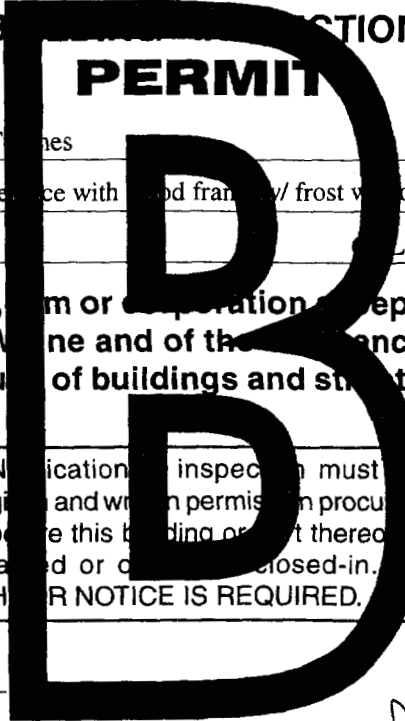


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT



Please Read Application And Notes, If Any, Attached

PERMIT ISSUED

Permit Number: 041269
MAR 14 2006

CITY OF PORTLAND

This is to certify that Noonan Carole Ann /Herb Thomas
 has permission to remove existing porch and replace with wood frame w/ frost w foundation for porch and garage
 AT 89 Vera St L 62 B020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

Jeannie Bourke 3/14/06
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-1269	Issue Date: MAR 14 2006	CBL: 162 B02001
-----------------------	-----------------------------------	--------------------

Location of Construction: 89 Vera St	Owner Name: Noonan Carole Ann	Owner Address: 89 Vera St	Phone:
Business Name:	Contractor Name: Herb Thomes 749-4229	Contractor Address: 39 Grove Ave So. Portland	Phone: 2077992857
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3

Past Use: Single family	Proposed Use: Single family add 20x40 garage/ porch	Permit Fee: \$291.00	Cost of Work: \$30,000.00	CEO District: 4
-----------------------------------	--	--------------------------------	-------------------------------------	---------------------------

Proposed Project Description:
remove existing porch and replace with wood frame w/ frost wall foundation for porch and garage

DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC Signature: JMB 3/14/06
Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (PA.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature: Date:	

Permit Taken By: dmartin	Date Applied For: 08/30/2004
------------------------------------	--

Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 3/14/06	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions Date: JMB
---	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

6/5/06 Footing/setback insp w/ Herb T.
Survey pins located on left side (Flyod St.)
Current house is 19' from front - garage will be set
back 14' from that. plenty in rear. left side very
close - ok to pour footing.

Cannot pour walls until letter from survey secured. JMB

6/6/06 Herb T. called to say the surveyor located
the well on the footing and marked a chalk line
between Nails - saw this on site - still need
surveyors letter JMB

6/6/06 received letter JMB

10/17/06 Close-in inspection - O.K. to Close.

Will add pull-down stair for Attic Access.
check O.K.

5/8" sheetrock on Garage ceiling + wall adjacent to house (per Hdd)
check

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1269	Date Applied For: 08/30/2004	CBL: 162 B020001
Location of Construction: 89 Vera St	Owner Name: Noonan Carole Ann	Owner Address: 89 Vera St
Business Name:	Contractor Name: Herb Thomes	Contractor Address: 39 Grove Ave So. Portland
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings

Location of Construction: 89 Vera St	Owner Name: Noonan Carole Ann	Owner Address: 89 Vera St	Phone: () 774-6633
Business Name:	Contractor Name: Herb Thomes	Contractor Address: 39 Grove Ave So. Portland	Phone (207) 799-2857
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single family add 20x40 garage/ porch	Proposed Project Description: remove existing porch and replace with wood frame w/ frost w/ foundation for porch and garage
---	---

Dept: Zoning Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 03/14/2006

Note: **Ok to Issue:**

- As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, and the curved lot line, it shall be required to be located by a surveyor.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 03/14/2006

Note: **Ok to Issue:**

- Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- Separate permits are required for any electrical, plumbing, or heatmg.

Comments:

09/22/2004-tmm: Does not meet side yard setback on side street - left message w/owner/builder.

09/28/2004-tmm: met w/builder - went over setbacks and info required for permit - will redesign and resubmit.

0210112006-ldobson:repositioned home resubmitted plans LJD

03/02/2006-jmb: Left vm w/Herb T. For more details and updated plot plot plan.

0310912006-jmb: Spoke to Herb T. About plot plan and framing details, he will come in on 3/14 to review

03/14/2006-jmb: Met w/Herb T. See new plot plan, and notes on plans, **ok** to issue

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>89 Vera St, Portland,</u>		
Total Square Footage of Proposed Structure <u>480 sqft</u>		Square Footage of Lot <u>20x24</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>162 B 020</u>	Owner: <u>Carol Noonan</u>	Telephone: <u>774-6633</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Herb Thomas</u> <u>799-2857 / 749-4229</u>	Cost Of Work: \$ <u>30,000</u> Fee: \$ <u>291.00</u>
Current use: <u>Private home</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>ADD ON Garage porch - 20' x 24'</u>		
Project description: <u>WOOD FRAME with frost wall foundation / Vinyl Siding to match home - Removal of Porch</u>		
Contractor's name, address & telephone: <u>Herb Thomas / 39 Grove Ave. South Portland</u>		
Who should we contact when the permit is ready: <u>Carol Noonan (774-6633)</u>		
Mailing address: <u>89 Vera St. or Herb Thomas (799-2857)</u> <u>Portland.</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Herbert E. Thomas</u>	Date: <u>8/25/04</u>
--	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- | | |
|--|--|
| <input checked="" type="checkbox"/> Footing/Building Location Inspection; | <u>Prior to pouring concrete</u> |
| <u>NA</u> Re-Bar Schedule Inspection: | Prior to pouring concrete |
| <u>NA</u> Foundation Inspection: | Prior to placing ANY backfill |
| <input checked="" type="checkbox"/> Framing/Rough Plumbing/Electrical; | <u>Prior to any insulating or drywalling</u> |
| <input checked="" type="checkbox"/> Final/Certificate of Occupancy: | Prior to any occupancy of the structure or use. NOTE:
inspection at this point. |

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Herbert E. Thomas
Signature of Applicant/Designee

3/14/06
Date

Seamus Banks
Signature of Inspections Official

3/14/06
Date

CBL: 162-B-20

Building Permit #: 04-1269



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	162 B020001
Location	89 VERA ST
Land Use	SINGLE FAMILY
Owner Address	NOONAN CAROLE ANN 89 VERA ST PORTLAND ME 04103
Book/Page	19678/026
Legal	162-B-20 VERA ST 87-93 LLOYD AVE 11104 SF

R3

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$52,530	\$75,680	\$128,210

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$72,400	\$87,200	\$159,600

* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1953	Ranch	1	1222	0.255	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
2	1		4	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1982	6X8	C	A

Sales information

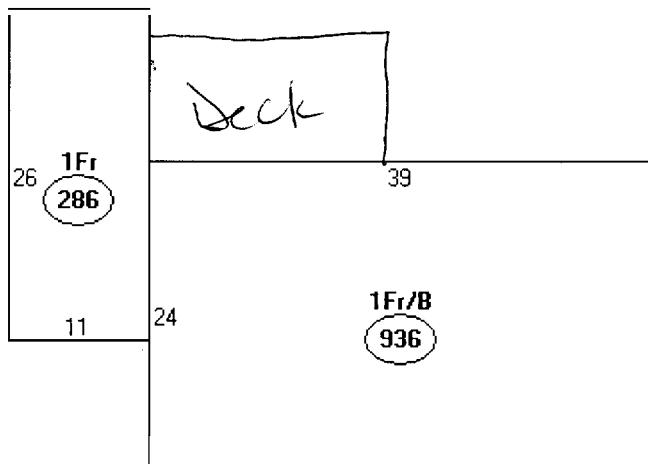
Date	Type	Price	Book/Page
07/01/2003	LAND + BLDING	\$170,000	19678-026
05/31/2002	LAND + BLDING		17689-082
07/29/1997	LAND + BLDING	\$54,000	13220-190

