: 115

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are registered trademarks of Boise Cascade Corporation

Load Summary

ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
S	Standard	Unf Area Load	Left	00-00-00	13-00-00	40 PSF	15 PSF	12-00-00	115

Controls Summary

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	14394 ft-lbs	29.6%	@ 115%	2	1 - Internal
End Shear	3755 lbs	20.7%	@ 115%	2	1 - Left
Total Deflection	L/696 (0.224")	25.9%		2	1
Live Deflection	L/988 (0.158")	24.3%		2	1
Max. Defl.	0.224" (Limit: 1")	22.4%		2	1
Span/Depth	13.1				1

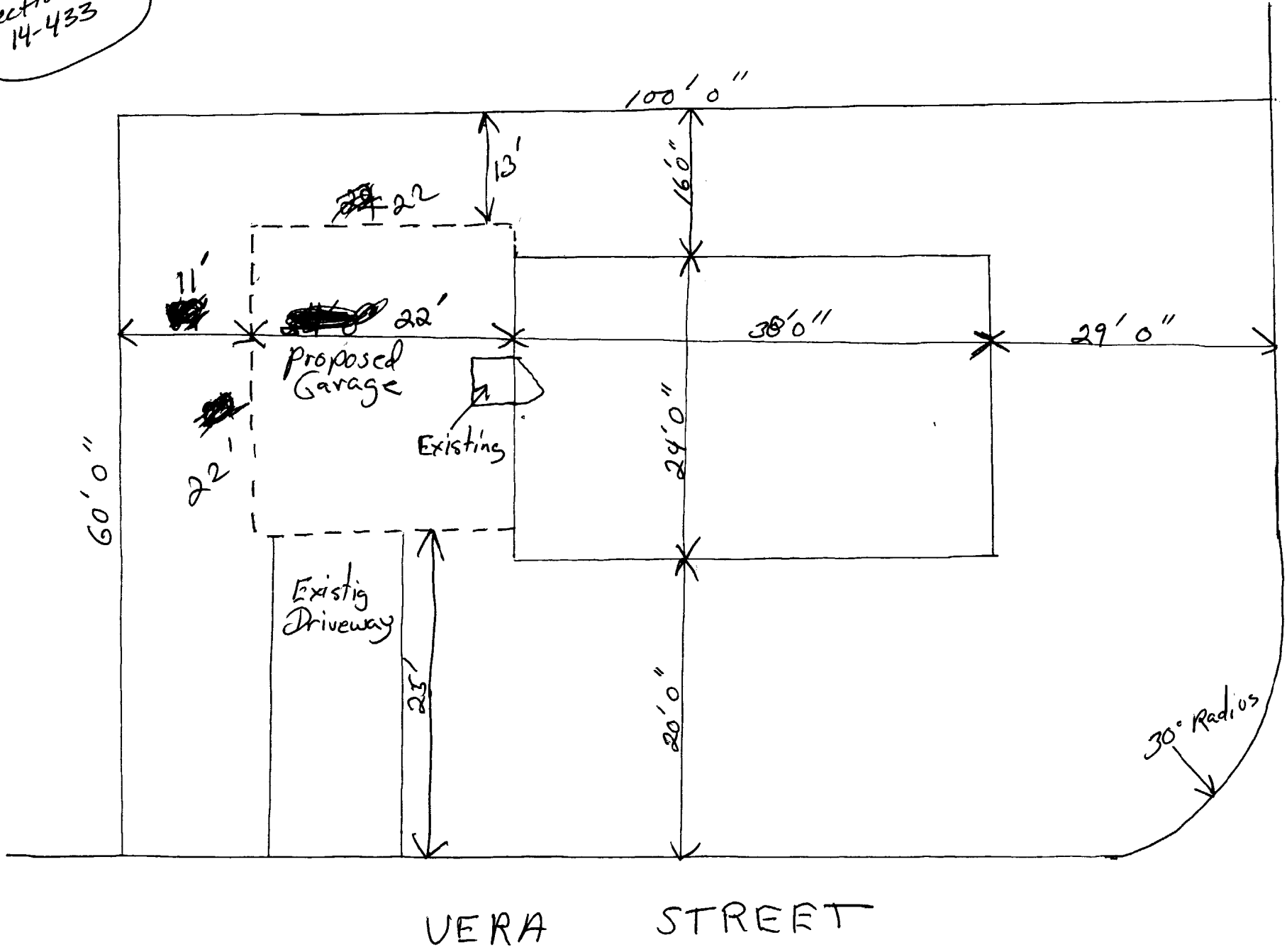
NOTES:

Design meets Code minimum (L/180) Total load deflection criteria
 Design meets Code minimum (L/240) Live load deflection criteria
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2"
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing
 Member Slope = 0, consider drainage.

