



Marge - Inspections

Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning & Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Darren Lovely
P.O. Box 241
Standish, ME 04084

RE: 43 Fallbrook Street Addition
CBL: 161 E009001

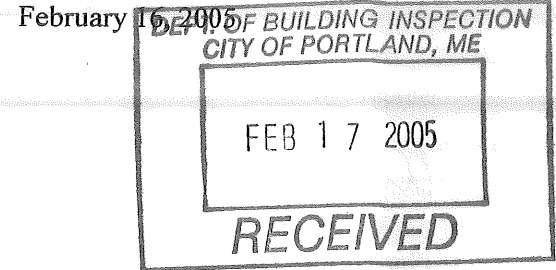
Dear Mr. Lovely:

On February 16, 2005, the Portland Planning Authority approved the proposed building addition at 43 Fallbrook Street as shown on the approved plan.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

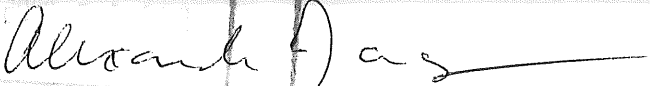
1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic AutoCAD files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. No performance guarantee, or inspection fee will be required.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)



The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Sarah Hopkins at 874-8720.

Sincerely,



Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Gayle Guertin, Inspections
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Assessor's Office
Approval Letter File

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JAN 6 2005

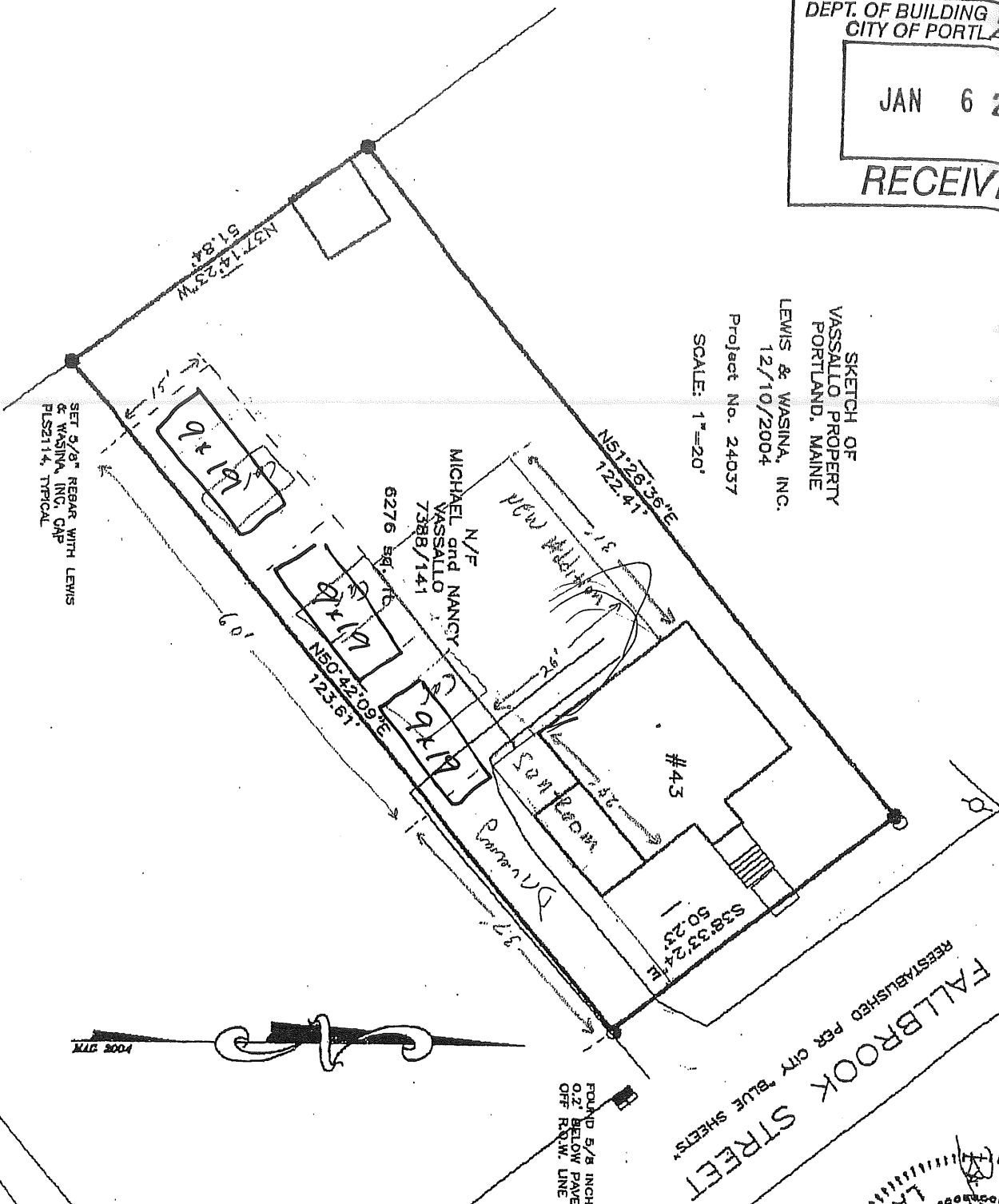
RECEIVED

SKETCH OF
VASSALLO PROPERTY
PORTLAND, MAINE

LEWIS & WASINA, INC.
12/10/2004

Project No. 24037

SCALE: 1"=20'



SET 3/8" REBAR WITH LEWIS
& WASINA, INC. CAP
PLS2114, TYPICAL

N/F
MICHAEL and NANCY
VASSALLO
7388/141

6276 SQ. FT.

#43

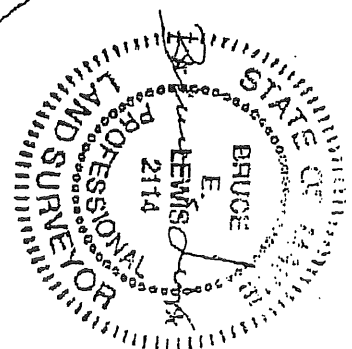
S38°33'24"E
50.23'

KLG 2004

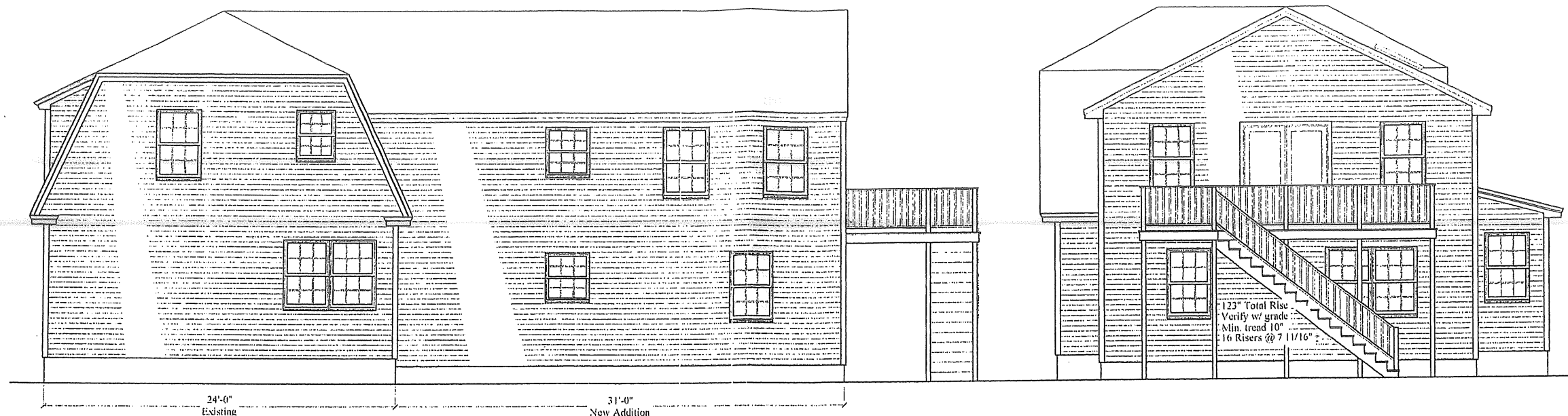
FALBROOK STREET
REESTABLISHED PER CITY "BLUE SHEETS"

FOUND 5/8 INCH REBAR
0.2' BELOW PAVEMENT, 0.4'±
OFF R.O.W. LINE

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2/16/05

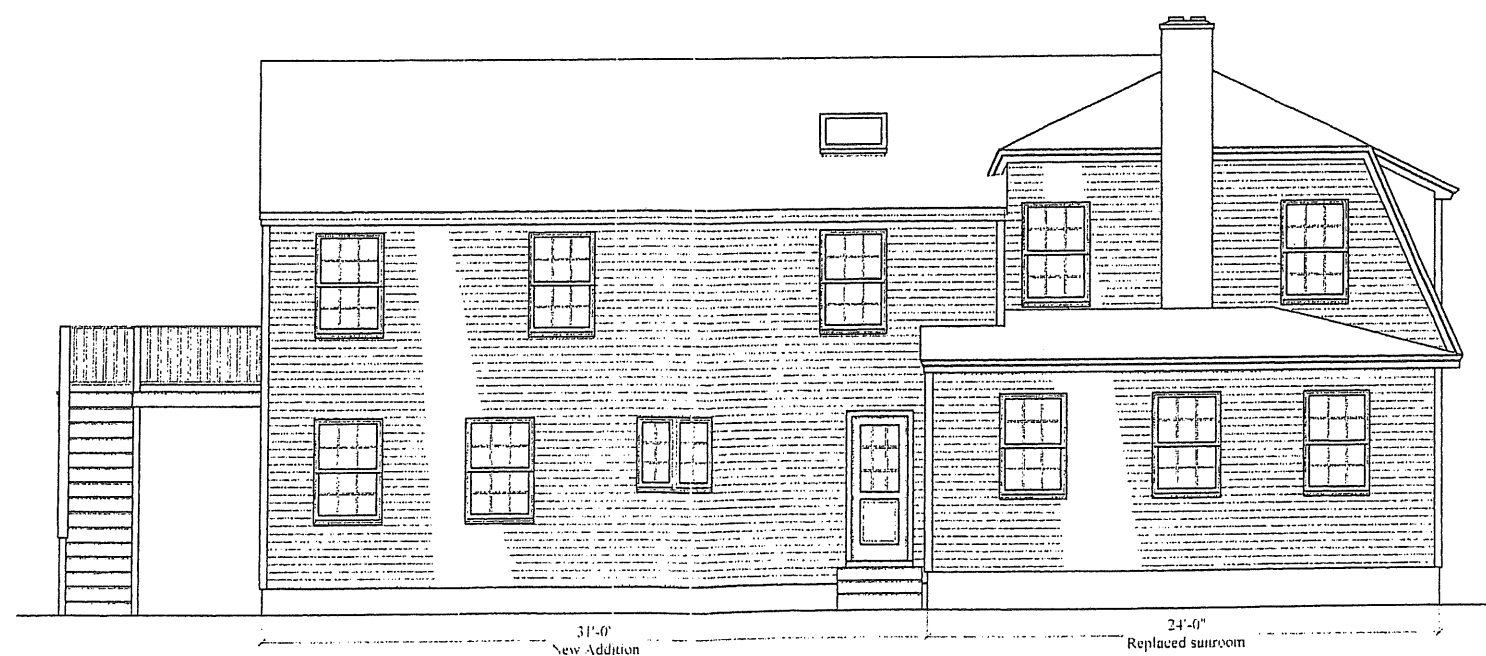


Preliminary plans - please verify design details with a registered architect or engineer.
 Deering Lumber is not liable for construction faults or casualty resulting from use of this plan.



1 Side Elevation
 1/4" = 1'-0"

2 Rear Elevation
 1/4" = 1'-0"



3 Side Elevation
 1/4" = 1'-0"

**CITY OF PORTLAND
 APPROVED SITE PLAN**
 Subject to Dept. Conditions
 Date of Approval: 2/16/05

	Rev	10-4-04
	Rev	7-19-04
Project	Vassallo Residence 43 Fallbrook St. Portland, Me.	Dwg# 1.0
Designer	Lozier Exteriors	Date 6-9-04
	Elevations	1/P-2/04