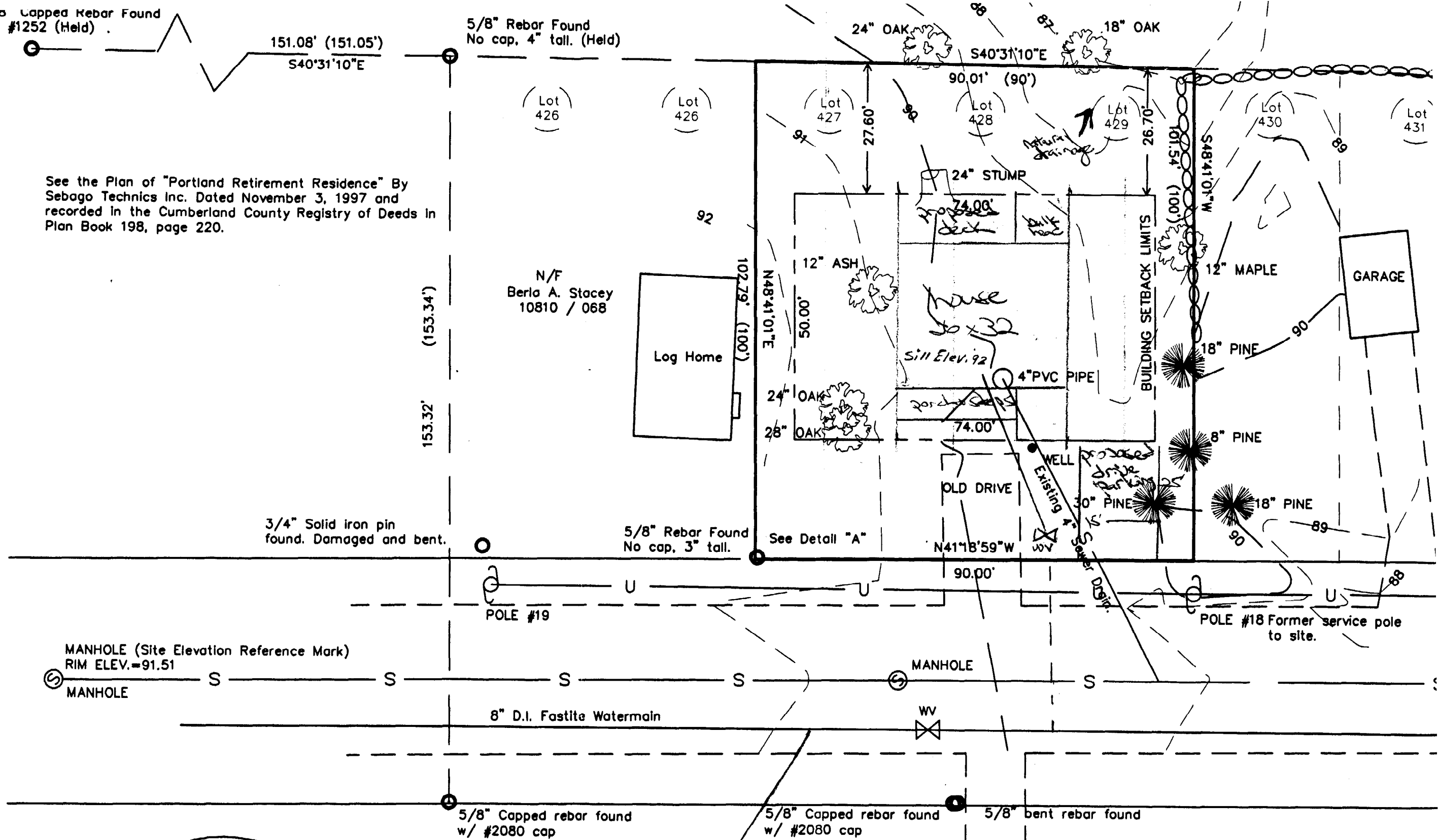


5/8" Capped Rebar Found
W/ #1252 (Held)

5/8" Rebar Found
No cap, 4" tall. (Held)

See the Plan of "Portland Retirement Residence" By
Sebago Technics Inc. Dated November 3, 1997 and
recorded in the Cumberland County Registry of Deeds in
Plan Book 198, page 220.