Plot, Site Plan for Proposed garage
@ 36 UERA STREET Portland, Me

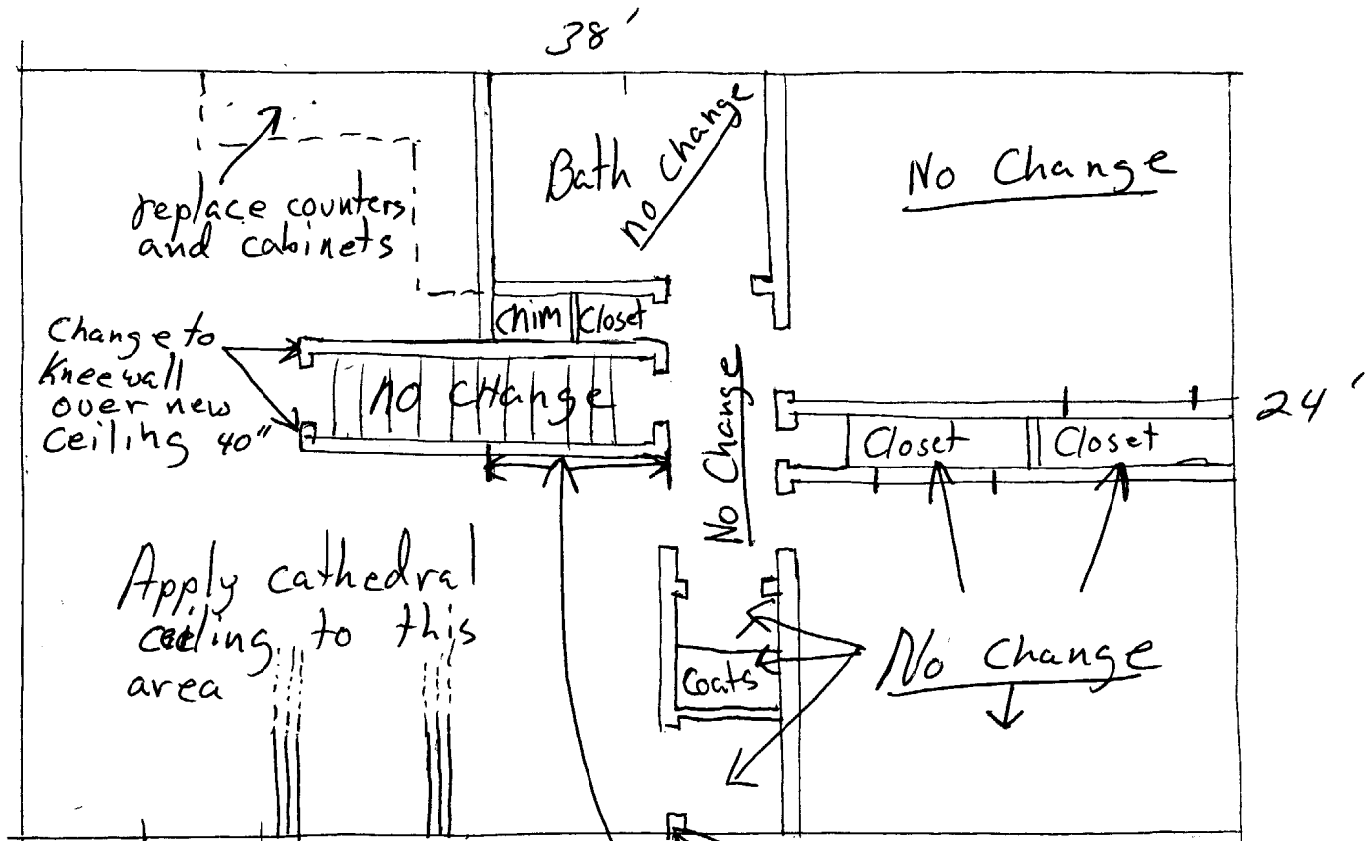
R3

Section
14-433



Interior remodel plan
to remove and replace
Kitchen and apply cathedral
ceiling.

