

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$ 79,000.00 Plan Review # 08

Fee: \$ 498.00 Date: 9 June 2000

Building Location: 181 Murray St. CBL: 161-B-009

Building Description: Single Family dwelling

Reviewed By: S. Noffsers

Use or Occupancy: _____ Type of Construction: _____

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0
2.	Foundation drainage shall comply with section 1813.5.2.	1813.5.2
3.	Foundation anchors shall comply with section 2305.17	2305.17
4.	Water proofing and damp proofing shall comply with section 1813.0	1813.0
5.	All Chimneys and vents shall comply with sections 1204.0 of The BOCA Mech. 93 & section 1206.0 and NFPA 211.	NFPA 211 BOCA Mech 93 1206-1204
6.	Flashing shall comply with 1508.0	1508.0
7.	All glass and glazing shall comply with Chapter 24 - Safety glazing 2406.0	2406.0
8.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
9.	Stairway construction shall comply with section 1014.0	1014.0
10.	Handrails shall comply with section 1021.0	1021.0
11.	Guardrails shall comply with section 1022.0	1022.0
12.	Smoke detectors shall comply with section 9203.2	9203.2
13.	Bridging shall comply with section 2305.16	2305.16

REV: FSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

- ~~NA~~ Design
- ~~NA~~ Installation

Footings (1807.0)

- ~~X~~ Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- ~~NA~~ Insulated footing provided
- ~~X~~ Soil bearing value (table 1804.3)
- ~~X~~ Footing width
- ~~X~~ Concrete footing (1810.0) .3.1, 3.2
- _____
- _____
- _____
- _____
- _____

Foundation Walls

- ~~X~~ Design (1812.1)
- ~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- ~~SA~~ Water proofing and damp proofing Section 1813
- ~~X~~ Sill plate (2305.17)
- ~~SR~~ Anchorage bolting in concrete (2305.17)
- ~~X~~ Columns (1912)
- ~~NA~~ Crawl space (1210.2) Ventilation
- ~~NA~~ Crawl opening size (1210.2.1)
- ~~SR~~ Access to crawl and attic space (1211.0)
- _____

Floors (Chapter 16-23)

- ~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
- ~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
- ~~X~~ Grade
- ~~X~~ Spacing
- ~~X~~ Span
- ~~X~~ Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SR~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~SR~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1404)
- ~~X~~ Materials (1405)
- ~~NA~~ Veneers (1406)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- X Roof rafters - Design (2305.15) spans
- X Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- NA Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- X Approved materials (1404.1)
- X Performance requirement (1505)
- X Fire classification (1506)
- X Material and installation requirements (1507)
- X Roof structures (1510.0)
- X Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- SA Masonry (1206.0)
- NA Factory - built (1205.0)
- NA Masonry fireplaces (1404)
- NA Factory - built fireplace (1403)
- SA NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Chimneys 1206.0
Vents 1204.0

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>40 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SA Labeling (2402.1)
- _____ Louvered window or jalousies (2402.5)
- _____ Human impact loads (2405.0)
- _____ Specific hazardous locations (2405.2)
- ✓ Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

- NA General (407)
- _____ Beneath rooms (407.3)
- _____ Attached to rooms (407.4)
- _____ Door sills (407.5)
- _____ Means of egress (407.8)
- ✓ Floor surface (407.9)

Egress (Chapter 10)

- K One exit from dwelling unit (1010.2)
 - SA Sleeping room window (1010.4)
 - NA EXIT DOOR (1017.3) 32" W 80" H
 - X Landings (1014.3.2) stairway
 - NA Ramp slope (1016.0)
 - SA Stairways (1014.3) 36" W
 - SA Treads (1014.6) 10" min.
 - SA Riser (1014.6) 7 3/4" max.
 - SA Solid riser (1014.6.1)
 - NR Winders (1014.6.3)
 - NR Spiral and Circular (1014.6.4)
 - SA Handrails (1022.2.2.) Ht.
 - SA Handrail grip size (1022.2.4) 1 1/4" to 2"
 - SA Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- SA Location and interconnection
- SA Power source

Dwelling Unit Separation

Table 602

 NA

Electrical

NFPA # 70

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000103
I. D. Number

Deron Barton
Applicant
45 Austin Street, Portland, ME 04103
Applicant's Mailing Address
Custom Built Homes
Consultant/Agent
846-9740
Applicant or Agent Daytime Telephone, Fax

6/8/00
Application Date
Murray Street
Project Name/Description

181 Murray St, Portland Maine 04103
Address of Proposed Site
161-B-008, 9, 10
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **no garage, no rear deck**
1,664 **9,135** **R-3 zone**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan **\$200.00** Subdivision _____ Engineer Review **\$100.00** Date: **6/8/00**

DRC Approval Status:

Reviewer **Steve Bushey**

Approved Approved w/Conditions see attached Denied

Approval Date **7/26/00** Approval Expiration **7/26/01** Extension to _____ Additional Sheets Attached

Condition Compliance **Steve Bushey** **7/26/00**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released			

inspector

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000103
I. D. Number

Deron Barton

6/8/00

Applicant

Application Date

45 Austin Street, Portland, ME 04103

Murray Street

Applicant's Mailing Address

Project Name/Description

Custom Built Homes

181 Murray St, Portland Maine 04103

Consultant/Agent

Address of Proposed Site

846-9740

161-B-008, 9, 10

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to site plan review conditions of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 181 Murray Street

, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days

prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

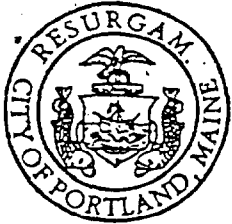
A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall submit a more detailed site plan showing the footprint of the structure.

Planning Conditions of Approval

Inspections Conditions of Approval



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner

FROM: James Seymour, Acting Development Review Coordinator

DATE: April 5, 1995

SUBJECT: Disclaimer Statement of Existing Poorly Drained Areas

It is the responsibility of the lot owner/homebuilder to assess drainage and provide for appropriate stormwater management design and engineering in an area which has evidence of poor hydrologic soil conditions, and/or a history of poor drainage, ponding, or soils saturation due to topography, fluctuation of seasonal ground water tables creating surface flooding, or as a result from rainfall events or snow/ice melts. The City of Portland is not responsible for resolving the drainage of land areas which could be described in any one of the above conditions.

The city of Portland Development Review Coordinator reviews lot grading for all single family homes to assure that field elevations will conform to the grades which exist at the abutting property line or to the grades which have been previously approved at the abutting property lines. The construction standards require that final foundation elevations be provided on site plans which are a minimum of 2 1/2 feet higher than street grades established at the frontage of the lot and provide positive drainage away from the entire foundation perimeter, including garage, and all basement accesses (ie. bulkheads, doorways and windows). As long as these standards are strictly enforced, most water problems on single family lots will be avoided. However, in locations with clear evidence of hydric soils, the following note shall be placed on all approved site plans:

"The City of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an areas that is subject to seasonal conditions of saturation by surface or groundwater. Approval of this plan does not constitute a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adequately constructed and graded for localized drainage conditions."

CITY OF PORTLAND, MAINE
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 181 MURRAY ST, PORTLAND, ME 04103			
Total Square Footage of Proposed Structure 1664		Square Footage of Lot 9135	
Tax Assessor's Chart, Block & Lot Number Chart# 161 Block# B Lot# 9&10		Owner: Wilbur Cheever DERON BARTON	Telephone# (207) 846-9740
Lessee/Buyer's Name (If Applicable) Wilbur Cheever DERON BARTON		Owner's/Purchaser/Lessee Address: 45 AUSTIN ST PORTLAND, ME 04103	Cost Of Work: \$79,000 Fee: 498 - \$798 Site
Proposed Project Description: (Please be as specific as possible) 2 story, 3 BR, 1.75 Bath, Cape style single family home			
Contractor's Name, Address & Telephone Custom Built Homes / RENAISSANCE Village Homes			Rec'd By:

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with your application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and footings, as well as, sheds, pools, garages and any other accessory structures. ✓
- Scale and North arrow; Zoning District & Setbacks ✓
- First Floor sill elevation (based on mean sea level datum): 0
- Location and dimensions of parking areas and driveways; 0
- Location and size of both existing utilities in the street and the proposed utilities serving the building: 0
- Location of areas on the site that will be used to dispose of surface water: 0
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

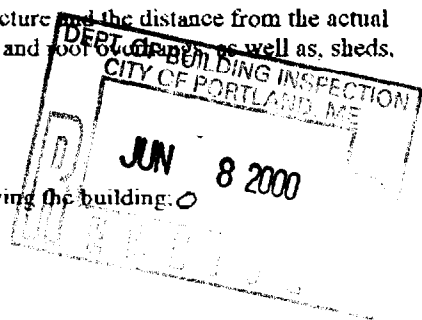
- Cross Sections w/ Framing details (including porches, decks w/ railings, and accessory structures) ✓
- Floor Plans & Elevations ✓
- Window and door schedules ✓
- Foundation plans with required drainage and dampproofing ✓
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included. 0

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the code applicable to this permit.

Signature of applicant:	Date: 6/7/00
-------------------------	--------------

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000 cost plus \$6.00 per \$1,000.00 construction cost thereafter.



Applicant: Deron Barton
Address: 101 Murray St

Date: 6/15/00
C-B-I: 161-B-008-9:10

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - Construct New Single Family house - NO GARAGE
NO DECK IN REAR
24x32

Sewage Disposal - City

Lot Street Frontage - 50' req - 90' shown

Front Yard - 25' req - 29' shown

Rear Yard - 25' req - 30' shown

Side Yard - 16' req - 17' & 41' shown
2 1/2 stories
6x20'

Projections - front porch & stairs - rear bulkhead - pt side platform & stairs

Width of Lot - 75' min - 90' shown

Height - 35' MAX - 26.5' scaled - 2 1/2 stories shown

Lot Area - 6,500^{sq} ft req - 9,135^{sq} ft shown

Lot Coverage/Impervious Surface - 25% - 0.2203, 75^{sq} ft

Area per Family - 6,500^{sq} ft -

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor

#2000103
Shoreland Zoning/Stream Protection - N/A

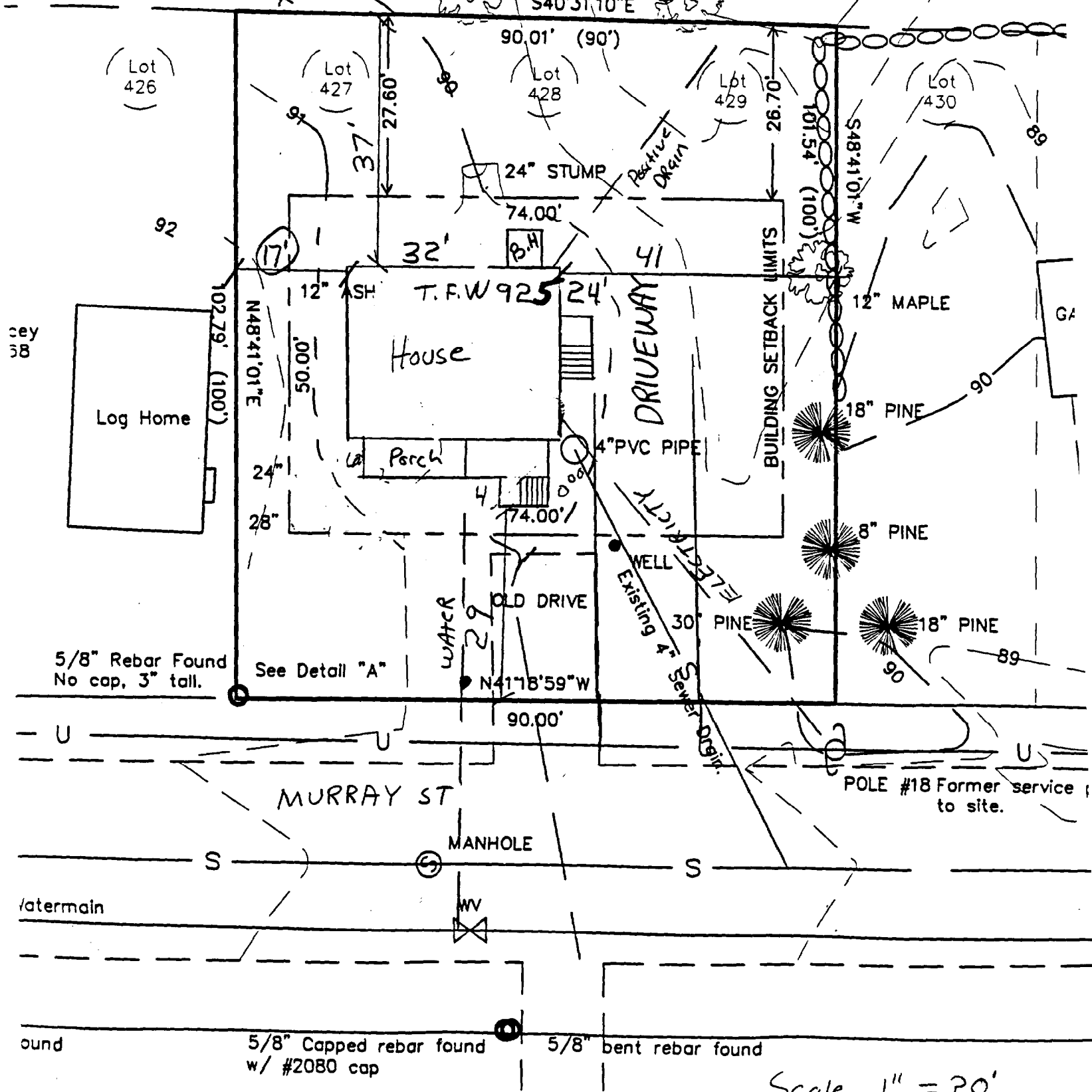
Flood Plains - ~~N/A~~ panel 7 zone X

Street?

24' x 32' = 768^{sq} ft
6' x 20' = 120^{sq} ft
OK 936^{sq} ft
















held)



Scale 1" = 20'

- R-3 Residential Zone
 Setback Requirements
- a. Front yard - 25'
 - b. Rear yard - 25'
 - c. Side yard
 1 1/2 story structure - 8'
 - d. Side yard on Side street - 20'

LEGEND

-  Iron Pipe or Solid Pin Found
-  Capped 5/8" Steel Rod to be set.
-  Survey Instrument Point
-  Abutter Line
-  Property Line
-  Street Line
-  Direction of Bearing
- (50.00') Distance from reference plan or deed.
- N/F* Now Or Formally
-  Sewer Line
-  Overhead Utility
-  Utility Pole
-  Sewer Manhole
-  Edge of traveled way
-  Water Valve/Gate

PLAN REFERENCES:

1. Plan of FOREST-
 Dated July 1923 and
 the Cumberland Co
2. Plan of "Portland
 and recorded in the














GENERAL NOTES:

1. Locus parcel is
 Block B, Lots 8,9
2. The Right-of-Way
 Plan References, Ci
 and monumentation
3. This survey does
 a. Easements other
 in the reference
4. This plan is inv
 the certifying Profe
5. Total area of loc
6. All documents
 There may exist o
 the results of this
7. All designs sho
 the City of Portlan
 permit and all oth
 All underground u
8. All Plans and d
9. Locus Parcel O

1" iron pipe found,
 1' tall, leaning significantly

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 There may exist o
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7. All designs sho
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 All underground u
8. All Plans and c
9. Locus Parcel O

1" iron pipe found,
 1' tall leaning significantly

Quitclaim Deed Without Covenant
(Maine Statutory Short Form)

KNOW ALL MEN BY THESE PRESENTS THAT Gerald A. Sneider of 34 HALE ST ^{Portland} County of Cumberland, State of MAINE for consideration paid, grant, RELEASE to Deron W. Barton of 10 Picnic Hill Road, Freeport, County of Cumberland and State of Maine and Wilbur D. Cheever of 45 Austin Street, Portland, County of Cumberland and State of Maine the land in Portland, Cumberland County, Maine described as follows:

A certain lot or parcel of land with any buildings thereon, situated on Murray Street in Portland, County of Cumberland and State of Maine. Being lot numbered four hundred twenty-seven (427) according to a plan of lots at Forest Hills, said plan being made by E.N. Sheffield, Civil Engineer, dated April, 1923, revised July, 1923, also revised September, 1923 and recorded in the Cumberland County Registry of Deeds in Plan Book 15, Page 41.

Meaning and intending to release any interest the Grantor may have in the above described property by virtue of City of Portland tax foreclosure. Reference is made to instrument recorded in the Cumberland County Registry of Deeds in Book 11474, Page 54.

IN WITNESS WHEREOF, I have hereunto set my hand this 6 day of Dec.

[Signature]
Witness

Gerald A. Sneider
Gerald A. Sneider

STATE OF Maine
COUNTY OF Cumberland

On this 6 day of Dec, 1999, personally appeared before me the above-named, Gerald A. Sneider and acknowledged the foregoing to be their free act and deed.

[Signature]
Notary Public/Attorney at Law
Chamberlain & McLaughlin
My Commission Expires:


Warranty Deed

KNOW ALL MEN BY THESE PRESENTS THAT Daniel C. Christie of 93 Glecker Road, Portland, County of Cumberland, State of Maine for consideration paid, grant, to Deron W. Barton of 10 Picnic Hill Road, Freeport, County of Cumberland and State of Maine and Wilbur D. Cheever of 45 Austin Street, Portland, County of Cumberland and State of Maine, with WARRANTY COVENANTS, the land in Portland, Cumberland County, Maine described as follows:

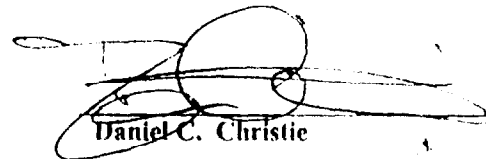
A certain lot or parcel of land with any buildings thereon, situated on Murray Street in Portland, County of Cumberland and State of Maine, Being lot numbered four hundred twenty-seven (427) according to a plan of lots at Forest Hills, said plan being made by E.N. Sheffield, Civil Engineer, dated April, 1923, revised July, 1923, also revised September, 1923 and recorded in the Cumberland County Registry of Deeds in Plan Book 15, Page 41.

Meaning and intending to convey part of premises described in deed from City of Portland to the Grantor herein dated December 22, 1998 and recorded in the Cumberland County Registry of Deeds in Book 14455, Page 270.

IN WITNESS WHEREOF, I have hereunto set my hand this 9th day of December, 1999



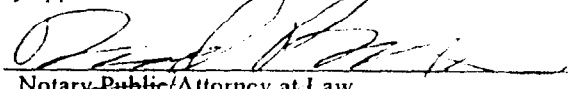
Witness



Daniel C. Christie

STATE OF Maine
COUNTY OF Cumberland

On this 9th day of December, 1999, personally appeared before me the above-named, Daniel C. Christie and acknowledged the foregoing to be their free act and deed.



Notary Public/Attorney at Law
David P. Wool

My Commission Expires:

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$ 79,000.00 Plan Review # 08

Fee: \$ 498.00 Date: 9 June 2000

Building Location: 181 Murray St. CBL: 161-B-009

Building Description: Single Family dwelling

Reviewed By: S. Noffses

Use or Occupancy: _____ Type of Construction: _____

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0
2.	Foundation drainage shall comply with section 1813.5.2.	1813.5.2
3.	Foundation anchors shall comply with section 2305.17	2305.17
4.	Water proofing and dam proofing shall comply with section 1813.0	1813.0
5.	All chimneys and vents shall comply with sections 1206.0 of the BOCA Mech. 93 & section 1206.0 and NFPA 211.	NFPA 211 BOCA Mech 93 1206-1204
6.	Flashing shall comply with 1508.0	1508.0
7.	All glass and glazing shall comply with Chapter 24 - Safety 2406.0	2406.0
8.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
9.	Stairway construction shall comply with section 1014.0	1014.0
10.	Handrails shall comply with section 1021.0	1021.0
11.	Guardrails shall comply with section 1022.0	1022.0
12.	Smoke detectors shall comply with section 920.3.2	920.3.2
13.	Bridging shall comply with section 2305.16	2305.16

REV: PSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

- NA Design
- NA Installation

Footings (1807.0)

- NA Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- NA Insulated footing provided
- X Soil bearing value (table 1804.3)
- X Footing width
- X Concrete footing (1810.0) .3.1, 3.2
- _____
- _____
- _____
- _____
- _____

Foundation Walls

- X Design (1812.1)
- X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- SA Water proofing and damp proofing Section 1813
- X Sill plate (2305.17)
- SR Anchorage bolting in concrete (2305.17)
- X Columns (1912)
- NA Crawl space (1210.2) Ventilation
- NA Crawl opening size (1210.2.1)
- SR Access to crawl and attic space (1211.0)
- _____

Floors (Chapter 16-23)

- X Joists - Non sleeping area LL40PSF (Table - 1606)
- X Joists - Sleeping area LL30PSF (Table - 1606)
- X Grade
- X Spacing
- X Span
- X Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SR~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~SR~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1404)
- ~~X~~ Materials (1405)
- ~~NA~~ Veneers (1406)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- X Roof rafters - Design (2305.15) spans
- X Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- NA Roof trusses (2313.3.1)
- _____
- _____
- _____
- _____
- _____

Roof Coverings (Chapter 15)

- X Approved materials (1404.1)
- X Performance requirement (1505)
- X Fire classification (1506)
- X Material and installation requirements (1507)
- X Roof structures (1510.0)
- X Type of covering (1507)

**Chimneys and Fireplaces
BOCA Mechanical/1993**

- SA Masonry (1206.0)
- NA Factory - built (1205.0)
- NA Masonry fireplaces (1404)
- NA Factory - built fireplace (1403)
- SA NFPA 211

**Mechanical
1993 BOCA Mechanical Code**

Chimneys 12φ6.0
Vents 12φ4.0

- _____
- _____
- _____
- _____
- _____
- _____

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>40 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SR Labeling (2402.1)
- Louvered window or jalousies (2402.5)
- Human impact loads (2405.0)
- Specific hazardous locations (2405.2)
- Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

- NG General (407)
- Beneath rooms (407.3)
- Attached to rooms (407.4)
- Door sills (407.5)
- Means of egress (407.8)
- Floor surface (407.9)

Egress (Chapter 10)

- X One exit from dwelling unit (1010.2)
- SA Sleeping room window (1010.4)
- NA EXIT DOOR (1017.3) 32" W 80" H
- X Landings (1014.3.2) stairway
- NA Ramp slope (1016.0)
- SA Stairways (1014.3) 36" W
- SA Treads (1014.6) 10" min.
- SA Riser (1014.6) 7 3/4" max.
- SA Solid riser (1014.6.1)
- NA Winders (1014.6.3)
- NA Spiral and Circular (1014.6.4)
- SA Handrails (1022.2.2.) Ht.
- SA Handrail grip size (1022.2.4) 1 1/4" to 2"
- SA Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- SA Location and interconnection
- SA Power source

Dwelling Unit Separation

Table 602

NA

Electrical

NFPA # 70