Picture and Sketch

Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-



Descriptor/Area

A: 1Fr/B
936 sqft

E: 1Fr
286 sqft

1222
 porch 126
 garage ext. 75

 1423
 Deck 200

 1,623

OK

11,104
 x 35%

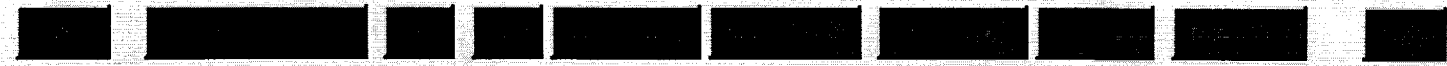
 3,886

Prmt Text93 22730 Constr Type New Num1 41269

Permit Nbr 04-1269 Location of Construction 89 Vera St Appl. Date 08/30/2004
Status Hold Permit Type Alterations - Dwellings Issue Date
CBL 162 B020001 District Nbr 4 Estimated Cost \$30,000.00 Date Closed

Comment Date	Comment	Name	Follow Up Date	Completed
09/28/2004	met w/builder - went over setbacks and info required for permit - will redesign and resubmit.	imm		<input type="checkbox"/>
09/22/2004	Does not meet side yard setback on side street - left message w/owner/builder.	imm		<input type="checkbox"/>

CreatedBy dmartin CreateDate 08/30/2004 ModBy imm ModDate 09/22/2004



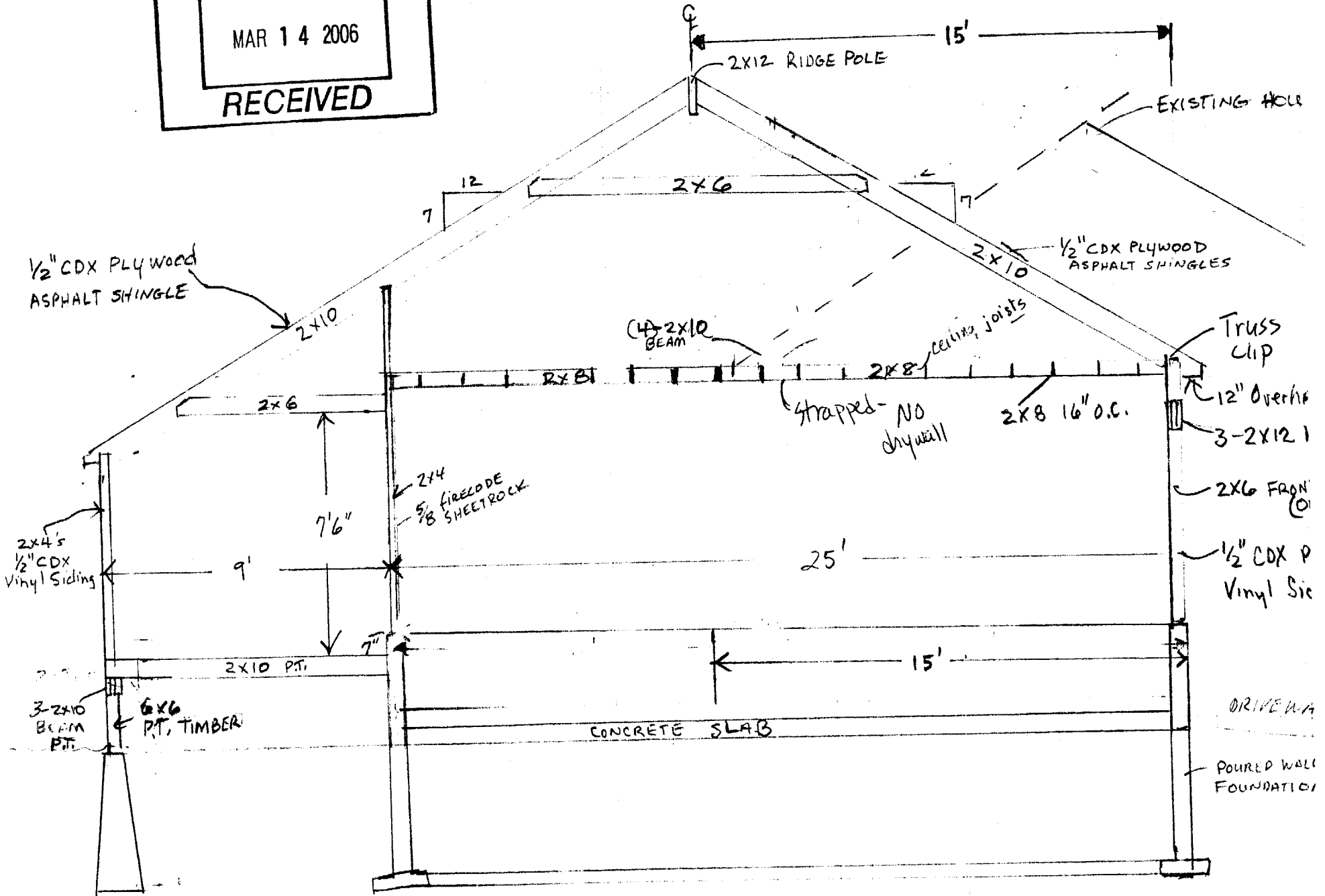
Prmt **Text93** 22730 Constr Type **New** Num1 41269

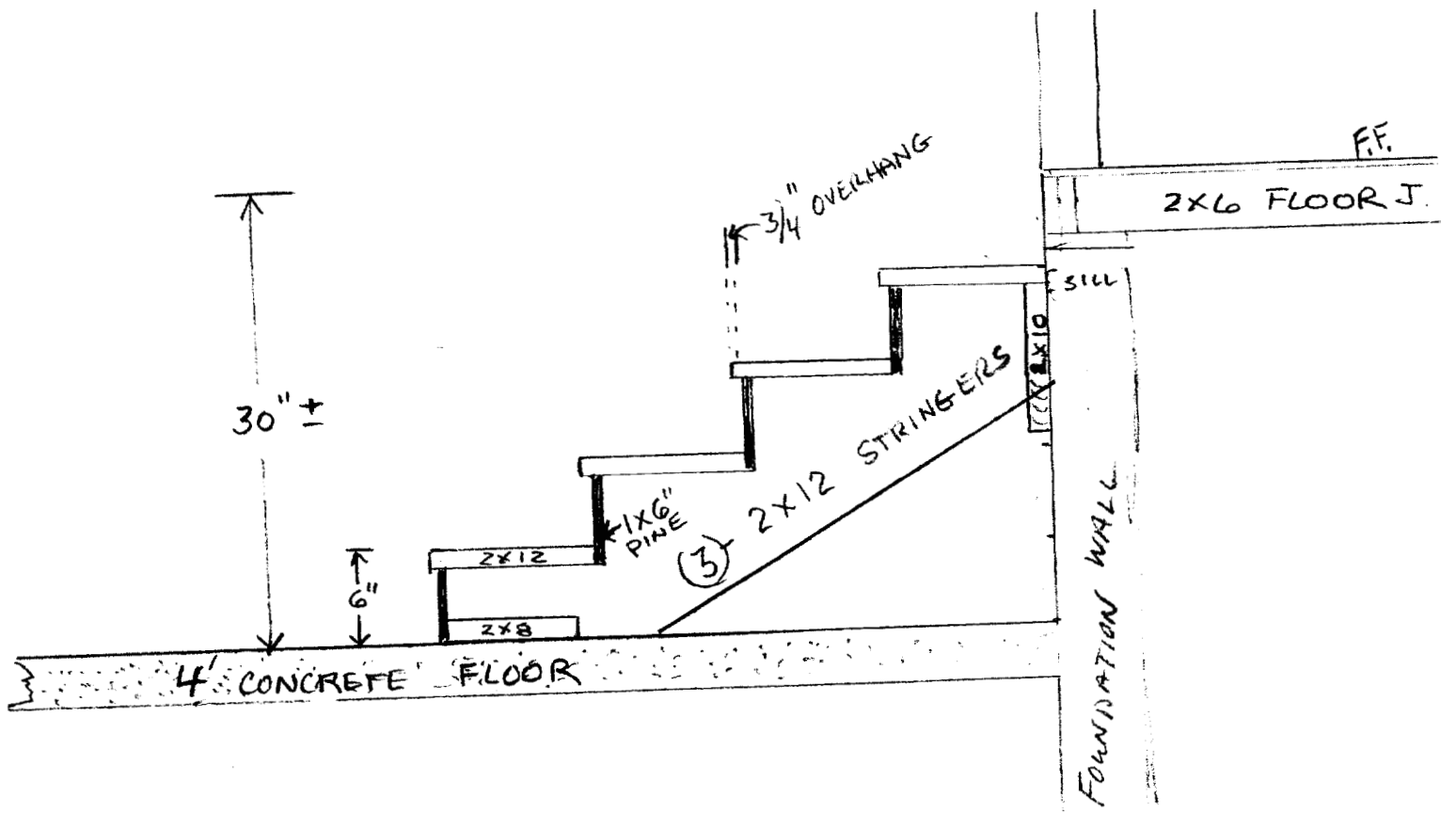
Permit Nbr 04-1269 Location of Construction 89 Vera St Appl. Date 08/30/2004
Status Hold Permit Type Alterations - Dwellings Issue Date
CBL 162 B020001 District Nbr 4 Estimated Cost \$30,000.00 Date Closed