All electrical will be
upgraded as needed
By OD ELECTRIC



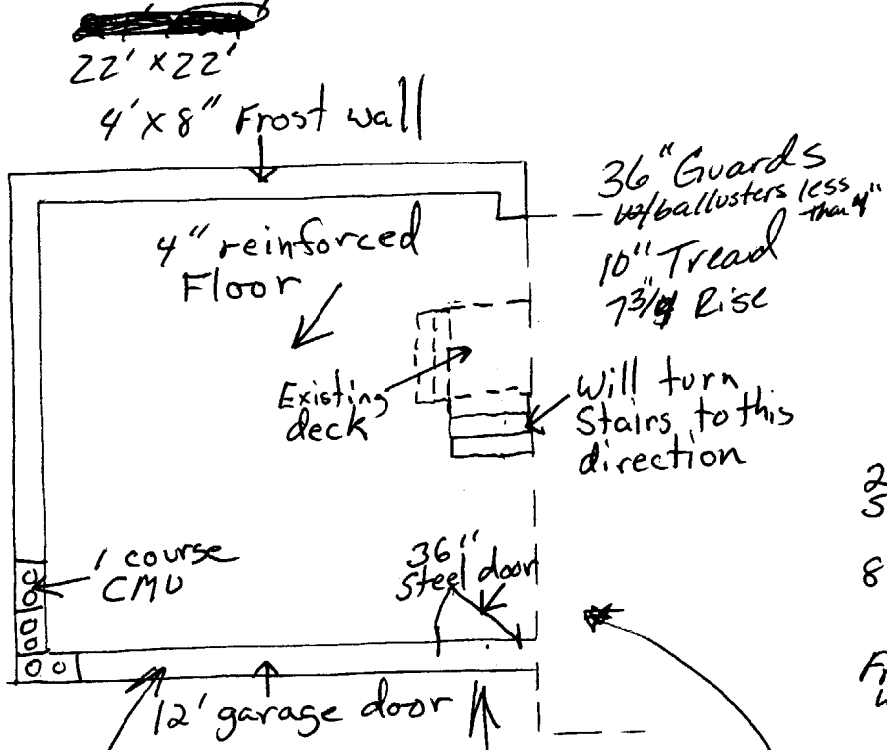
will install 2 collar
ties 4' apart over
center of cathedral
ceiling. Each tie
double 2x6. trued in pine

new ceiling will
start at this
point

wall will extend to
ridge

Proposed garage plan 36 Vera Street

Foundation Plan



36" Guards w/ ballusters less than 4" 11' span
10" Tread
7 3/4" Rise

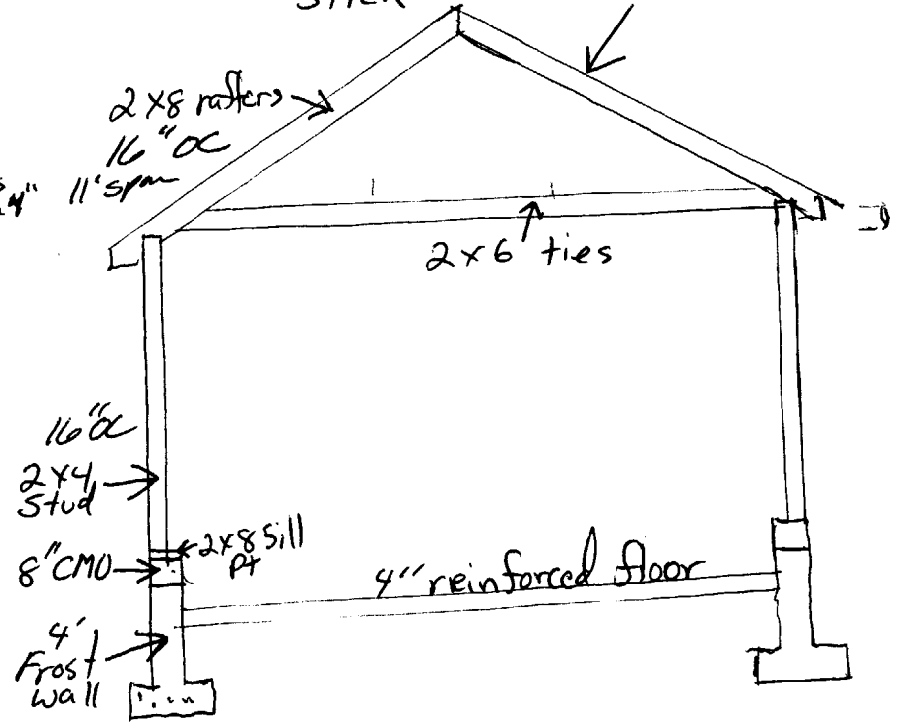
Will turn Stairs to this direction

2- LVL (12") Header for door

2- 2x6 Header

5/8" drywall w/ steel door

Roof system will be either Stick built or trusses





CITY OF PORTLAND, MAINE

Department of Building Inspections

10/18/2002

Received from Dennis Ross

Location of Work 36 Vera St.

Cost of Construction \$ 25,000

Permit Fee \$ 198

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 162-H-6

Check #: 1459

Total Collected \$ 4198

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy