

**LOCATION PLAN**

N.T.S

**SHEETS INCLUDED IN THIS SET**

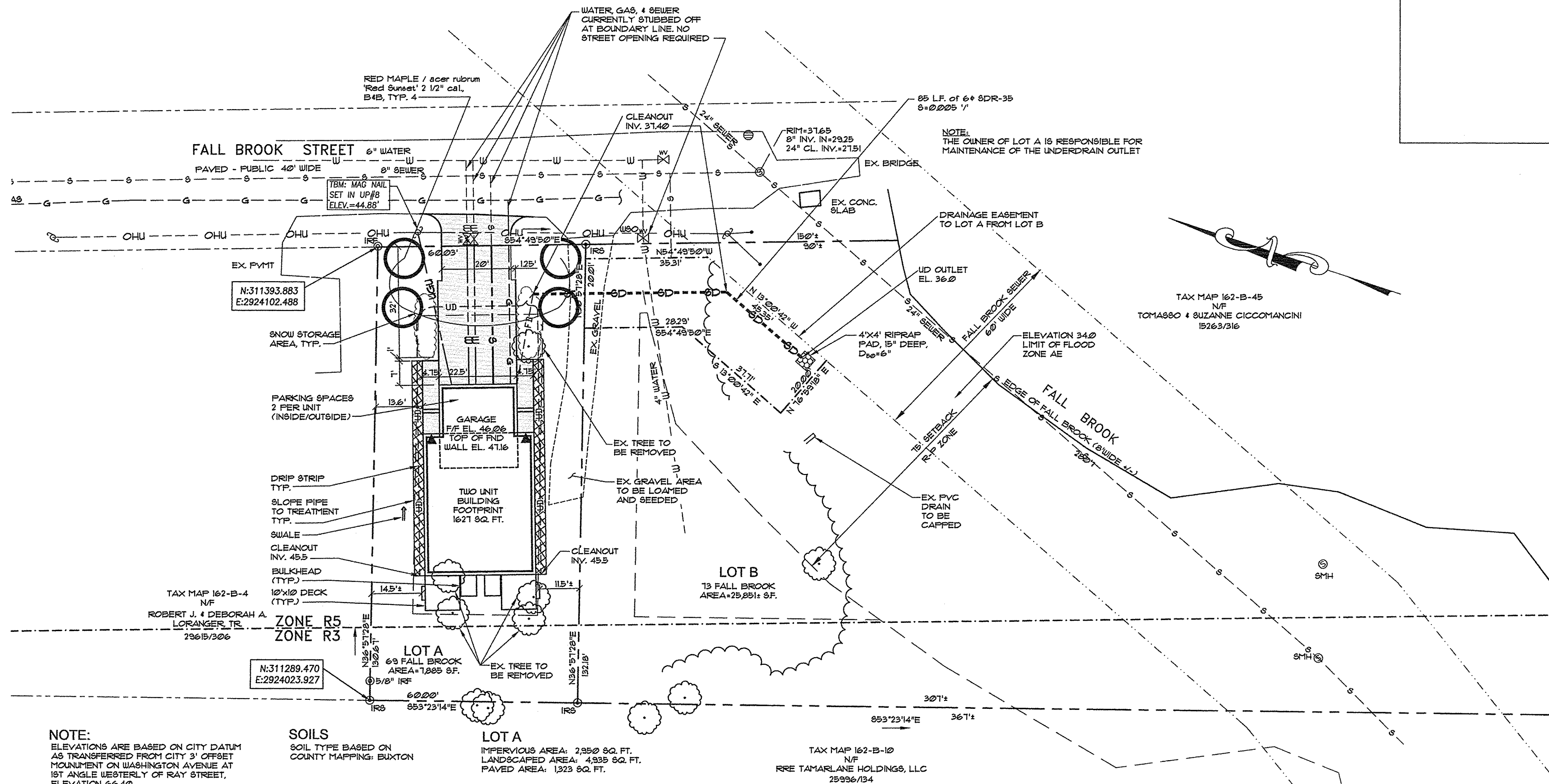
- C11 69 FALL BROOK STREET SITE PLAN
- C12 69 FALL BROOK STREET GRADING & EROSION CONTROL PLAN
- C3.1 DETAILS
- C3.2 DETAILS
- C3.3 DETAILS
- 1 BOUNDARY AND TOPOGRAPHIC SURVEY

**CITY OF PORTLAND SITE PLAN NOTES**

1. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE UNDERGROUND FROM THE EXISTING SERVICE POLE.
4. SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMP'S PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
7. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
8. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE-BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.

**GENERAL NOTES**

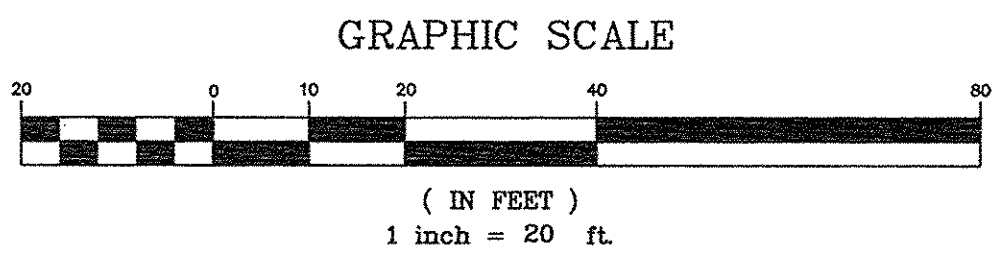
1. OWNER/DEVELOPER: JOCELYNE DERASPE, PO BOX 10587, PORTLAND, ME. 04104, CUMBERLAND COUNTY REGISTRY OF DEEDS BK. 33295, PG. 238, DATE JULY 16, 2016.
2. ENGINEER: PINKHAM & GREER CIVIL ENGINEERS, 28 VANNAH AVENUE, PORTLAND, MAINE, 04103.
3. TOPOGRAPHIC AND BOUNDARY INFORMATION: OWEN HASKELL, INC. 390 US ROUTE ONE, FALMOUTH, MAINE. BENCHMARK: MAGNETIC NAIL IN UTILITY POLE #9 ON FALL BROOK STREET ELEVATION 44.88. BASIS OF BEARING: MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE NAD83. BASED ON CITY MONUMENTS TIT-12-1 AND T124-33-0442.
4. ZONE: R3 & R5 - RESIDENTIAL PROPOSED USE: TWO FAMILY DWELLING
5. TAX MAP REFERENCE: MAP 162 / BLOCK B / LOT 5.
6. TOTAL PARCEL = 7,885 SQ. FT. .18 acres
7. WAIVERS: NONE REQUESTED AT THIS TIME.
8. CALL DIG-SAFE PRIOR TO COMMENCING WORK, 811 OR 1-888-DIG-SAFE.
9. LOT IS SERVICED BY PUBLIC WATER AND SEWER. THESE ARE CURRENTLY STUBBED TO THE BOUNDARY LINE.
10. POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
11. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP'S" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.
12. IRON RODS TO BE SET AT ALL CORNERS OF LOTS.
13. 69 AND 73 FALL BROOK STREET ARE OWNED BY JOCELYNE DERASPE. LOT 69 WILL BE CONSTRUCTED FIRST IN THE SPRING OF 2017. LOT 73 WILL BE CONSTRUCTED IN 2018. THIS PLAN ASSUMES STORMDRAIN SERVICING 69 WILL BE IN PLACE WHEN 73 IS CONSTRUCTED.
14. IN THE EVENT THE CURRENT OWNER SELLS ONE OF THE PROPERTIES, A DEED COVENANT WILL BE INCLUDED NOTING THE STORMWATER SYSTEM MUST BE MAINTAINED IN ACCORDANCE WITH THE PLANS AND ANNUAL REPORTING TO THE CITY IS REQUIRED FOR EACH LOT.



**NOTE:**  
ELEVATIONS ARE BASED ON CITY DATUM AS TRANSFERRED FROM CITY 3' OFFSET MONUMENT ON WASHINGTON AVENUE AT 1ST ANGLE WESTERLY OF RAY STREET, ELEVATION 66.42.

**SOILS**  
SOIL TYPE BASED ON COUNTY MAPPING: BUXTON

**LOT A**  
IMPERVIOUS AREA: 2,250 SQ. FT.  
LANDSCAPED AREA: 4,325 SQ. FT.  
PAVED AREA: 1,323 SQ. FT.



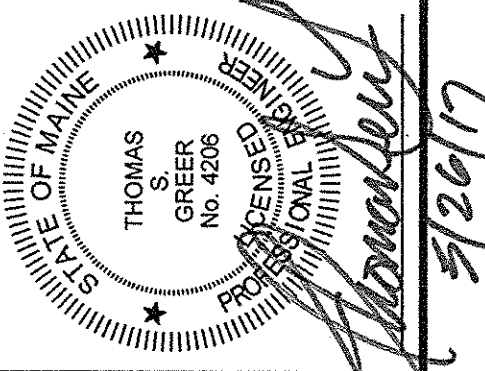
**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	BUILDING SETBACK
---	---	ADJUTERS PROPERTY EASEMENT
---	---	EDGE OF PAVEMENT
---	---	BUILDING CONTOURS
---	---	EDGE OF GRAVEL ZONING DISTRICT
---	---	WATERCOURSE
---	---	FLOODPLAIN
---	---	SHORELAND ZONE
---	---	GAS LINE
---	---	SANITARY SEWER
---	---	OVERHEAD UTILITY
---	---	WATER LINE
---	---	GATE VALVE
---	---	CATCH BASIN
---	---	SEWER MANHOLE
---	---	UTILITY POLE
---	---	UTILITY POLE W/ GUY WIRE
---	---	TREE
---	---	TREELINE
---	---	IRON PIPE / ROD FOUND

**ZONE INFORMATION**

	R-5 REQUIRED	R-5 VACANT LOT REQUIRED	R-3 REQUIRED	PROVIDED
EXISTING ZONE: R-3 & R-5 RESIDENTIAL ZONE PROPOSED USE: TWO FAMILY DWELLING				
SPACE STANDARDS				
MINIMUM LOT SIZE	6,000 SF.	5,000 SF.	6,500 SF.	7,885 SF.
MINIMUM LOT AREA PER DWELLING UNIT	3,000 SF.	-	6,500 SF.	3,942.5 FEET
MINIMUM STREET FRONTAGE	50 FEET	40 FEET	50 FEET	60.03 FEET
MINIMUM FRONT YARD	20 FEET	-	25 FEET	30 FEET
MINIMUM REAR YARD	20 FEET	-	25 FEET	46.41 FEET
MINIMUM SIDE YARD	1-1 1/2 STORY 8 FEET	7 FEET	1-1 1/2 STORY 8 FEET	14.20 FEET
	2 STORY 12 FEET	-	2 STORY 14 FEET	13.78 FEET
MAXIMUM LOT COVERAGE	40%	50%	35%	32%
MINIMUM LOT WIDTH	60 FEET	40 FEET	65 FEET	60.03 SF.
MAXIMUM STRUCTURE HEIGHT	35 FEET	-	35 FEET	26 FEET
MAXIMUM LOT SIZE	-	13,000 SF.	-	7,885 SF.

**PINKHAM & GREER CIVIL ENGINEERS**  
28 VANNAH AVE. PORTLAND, ME. 04103  
TEL: 207.781.3242 FAX: 207.781.4245



REV.	DATE	DESCRIPTION
6	5/26/17	REV'D DECK STAIRS
5	5/25/17	ADDED DECK STAIRS
4	5/10/17	REV'D PER CITY COMMENTS
3	5/8/17	CITY COMMENTS RESPONSE
2	5/1/17	REV'D BUILDING SETBACK'S ELEVATION
1	4/8/17	REV'D FOR LEVEL 1 MINOR RESIDENTIAL APPLICATION

JOCELYNE DERASPE  
PO BOX 10587  
PORTLAND, ME. 04104

69 FALL BROOK STREET  
PORTLAND, ME 04103

**C1.1**

MAPLOT 162/B5