

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>43 Fullbrook St Rtd 110</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>161</u> Block# <u>E</u> Lot# <u>9</u>		Owner: <u>Michael Vassallo</u> Telephone: <u>775-3573</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>PO Box 241 Standish ME</u>	cost Of Work: \$ 125,000 Fee: \$
Current use: <u>Single Family</u>	Amendment to Code	
If the location is currently vacant, what was prior use: _____ Approximately how long has it been vacant: _____ Proposed use: <u>Build 71x26, 2 story addition w/ sunroom</u> Project description: <u>2 unit addition</u>		
Contractor's name, address & telephone: <u>Louley Exteriors</u> <u>PO Box 241 Standish ME 04084</u>		<u>831-8591</u> Permit # <u>091206</u>
Who should we contact when the permit is ready: <u>Darren Louley</u> Mailing address: <u>PO Box 241 Standish ME 04084</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>831-8591</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Jessy Campbell</u>	Date: <u>08-09-04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



CITY OF PORTLAND

December 3, 2004

Michael & Nancy Vassallo
43 Fallbrook Street
Portland, ME 04103

RE: 43 Fallbrook Street – 161-E-009 – R-5 residential zone – application #04-1741

Dear Mr. & Mrs. Vassallo,

I am in receipt of your application to change the use of your property from a single family to a two family with a two story addition. Your permit has been denied because you are not meeting the requirements of the City's Land Use Ordinance.

Section 14-120(b) requires a minimum of 3,000 square feet of land area per dwelling unit. Your property is shown to be 5,900 square feet of land area instead of the required 6,000 square feet minimum.

Your plot plan does not denote the number of off-street parking spaces that you are providing for this property. You need to show specifically the number of off-street parking spaces that you will be providing. Please note that a parking size is required to be a minimum of 9' x 19' when you show them on a plan.

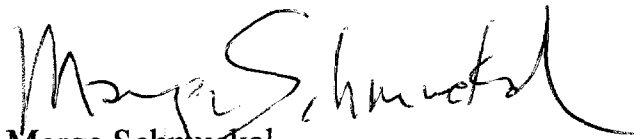
Section 14-522 of the site plan ordinance requires a minor site plan review for two family dwellings. There is no record of a submission to the planning division for this required review. A building permit cannot be issued without a stamped approved site plan released from the planning division.

Your plans show a shed on the rear of your property. **Our** building record files do not show an approved permit for the rear shed. Currently this 8' x 10' shed is not meeting the side and rear setback requirements under section 14-120(d) of the zoning ordinance. Your plans show less than the 5' minimum requirements allowed for a detached structure less than 100 square feet. It will be necessary at this time to legalize this shed with a permit application. It will also be necessary to bring the shed into compliance with the currently zoning ordinance.

You have the right to appeal my decision concerning lot size per dwelling unit. If you wish to exercise your right to appeal, you have 30 days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Please note that all of **the** above violations shall be met prior to issuance of a building permit for this application.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal". The signature is fluid and cursive, with a long, sweeping tail on the final letter.

Marge Schmuckal
Zoning Administrator

file

Lewis & Wasina, Inc.

PROFESSIONAL LAND SURVEYORS

December 10, 2004

Darren Lovley
PO Box 241
Standish, ME 04084

Re: Vassallo Property, 43 Fallbrook Street, Portland, Maine

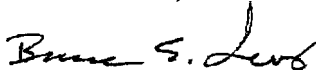
Darren,

Attached you will find a sketch of the Vassallo property showing the results of the boundary survey we performed in October. We determined the area of the parcel to be 6275 square feet and corners were marked as shown.

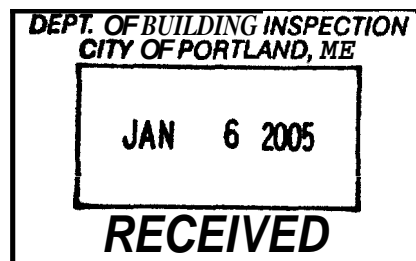
Thank you for utilizing the services of Lewis & Wasina, Inc. Please call if you have any questions.

Sincerely,

Lewis & Wasina, Inc.



Bruce E. Lewis, PLS





This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 161 E009001
Location 43 FALLBROOK ST
Land Use SINGLE FAMILY

Owner Address VASSALLO MICHAEL 3 & NANCY A JTS
43 FALLBROOK ST
WRTLAND ME 04103

Book/Page 7388/141
Legal 161-E-9
FALL BROOK ST 43
5900 SF X 4000 =

2300^{sq} MK li - 2.5

Valuation information

Land \$31,290 Building \$60,900 Total \$92,190

Property information

Year Built 1934 Style Gambrel Story Height 2 Sq. Ft. 1248 Total Acres 0.135
Bedrooms 3 Full Baths 1 Half Baths Total Rooms 5 Attic None Basement Full

Outbuildings

Type Quantity Year Built Size Grade Condition

ok

Sales information

Date Type Price Book/Page

Picture and Sketch

Picture Sketch Tax Map

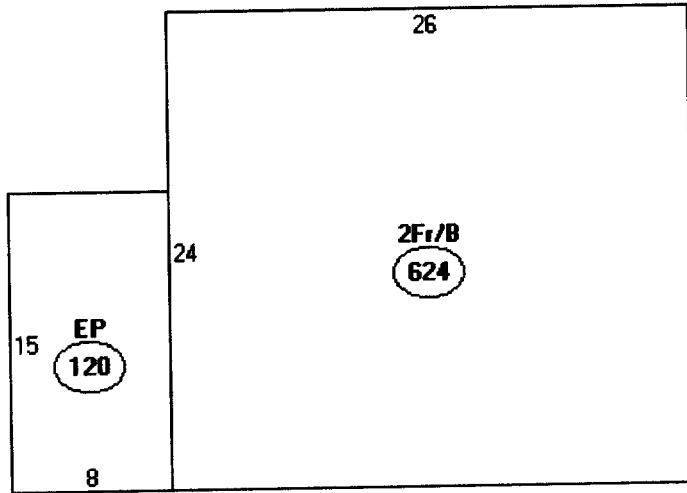
Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

→ lot size per D.U.
→ PARKING SPACES NOT SHOWN
SITE PLAN NOT APPLIED FOR
→ SHED NOTHING IN THE FILES FOR APPLICANT

8 x 20 = 160
26 x 31 = 806
24 x 26 = 624
8 x 20 = 160
8 x 10
1750 #
80
12/2/04
+ 830 #
06/20



Descriptor/Area

A: 2Fr/B
624 sqft

B: EP
120 sqft

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JAN 6 2005
 RECEIVED

SKETCH OF
 VASSALLO PROPERTY
 PORTLAND, MAINE

LEWIS & WASINA, INC.
 12/10/2004

Project No. 24037

SCALE: 1"=20'

N/F
 MICHAEL and NANCY
 VASSALLO
 7388/141
 6276 sq. ft.

#43

S38°33'24"E
 50.23'

N50°42'09"E
 123.61'

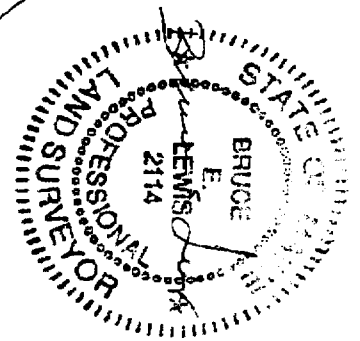
N51°26'36"E
 122.41'

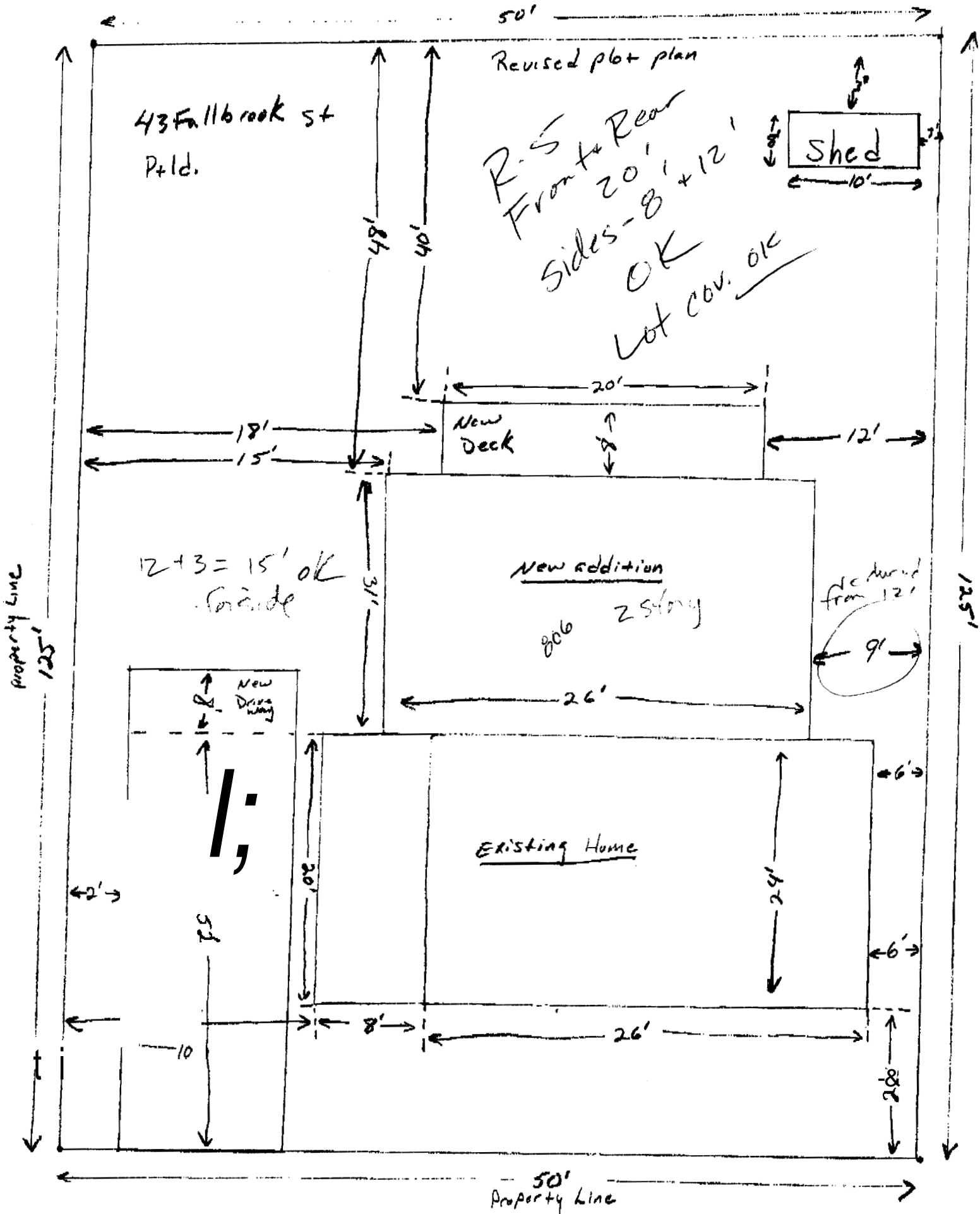
N37°14'23"W
 51.84'

SET 3/8" REBAR WITH LEWIS
 & WASINA, INC. CAP
 PLS2114, TYPICAL

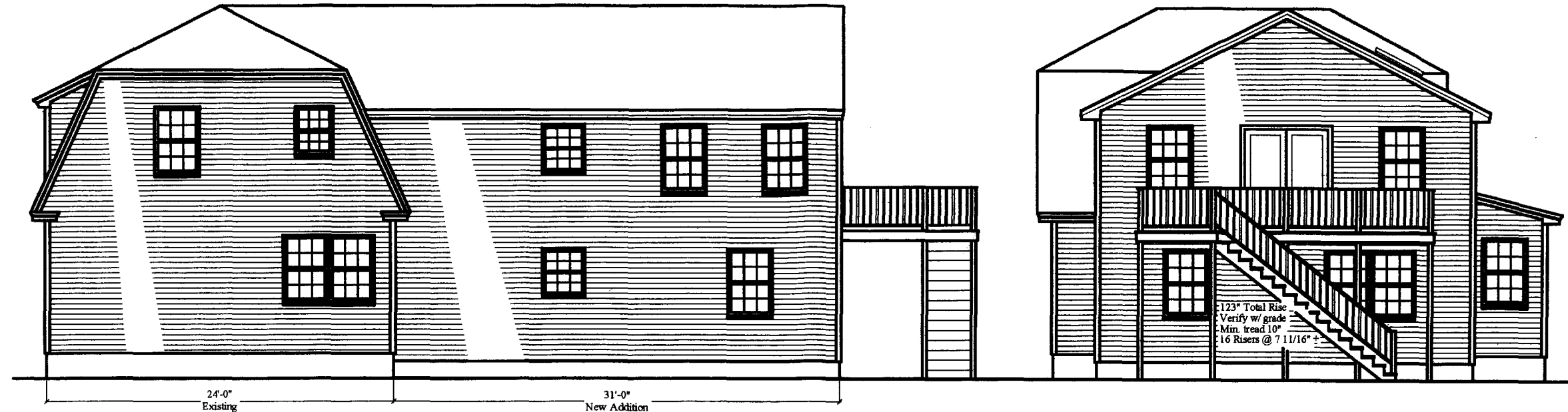
FALLBROOK STREET
 REESTABLISHED PER CITY "BLUE SHEETS"

FOUND 5/8 INCH REBAR
 0.2' BELOW PAVEMENT, 0.46'
 OFF R.O.W. LINE



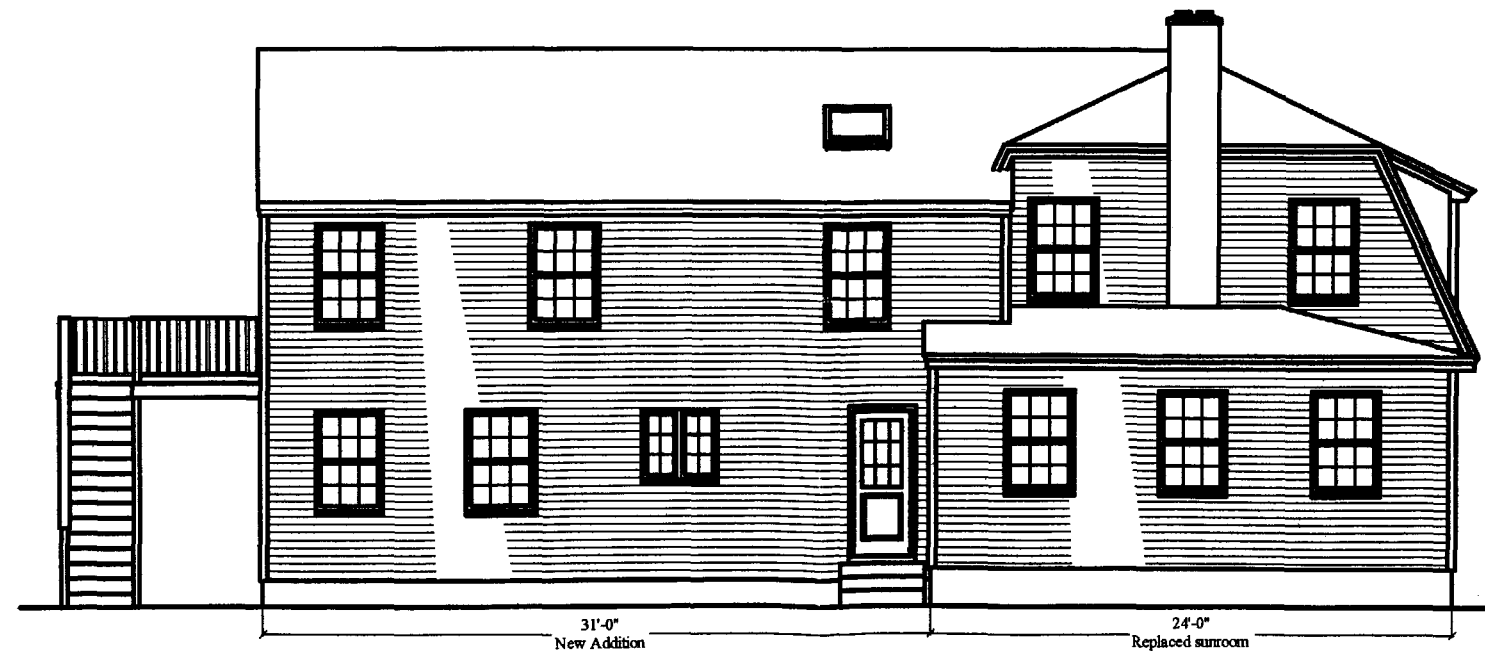


preliminary plans - please verify design details with a registered architect or engineer.
 Deering Lumber is not liable for construction faults or casualty resulting from use of this plan.



1 Side Elevation
1/4"=1'-0"

2 Rear Elevation
1/4"=1'-0"



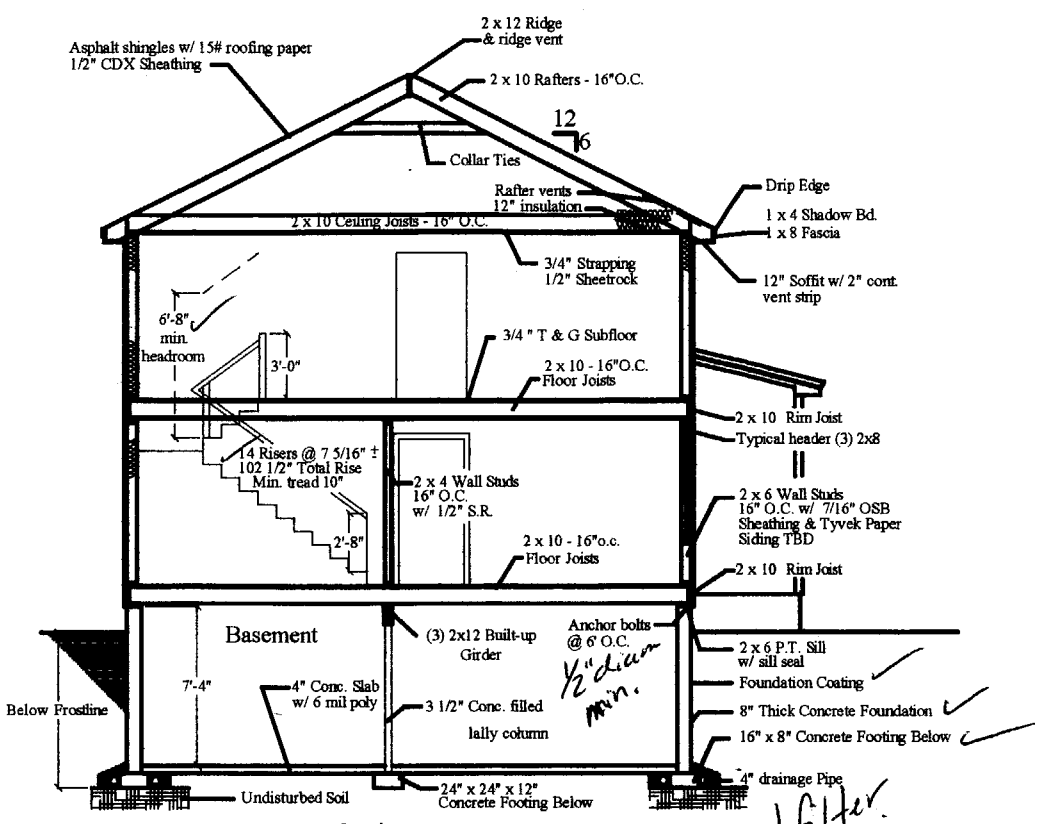
3 Side Elevation
1/40"=1'-0"

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 OCT 15 2004
 RECEIVED

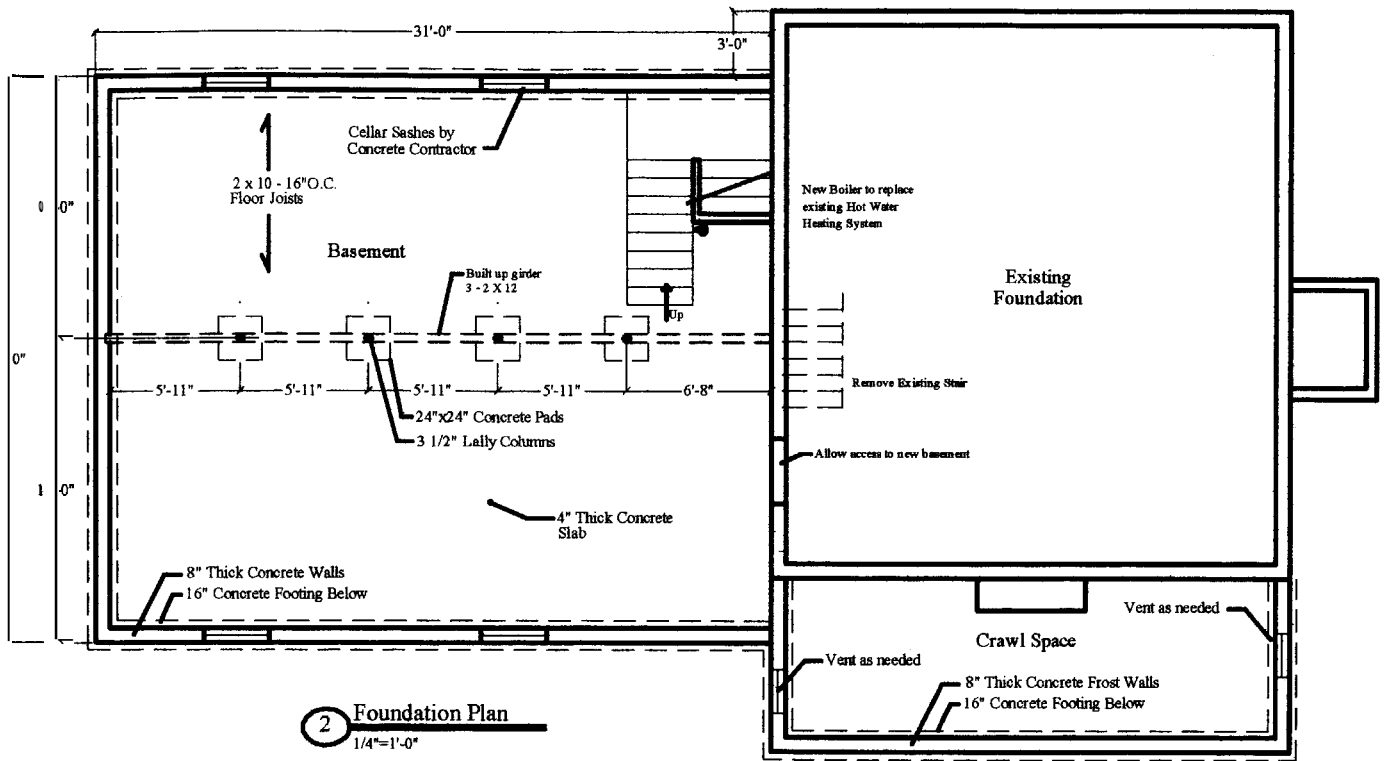
Rev 10-4-04
 Rev 7-19-04

DEERING LUMBER 14 Elm Street Biddeford, Me. 04005 (207) 283-3821	Project Vassallo Residence 43 Fallbrook St. Portland, Me.	Dwg# 1.0
	Designer Lovley Exteriors	Title Elevations

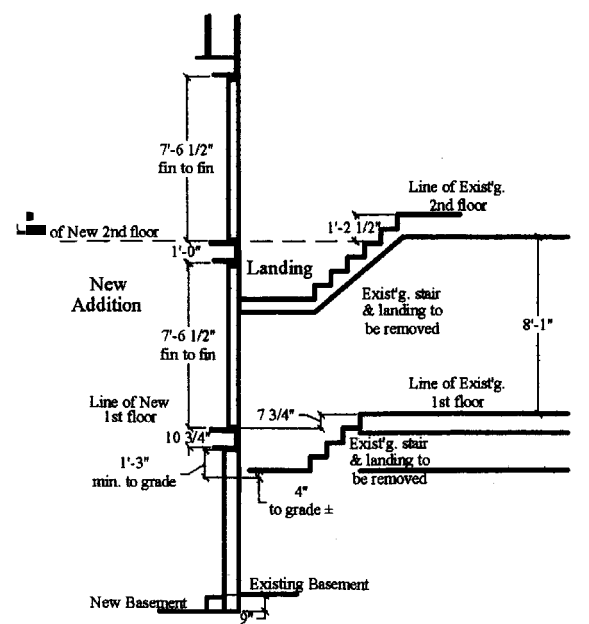
NOTE:
 MASON CONTRACTOR IS RESPONSIBLE FOR SIZE AND LOCATION OF OPENINGS IN FOUNDATION WALL FOR CELLAR SASH WINDOWS, WATER LINE ACCESS, SEWER LINE EXIT, AND ANY OTHER NECESSARY OPENINGS IN FOUNDATION. MASON TO CHECK WITH OWNER AND BUILDER TO ENSURE EXACT POSITION.



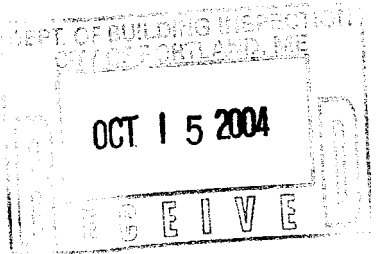
1 Section
 1/4"=1'-0"



2 Foundation Plan
 1/4"=1'-0"



3 Stairhall Section
 1/4"=1'-0"



Preliminary plans - please verify design details with a registered architect or engineer.
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DEERING LUMBER 14 Elm Street Biddeford, Me. 04005 (207)283-3621	Project Vassallo Residence 43 Fallbrook St Portland, Me.	Dwg# 3.0
Builder Lovley Exteriors	Title Foundation Plan & Sections	Date 6-9-04 T.F. 2.04

Rev 10-4-04