MANHOLE (Site Elevation Reference Mark)
RIM ELEV.=91.51
MANHOLE

POLE #19

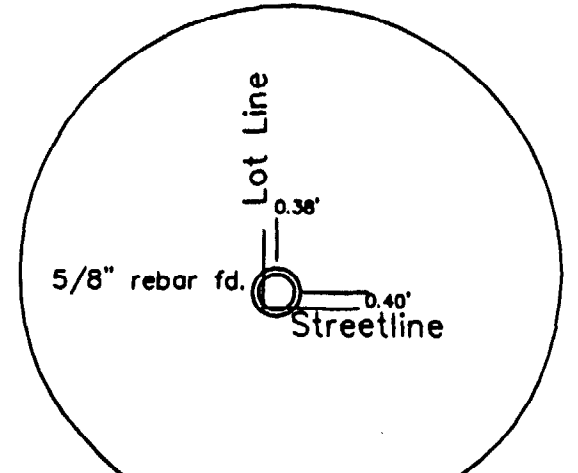
POLE #18 Former service pole
to site.

8" D.I. Fastite Watermain

5/8" Capped rebar found
w/ #2080 cap

5/8" Capped rebar found
w/ #2080 cap

5/8" bent rebar found



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

Surveyor's Statement:
I hereby state to Renaissance
this survey conforms to the
Surveyor's Standards for Cat
a. No written description.
b. No written report.
c. No new property corners s

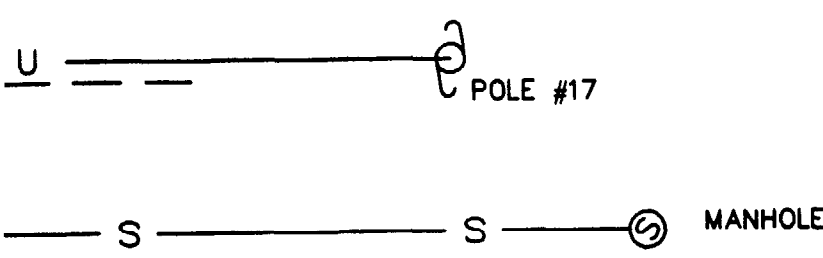
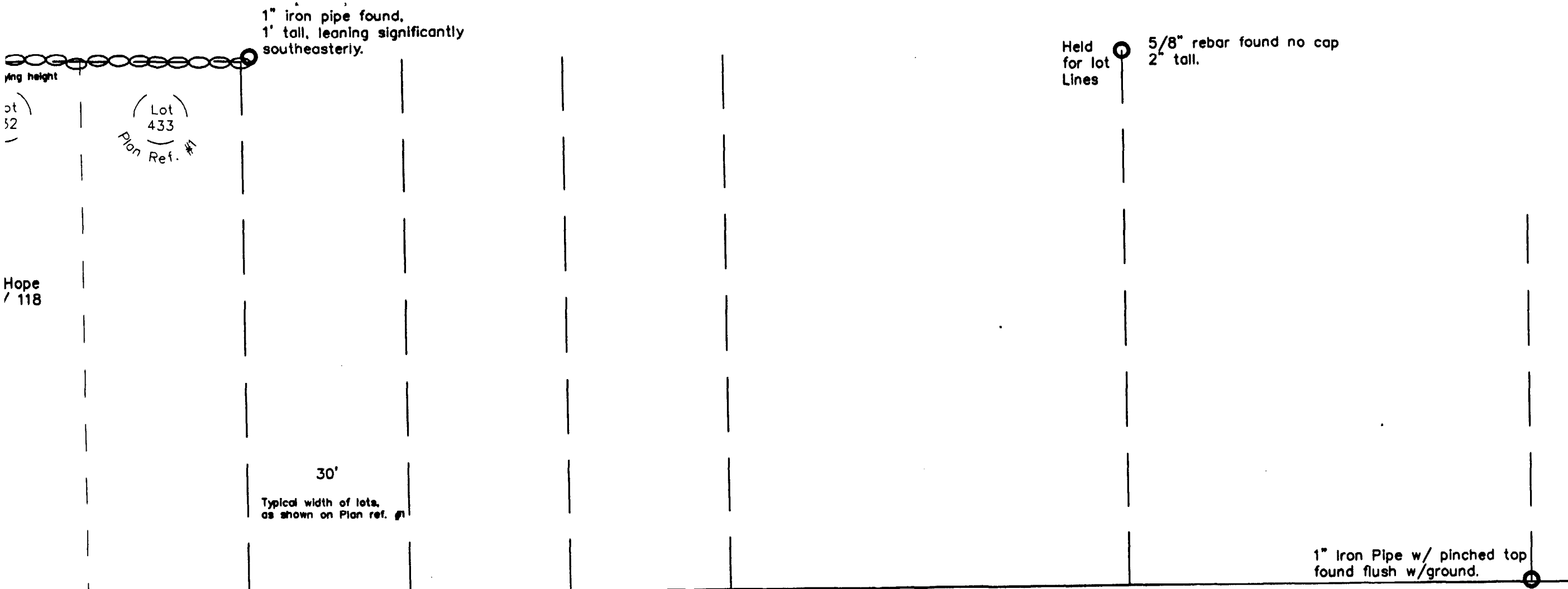
[Handwritten Signature]



water Valve/Gate

8. All Plans and deeds mentioned refer to the Cumberland County Registry of Deeds.

9. Locus Parcel Owner: Daniel C. Christie Deed Book 10469, page 112 and Deed book 14455, page 270.



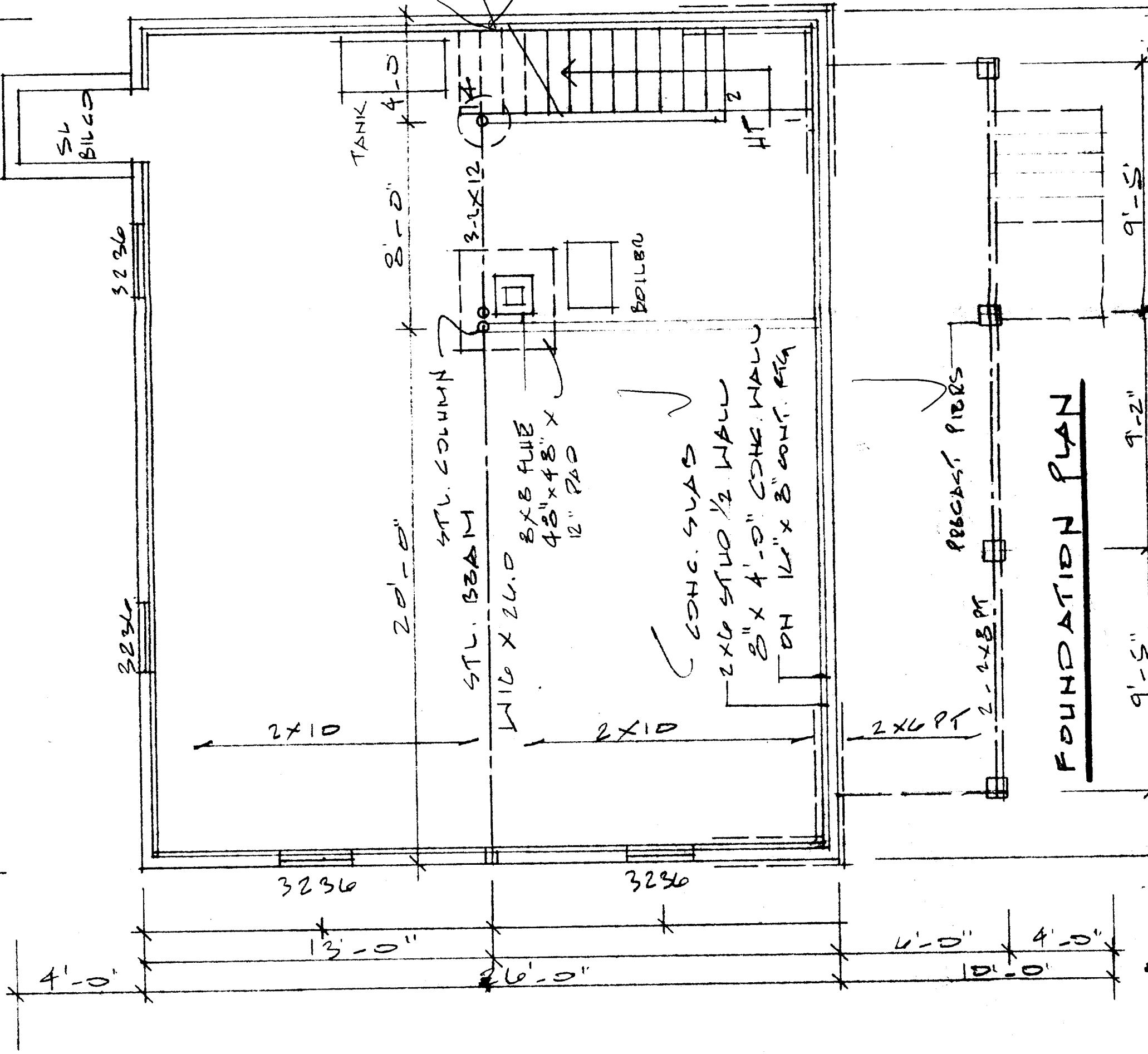
MURRAY STREET TO OCEAN AVE. →

REV.	DESCRIPTION	BY	DATE
			Date of Survey: Oct.16, 1999
Standard Boundary / Site Plan For : Renaissance Village Homes 45 AUSTIN STREET PORTLAND MAINE, 04103			

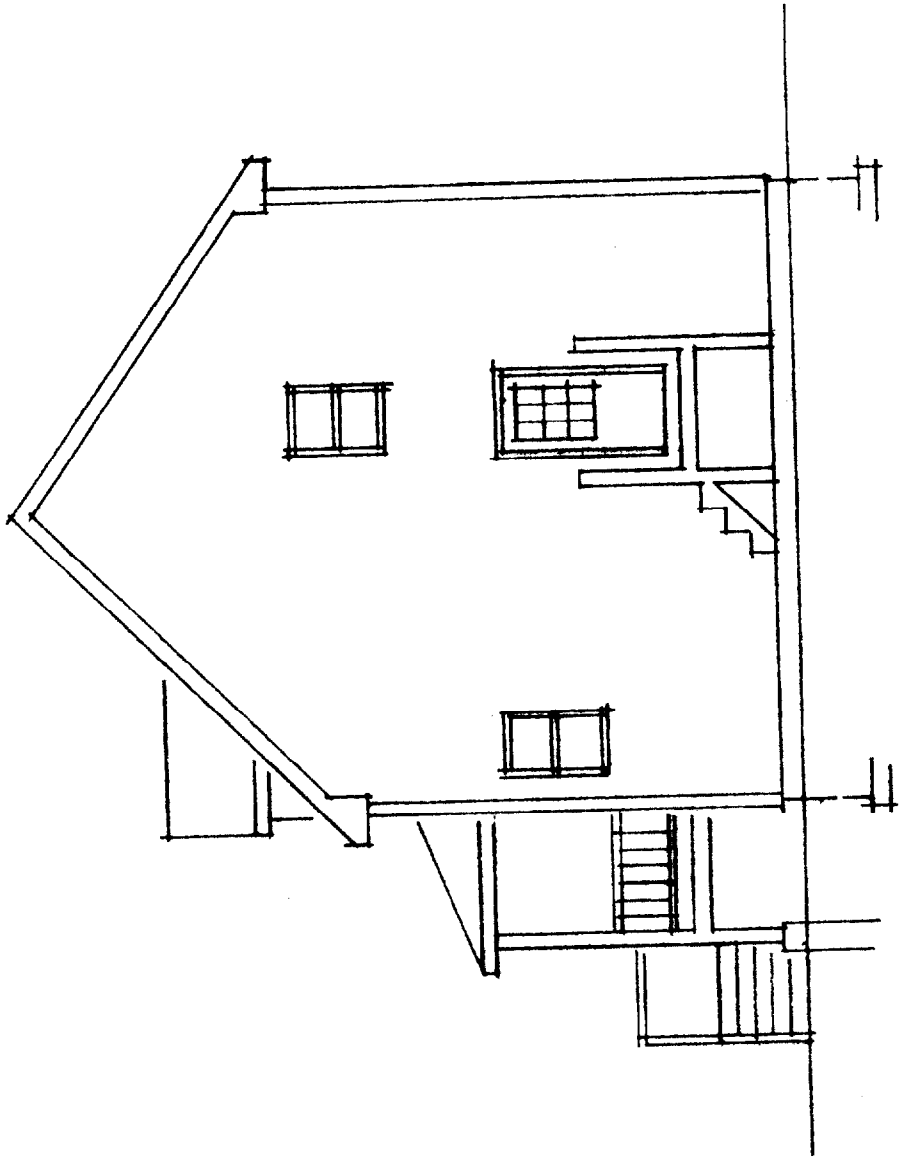
names, exclusively, that of Licensure for Professional Land Division II surveys. With exceptions of:



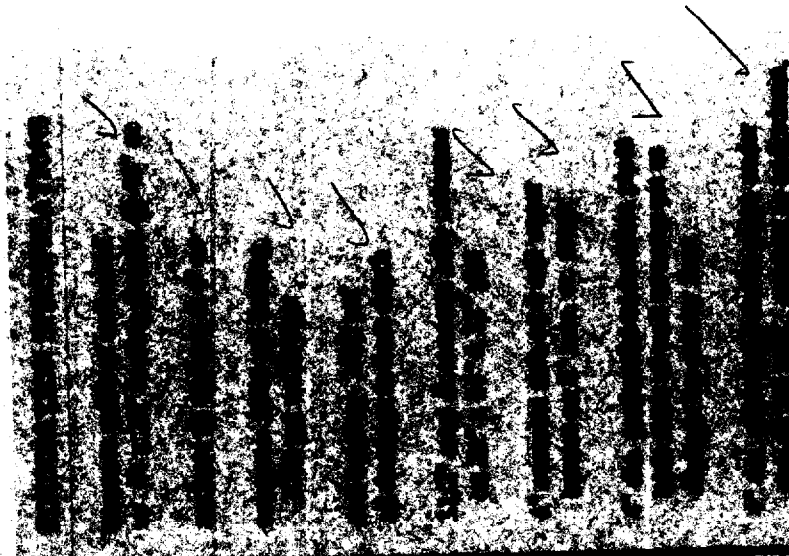
See 1014.0
STAIR (cont.)



FOUNDATION PLAN



RIGHT ELEVATION



CUSTOM BUILT HOMES OF MAINE, INC.
 27 MAIN STREET, WINDHAM, ME 207-892-3149

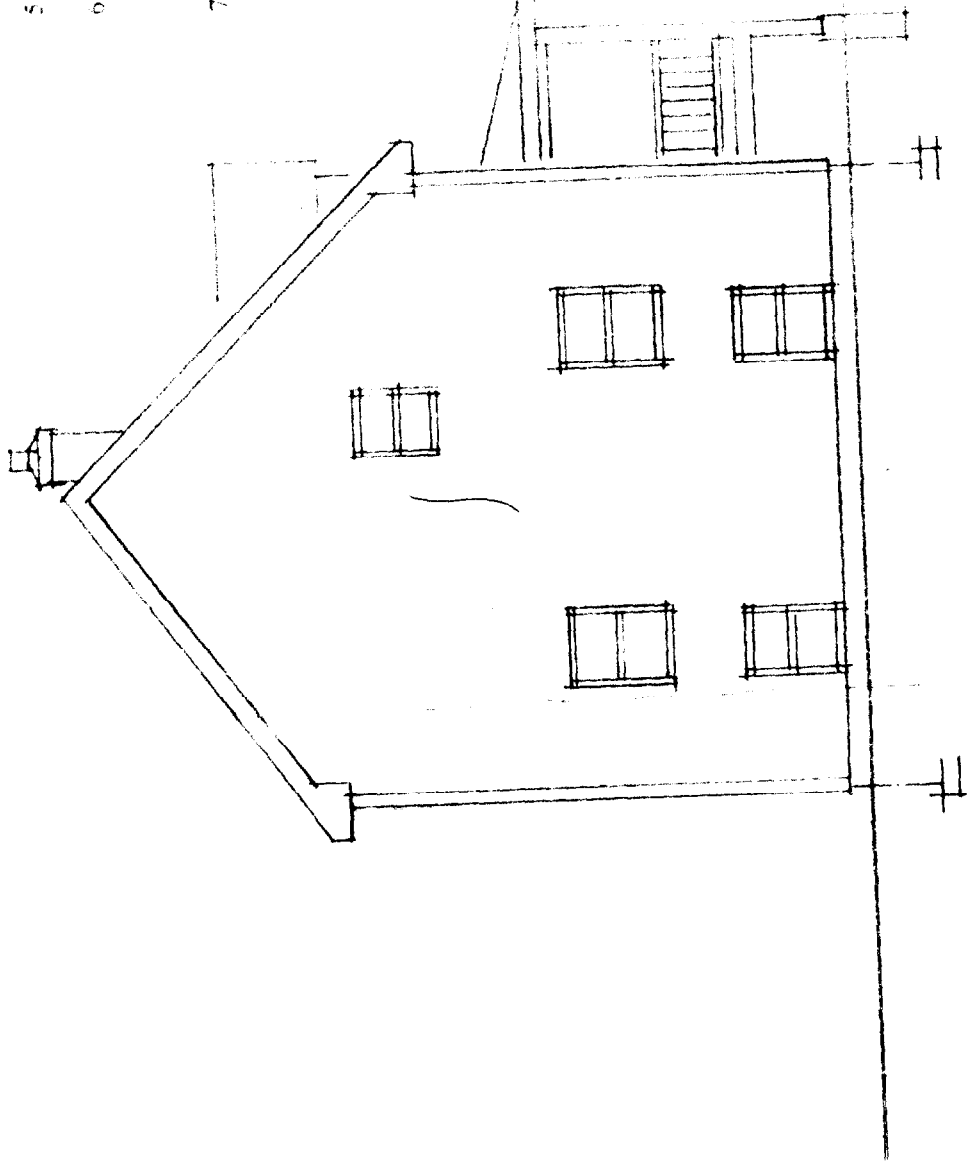
PLANNING / DESIGN ASSOCIATES
 RESIDENTIAL DESIGNERS
 P.O. BOX 181 Windham, ME
 5 Furber Road, Windham, ME

REVISIONS	BY

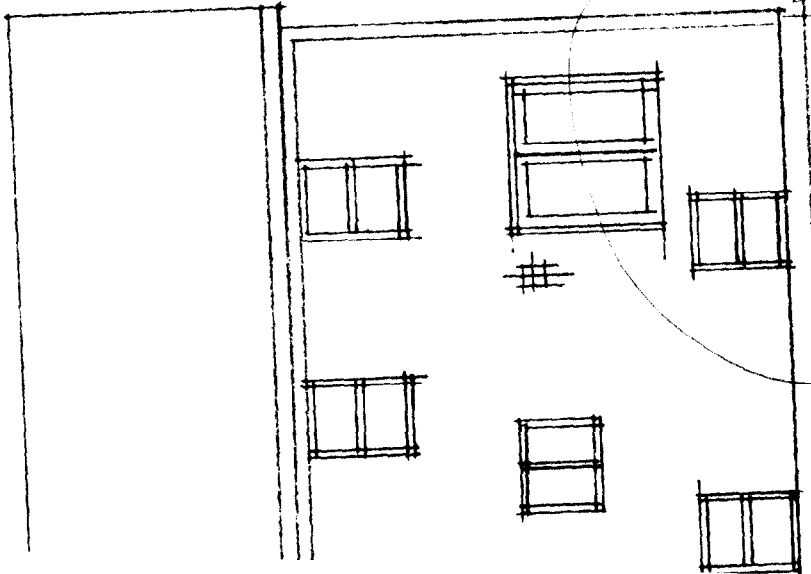
GENERAL NOTES

- Plans are designed to comply with the 1991 BOCA code. Compliance with up-dated codes and local ordinances shall be the responsibility of the general contractor.
- Unless the plans are certified by a professional engineer, structural framing member sizes shall be the responsibility of the general contractor.
- All site and utility design shall be by others.
- Millwork/cabinet layouts shall be by others. Adjacent walls are to comply with cabinet layout.
- General contractor shall verify all dimensions before proceeding with construction.
- All manufactured structural lumber and trusses shall be installed in accordance with manufacturer's instructions. Openings in members shall not exceed 1/4 dia. at center point.
- All chimney/fireplace construction shall conform to NFPA ch 211 standards.

NOTE BOCA National 1999 New Code. Applied



LEFT ELEVATION

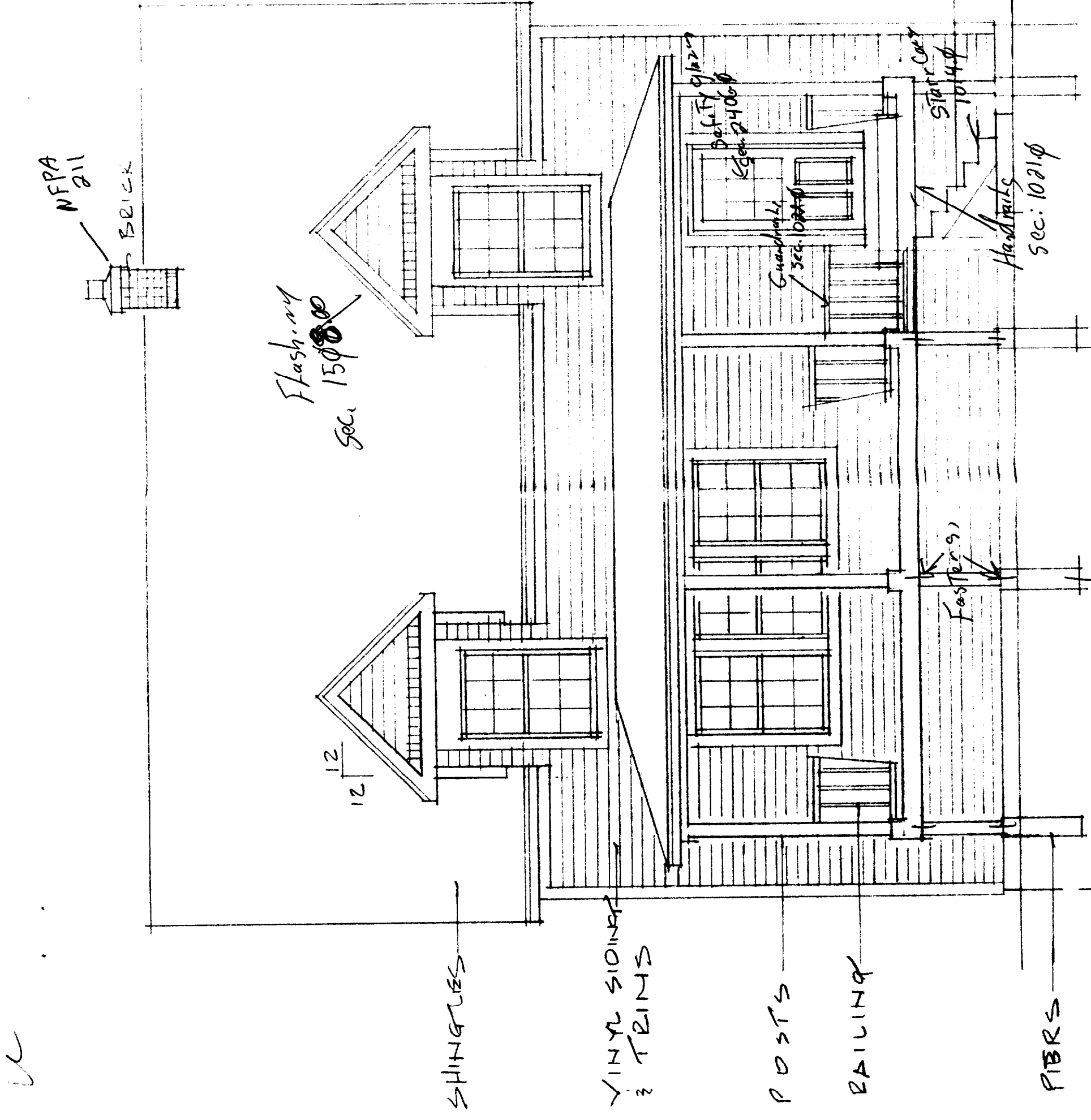


RIGHT ELEVATION

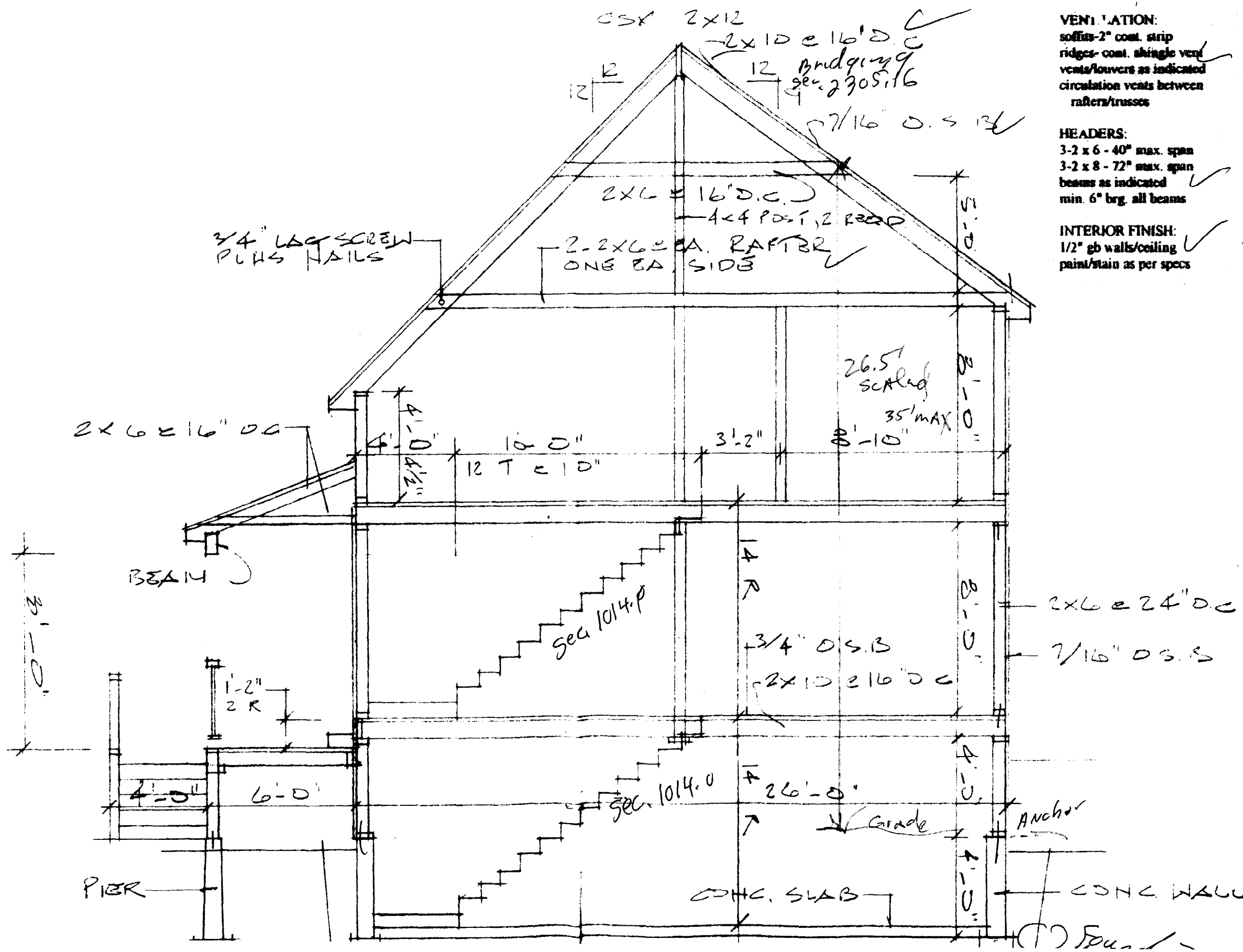
1991 BOCA

BAXTON RESIDENCE

Date	2.12.07
Scale	1/4" = 1'-0"
Drawn	
Job	
Sheet	1 of 1



FRONT ELEVATION



1. The structure shall have an ice shield up 3' min. shingles as indicated ✓

INSULATION:
 exterior walls-R19 ✓
 attic cap-R38 ✓
 sills-R19

VENTILATION:
 soffits-2" cont. strip ✓
 ridges- cont. shingle vent ✓
 vents/louvers as indicated ✓
 circulation vents between rafters/trusses

HEADERS:
 3-2 x 6 - 40" max. span ✓
 3-2 x 8 - 72" max. span ✓
 beams as indicated ✓
 min. 6" brg. all beams

INTERIOR FINISH: ✓
 1/2" gb walls/ceiling ✓
 paint/stain as per specs

BARTON RESIDENCE

Date 12/15/99

Scale 1/4"

Drawn

Job