Comment Date	Comment				
09/22/2004	Does not meet side yard setback on side street - left message w/owner/builder.				
Name	trmm	Follow Up Date		Completed	<input type="checkbox"/>

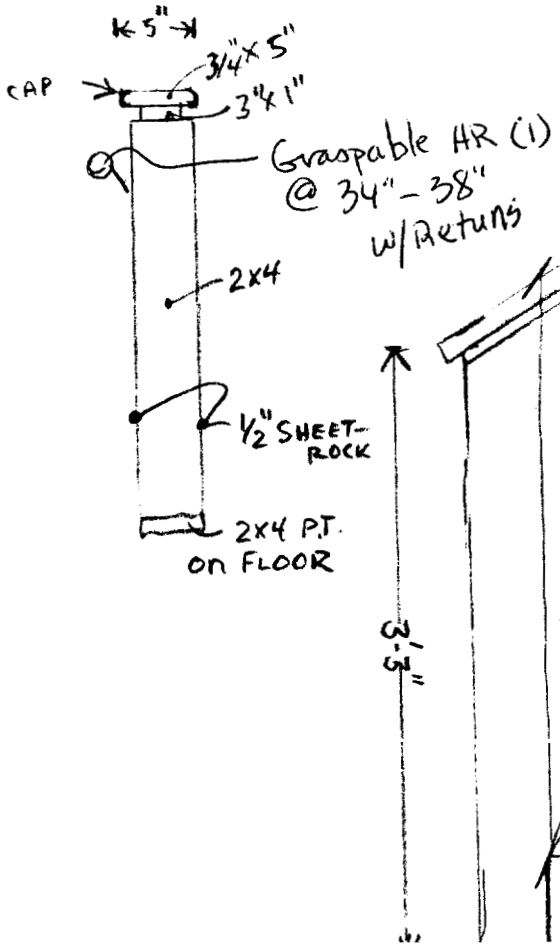
CreatedBy dmartin CreateDate 08/30/2004 ModBy trmm ModDate 09/22/2004

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAR 14 2006
 RECEIVED





← 3'-9" →



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAR 14 2006

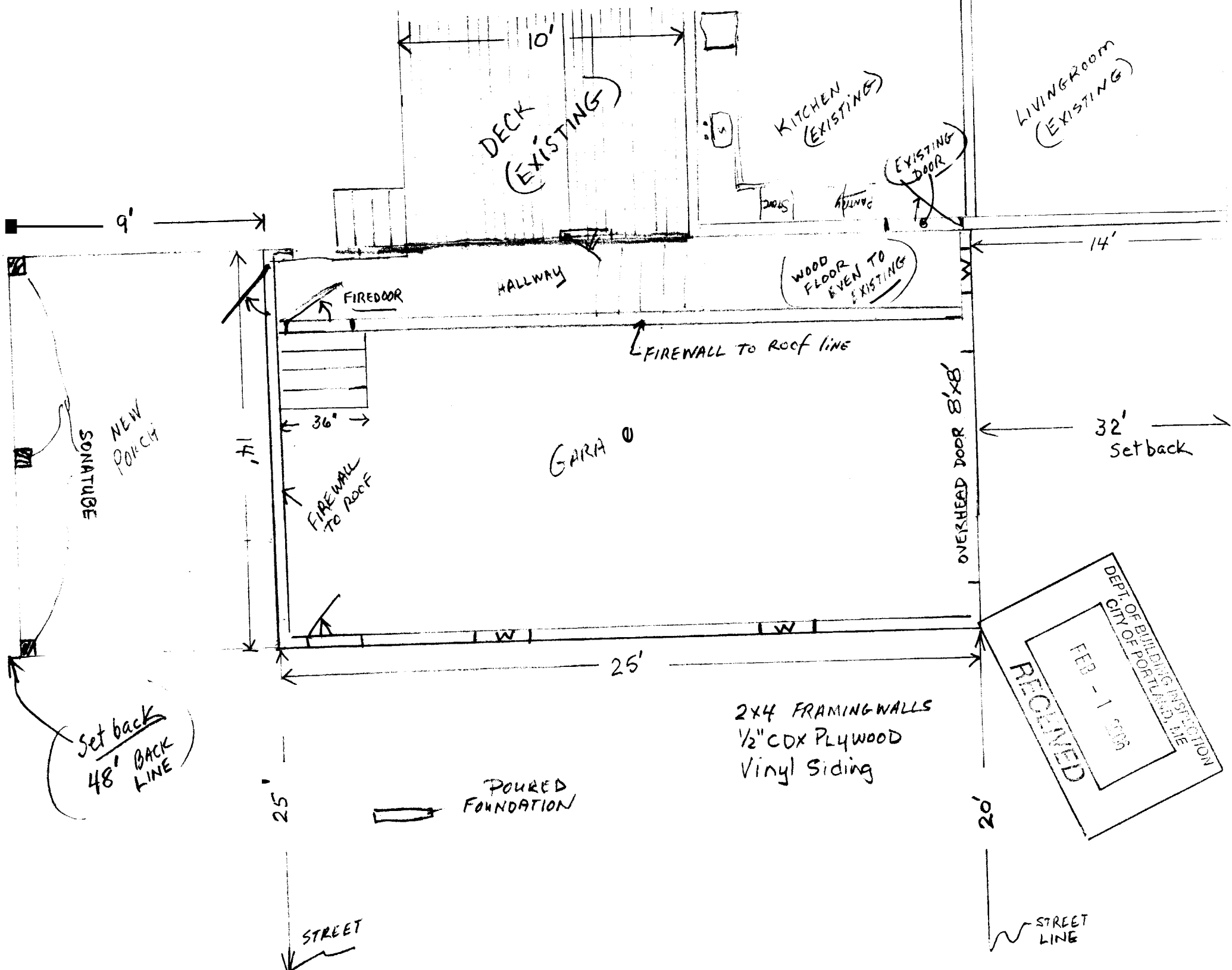
RECEIVED

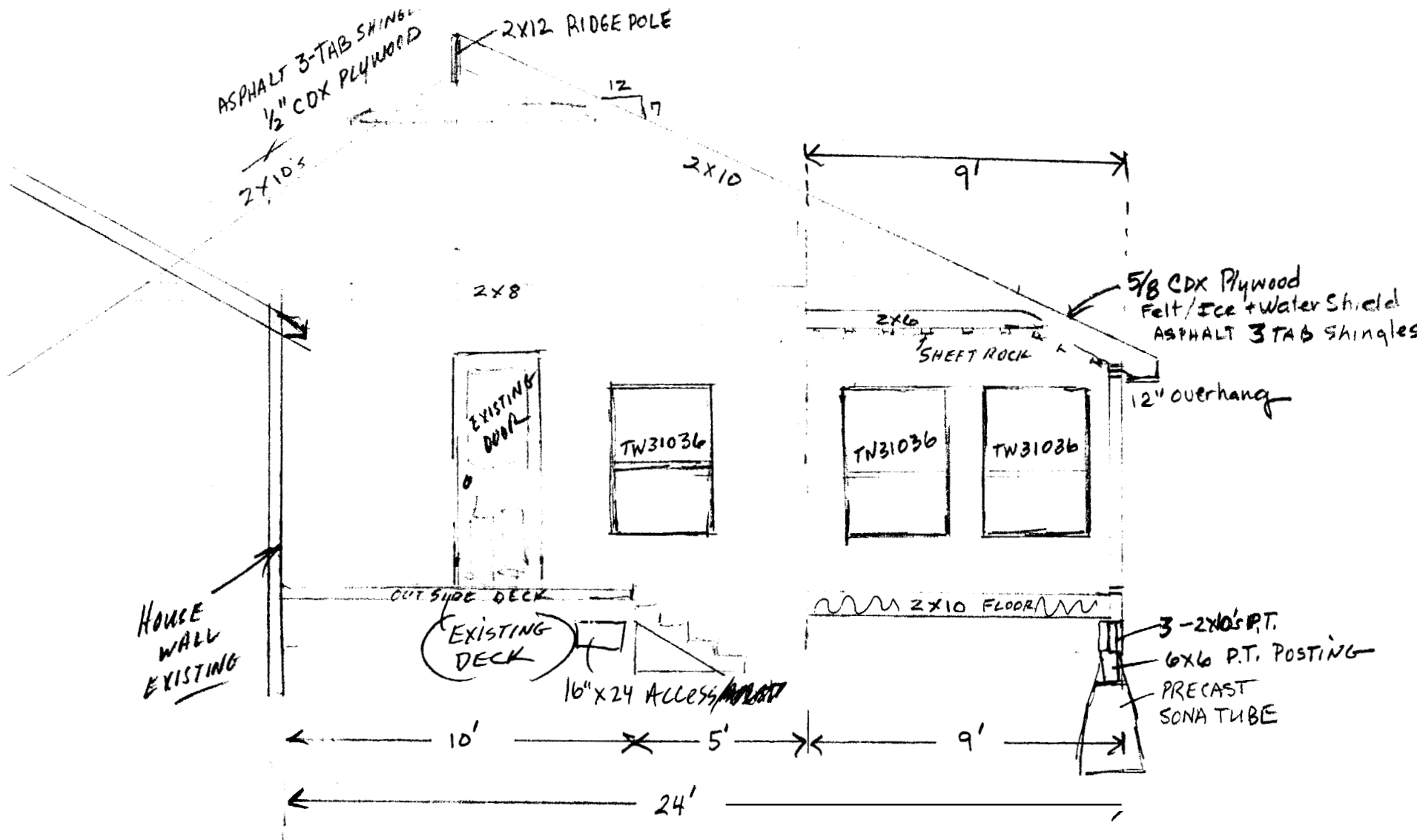
SHEET ROCK

34" min

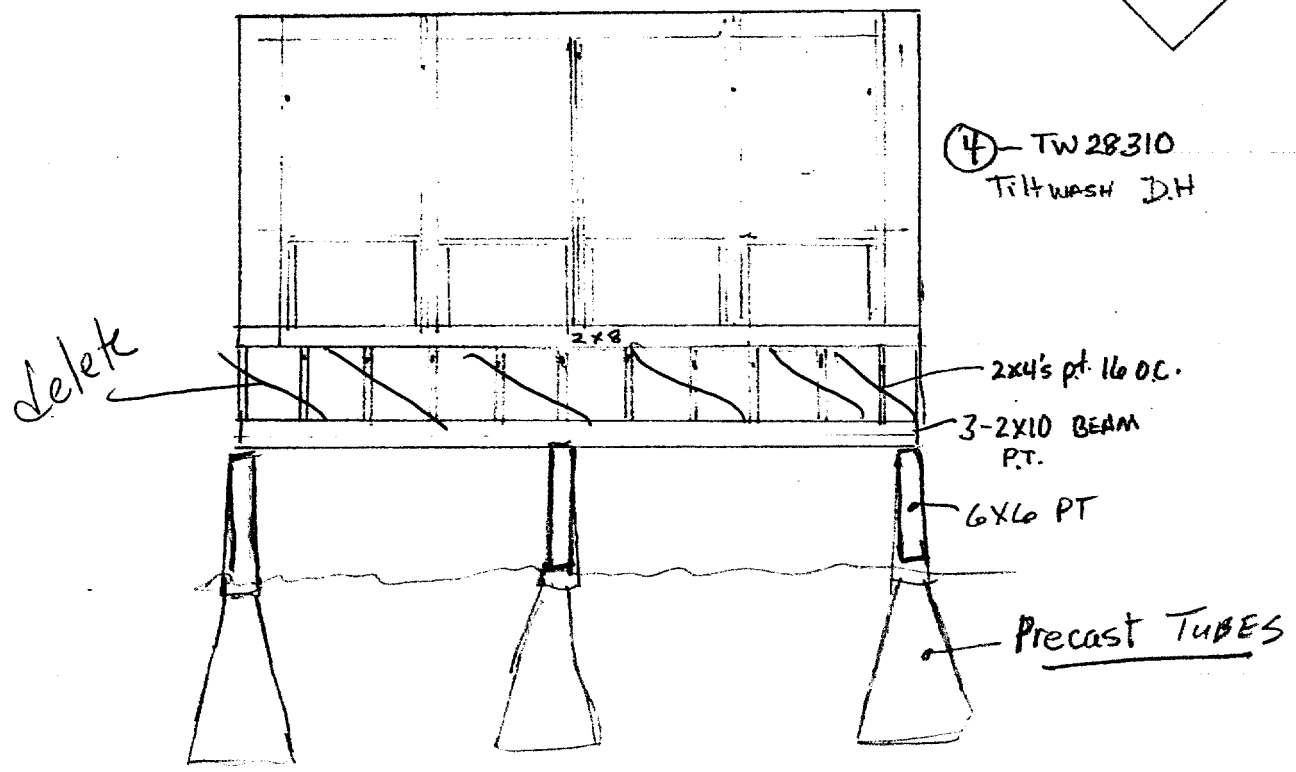
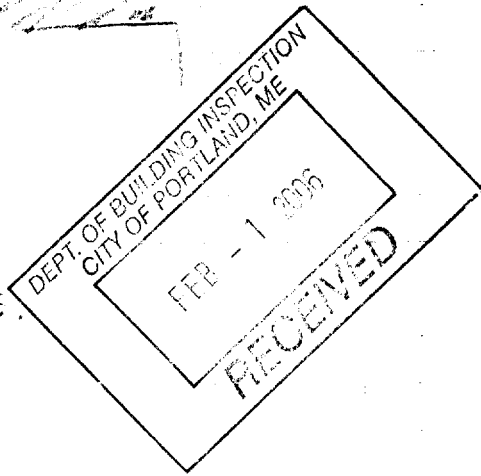
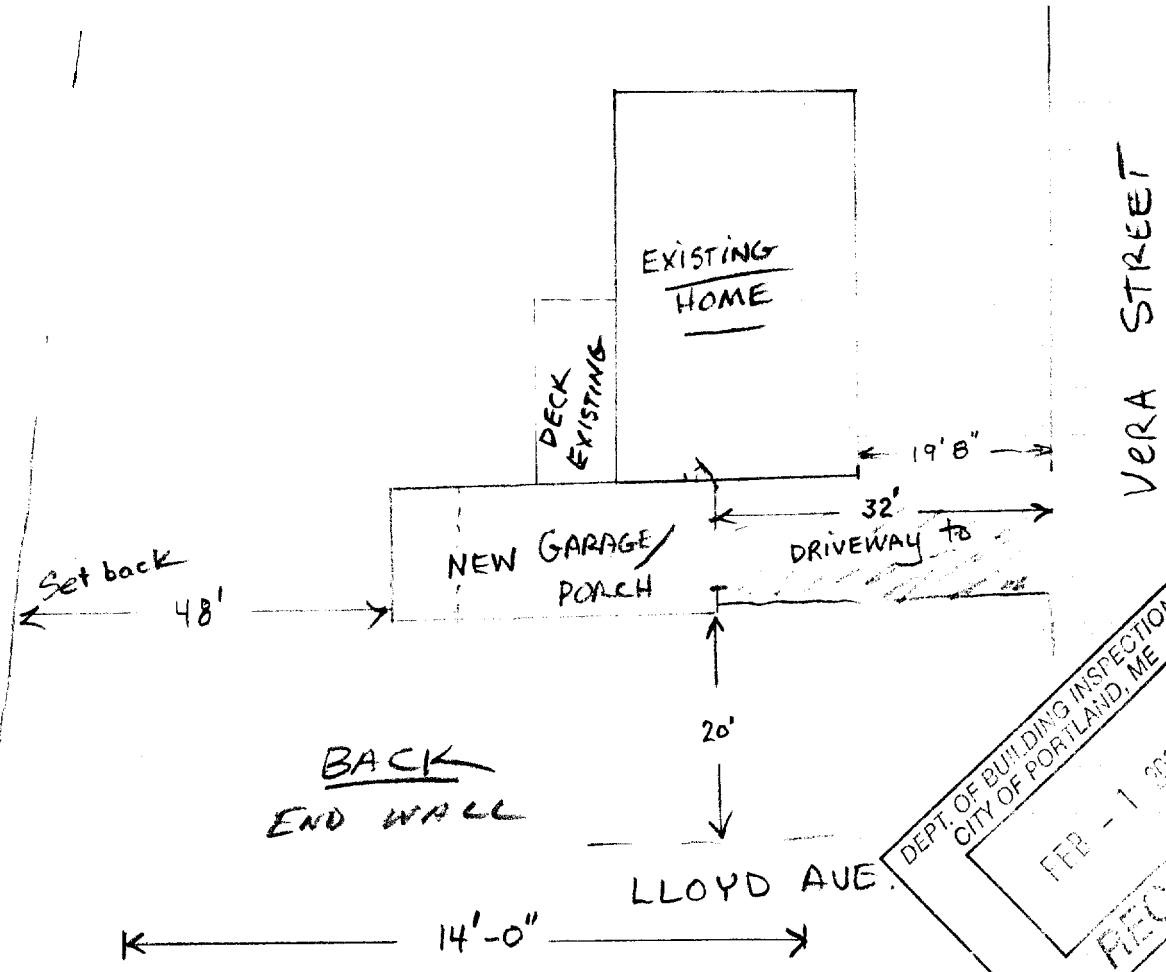
5'-2"

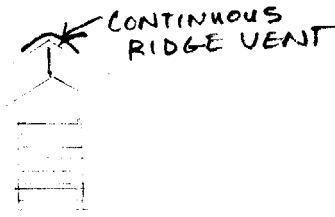
2'-4"





BUILDING INSPECTION
 CITY OF PORTLAND, ME
 1-8006
 APPROVED



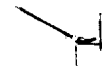


CONTINUOUS RIDGE VENT

7 | 12

12 | 7

STEP FLASHING TO EXISTING STRUCTURE

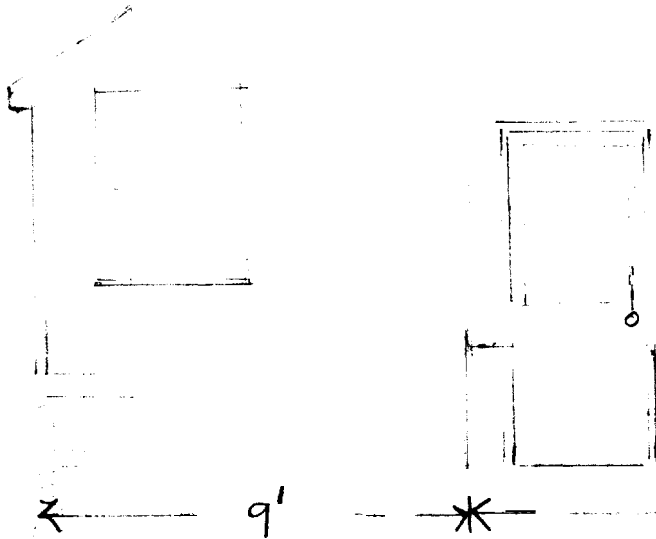


Vinyl Siding
 1/2" CDX Ply sub wall
 2x4 Framing

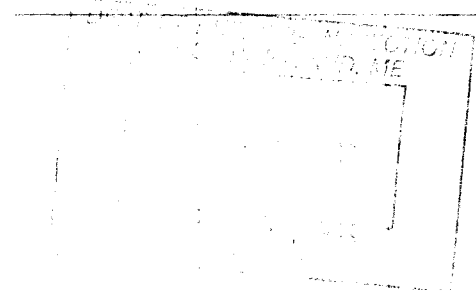
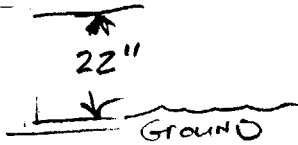
If windows moves must be tempered w/ 24"

TW21036

36" - 2
 4'
 TW31036



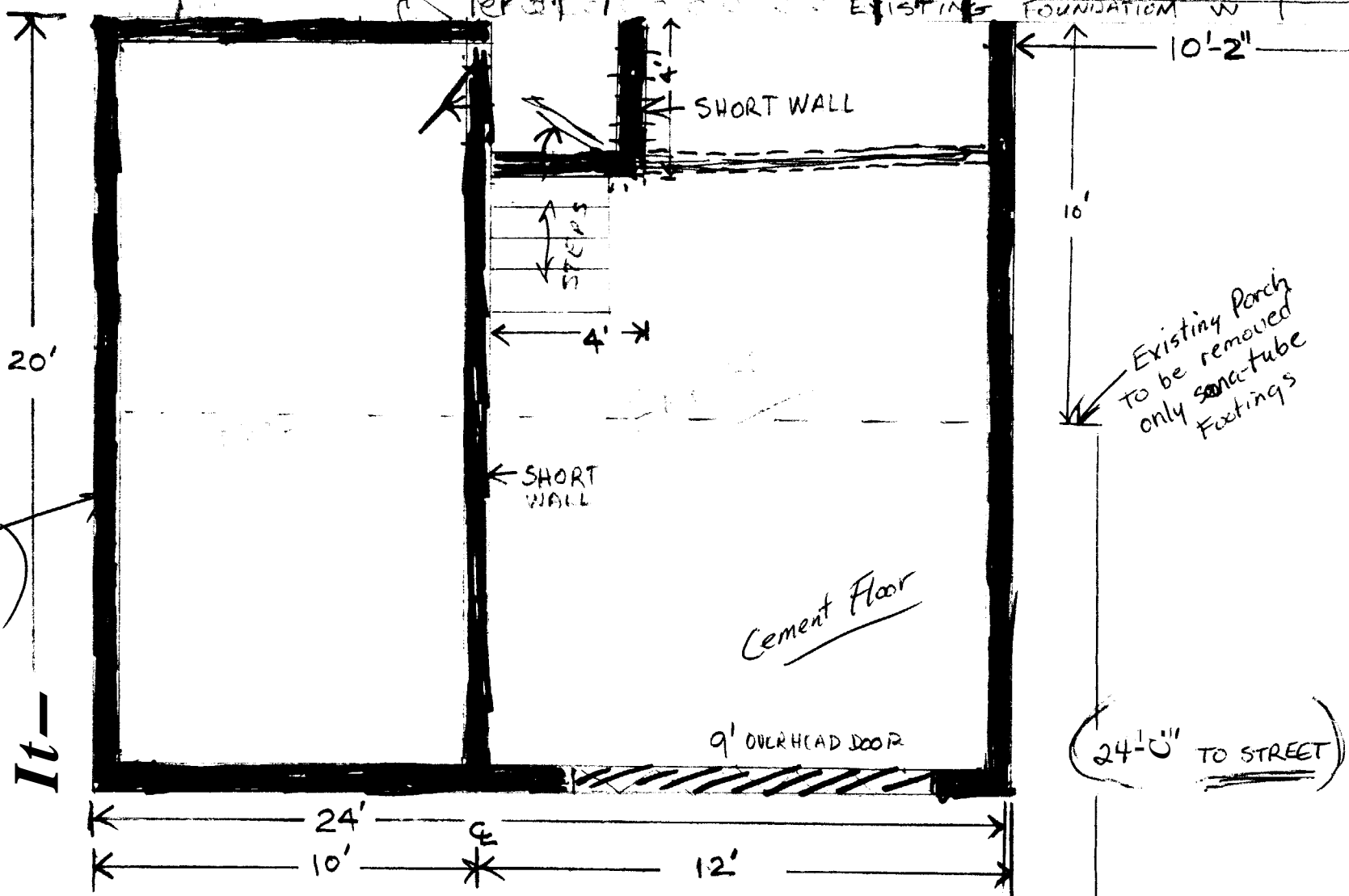
FOUNDATION WALL



89 VLRA ST
PORTLAND
"NOONAN JOB"

EXISTING DECK

EXISTING HOUSE



Existing Porch
to be removed
only sona-tube
Footings

(8" poured
Foundation)

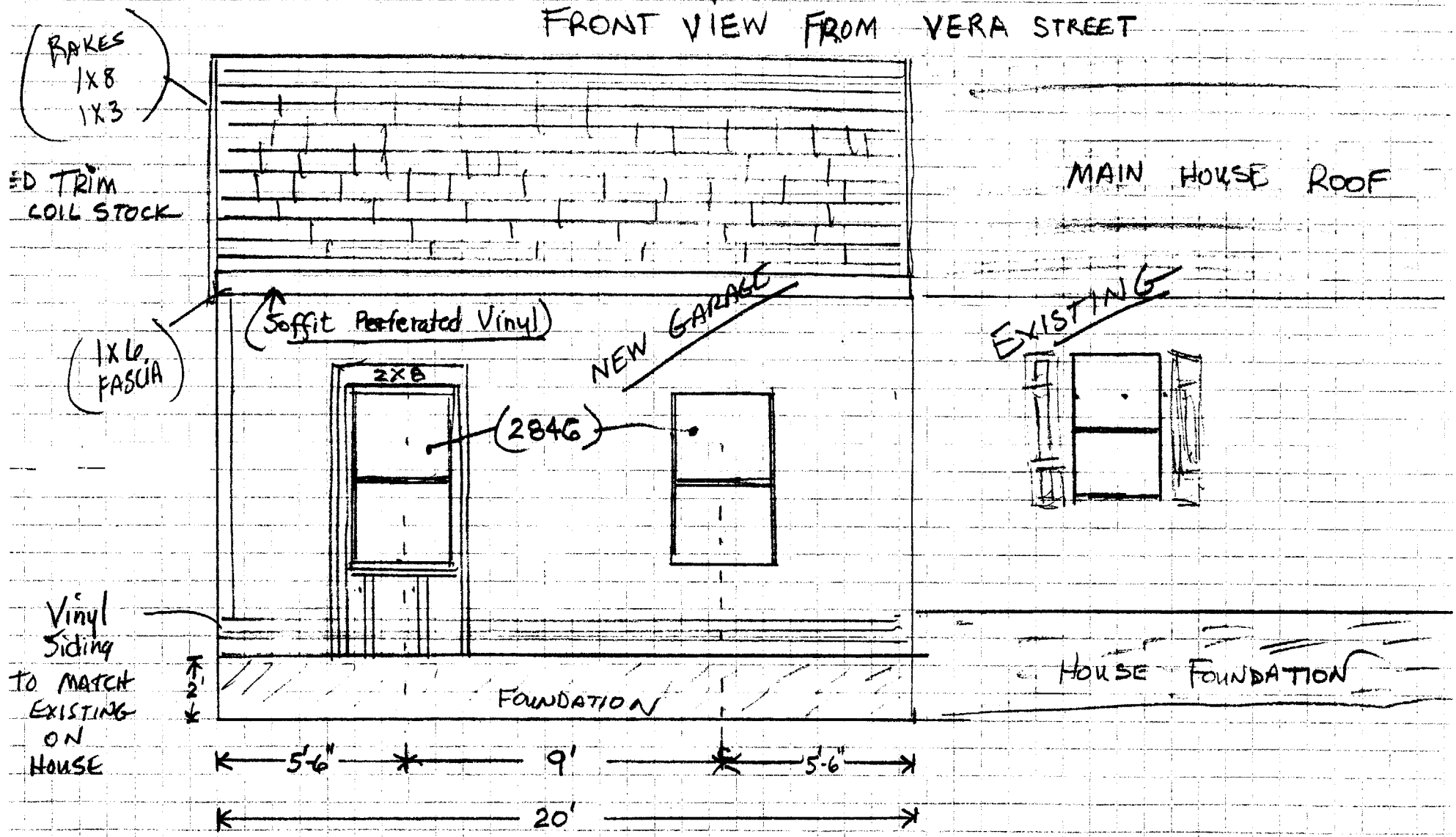
24'-0" TO STREET

HERB THOMAS
799-2857

NEW
DRIVEWAY

162 B 20

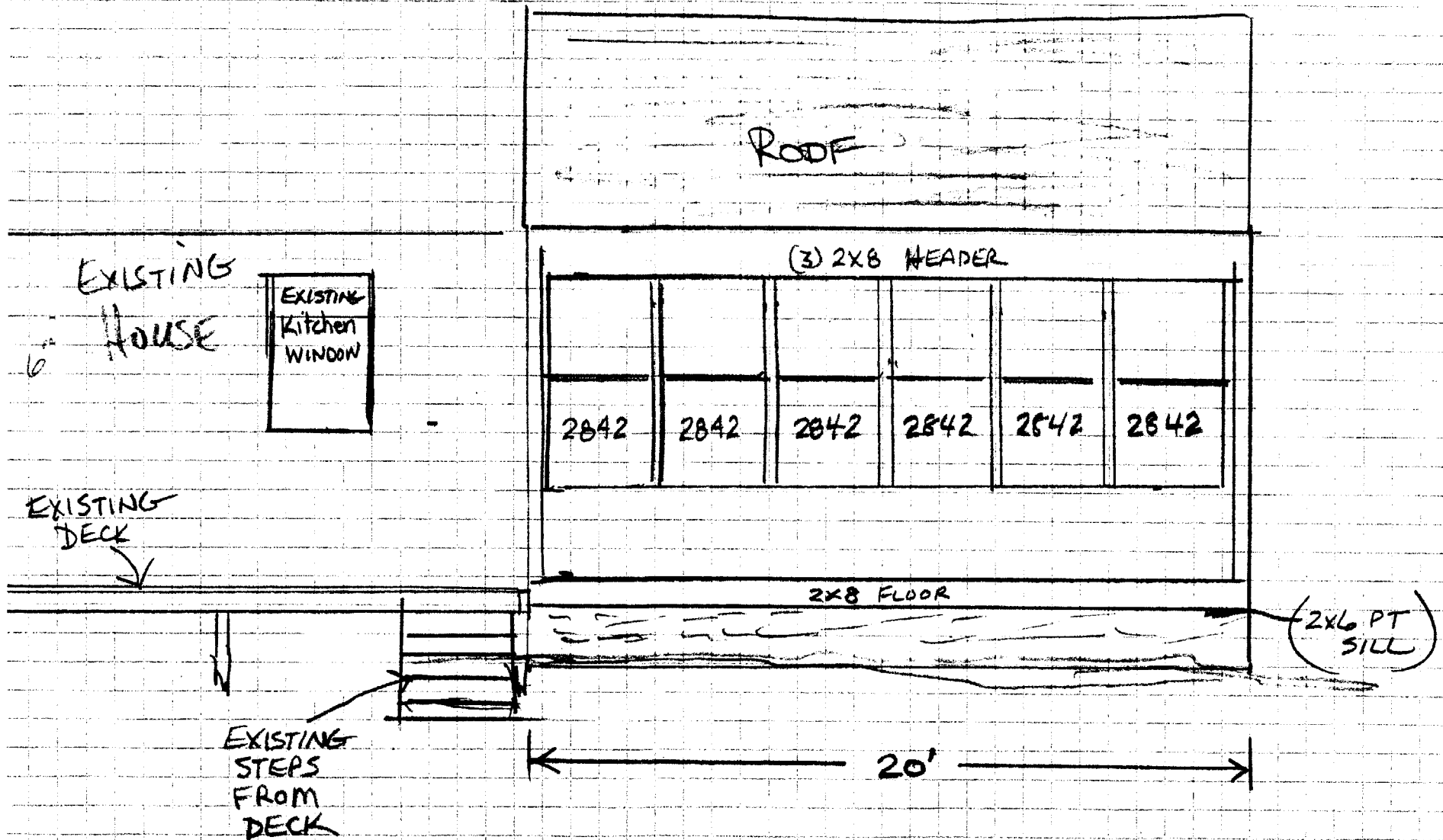
FRONT VIEW FROM VERA STREET



FRAMING: 2x6 16" O.C.

AFTERS: 2x8 16" O.C.

(REAR VIEW)



162 B 20

162820

CAROL NOONAN
89 Vera Street
PORTLAND, ME

Foundation

24'-6"
TO STREET

EXISTING
STEPS
FOR DECK

PORCH AREA
FLOORING HEIGHT TO
MATCH HOUSE F.F.

EXISTING
DECK

(SINK) COUNTER

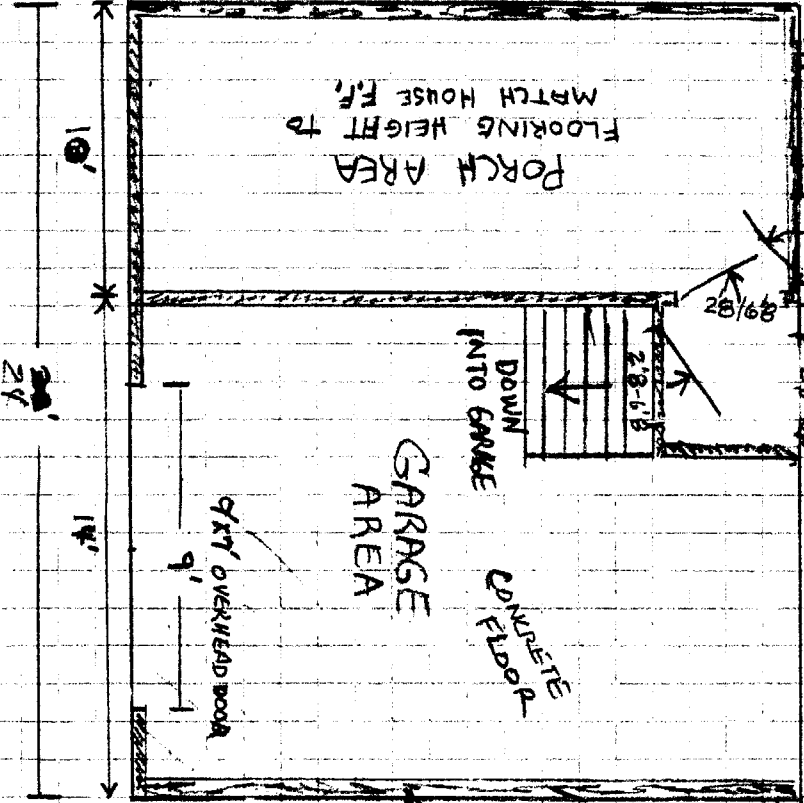
KITCHEN
12' X 18'-9"
24' X :

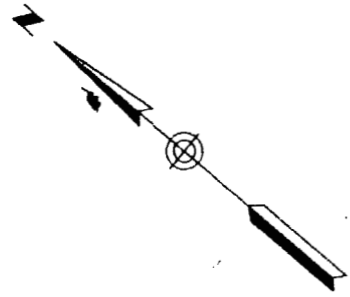
Existing

DEAD END

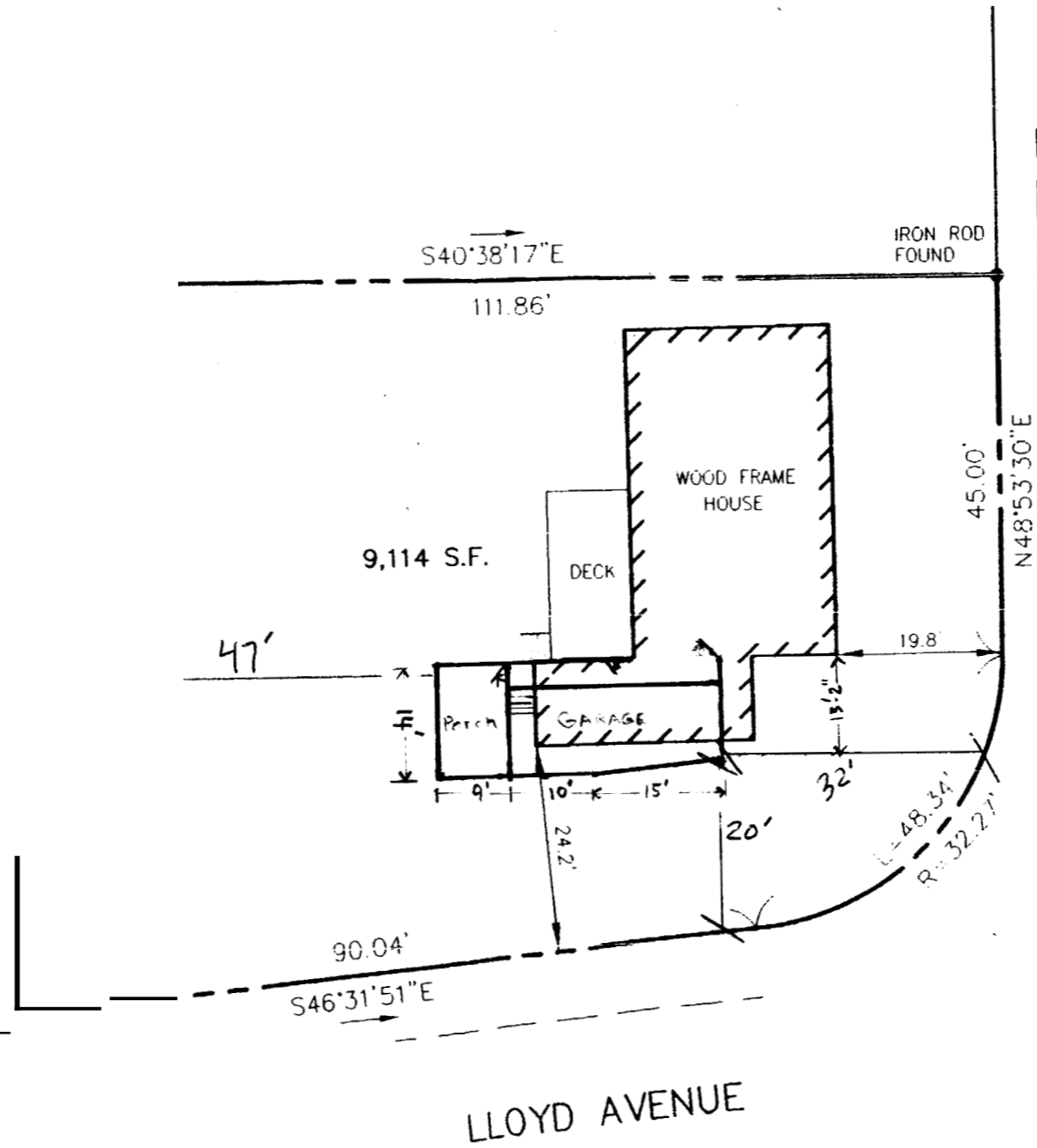
LLOYD STREET

LLOYD STREET





DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR 14 2006
RECEIVED



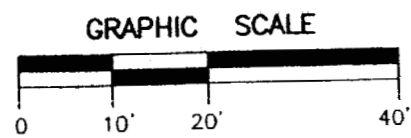
VERA STREET

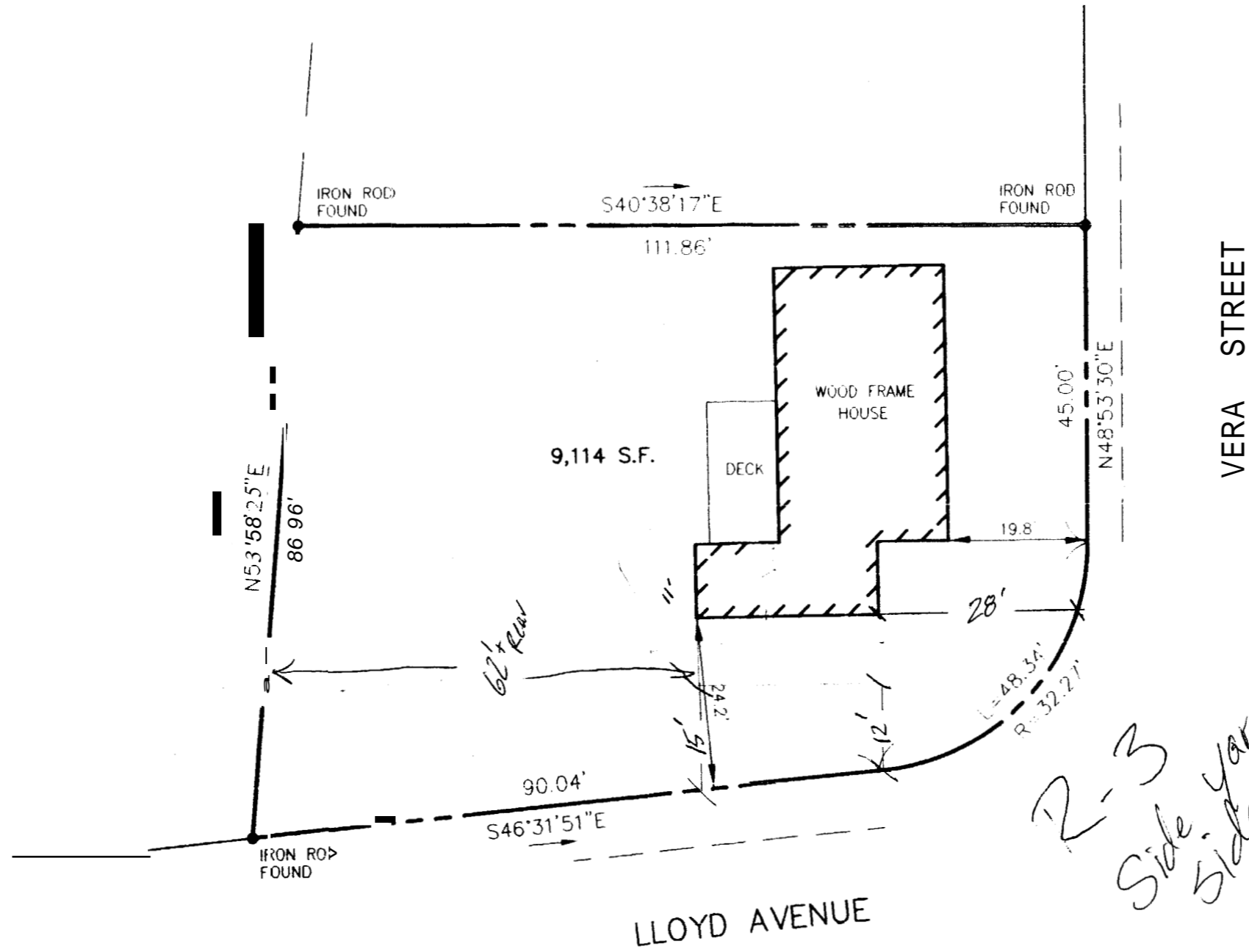
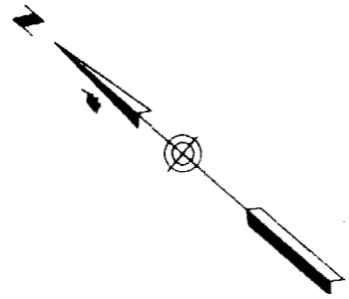
R3 Zone
Front 25' Req 33' scaled
Rear 25' Req 47' scaled
Side yd on Side St 20' Req 20' scaled

July 2004

PLAN OF LAND
ON
VERA STREET, PORTLAND, MAINE
MADE FOR
CAROLE ANN NOONAN
89 VERA STREET, PORTLAND, MAINE
OWEN HASKELL, INC.
16 CASCO ST., PORTLAND, ME 04101 (207) 774-04
PROFESSIONAL LAND SURVEYORS

Drwn By	EB	Date	JULY 8, 2004	Job N	2004-
Trace By	JLW				
Check By	EB	Scale	1" = 20'	Drwg.	1
PL. No.	FILE				



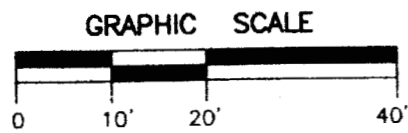


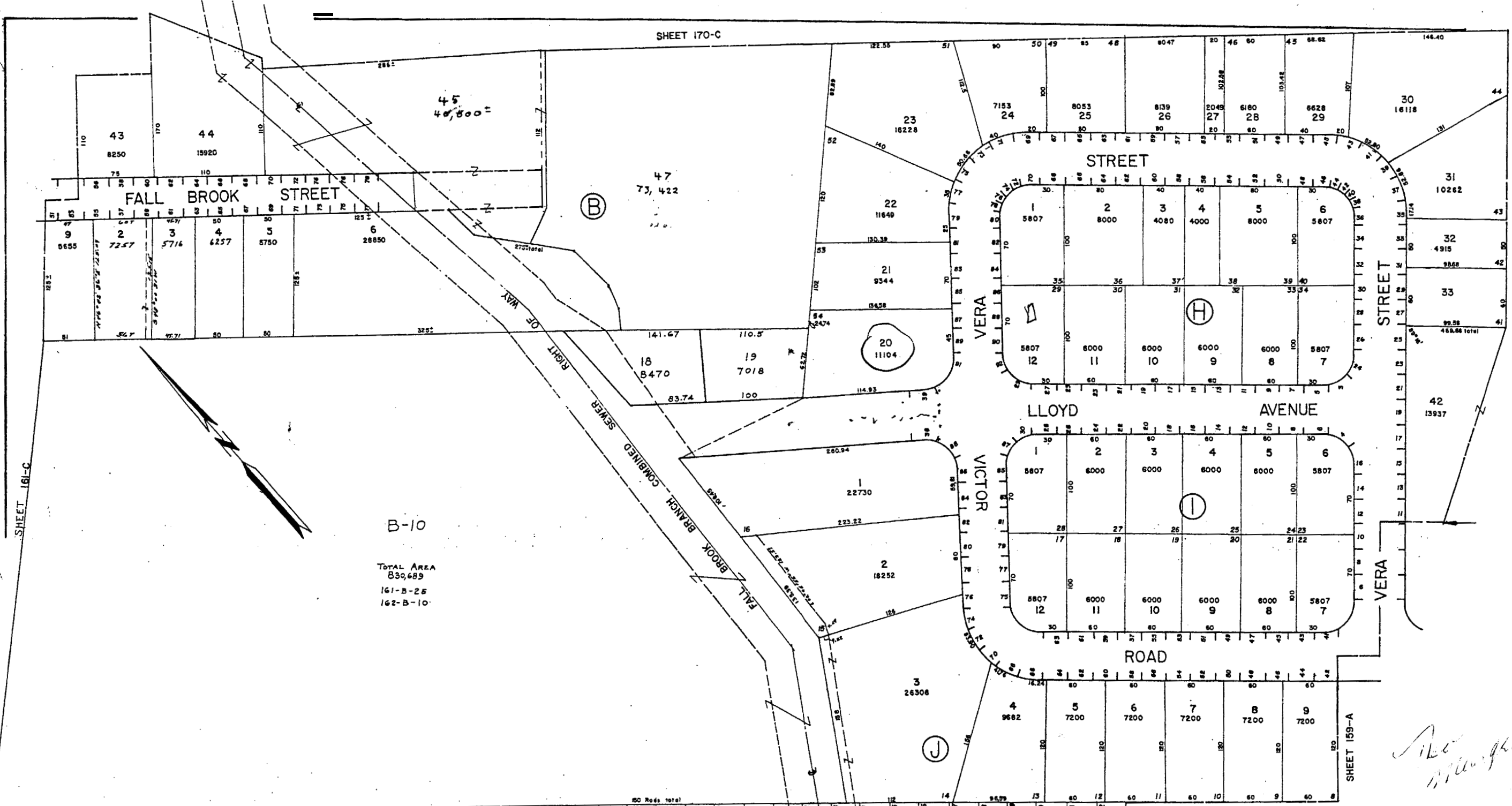
2-3 Side Yard on Street - 20'
Side Yard on Street - 25'
162 B 20

PLAN OF LAND
 ON
 VERA STREET, PORTLAND, MAINE
 MADE FOR
CAROLE ANN NOONAN
 89 VERA STREET, PORTLAND, MAINE

OWEN HASKELL, INC.
 16 CASCO ST., PORTLAND, ME 04101 (207) 774-04
 PROFESSIONAL LAND SURVEYORS

By	EB	Date	JULY 8, 2004	Job N	2004-
Trace By	JLW				
Check By	EB	Scale	1" = 20'	Drwg.	1
Bk No	FILE				





B-10
 TOTAL AREA
 830,689
 161-B-25
 162-B-10

445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	
7000	4000	3000	3000	3000	4000	2000	3000	3000	4500	2000	4000	2500	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	3000	
140	141	139	137	135	134	133	132	131	130	129	128	127	126	125	124	123	122	121	120	119	118	117	116	115	114	113	112	111	110	109	108	107	106	105	104	103	102	101
MURRAY STREET										LEE ST.										MURRAY STREET																		
394	393	392	391	390	389	388	387	386	385	384	383	382	381	380	379	378	377	376	375	374	373	372	371	370	369	368	367	366	365	364	363	362	361	360	359	358	357	356
11225	1022	1028	11303	11304	1015	11320	11326	11331	11337	11343	11261	11357	11362	11368	11375	11379	11384	11390	11396	11401	11407	11412	11418	11423	11429	11434	11439	11445	11451	11456	11462	11468	11474	11480	11486	11492	11498	
40	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	

Handwritten notes:
 New Murray St
 Murray St
 Lee St
 Murray St
 Lee St



CITY OF PORTLAND, MAINE

Department of Building Inspections

8.25 20 04

Received from

Thomas Carpentry & Ser.

Location of Work

89 Vera St.

Cost of Construction \$ _____

Permit Fee \$ 291⁰⁰/₁₀₀

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other Garage

CBL: 162 B 20

Check #: 7411

Total Collected \$ 291⁰⁰/₁₀₀

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy