

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 041206

This is to certify that Vassallo Michael J &/Lovely Interiors / D. & S. Lovely
has permission to Build 31 x 26, 2 story addition w/ sunroom
AT 43 Fallbrook St 60621 161 E009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in.
24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name
CITY OF PORTLAND

[Handwritten Signature]
10/19/04

Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-1206	Issue Date: OCT 19 2004	CBL: 161 E009001
-----------------------	----------------------------	---------------------

Location of Construction: 43 Fallbrook St	Owner Name: Vassallo Michael J &	Owner Address: 43 Fallbrook St	Phone: 775-3573
Business Name:	Contractor Name: Lovely Exteriors / Darren Lovely	Contractor Address: P.O. 241 Standish	Phone: 2078318591
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home / Build 31 x 26, 2 story addition w/ sunroom	Permit Fee: \$1,146.00	Cost of Work: \$125,000.00	CEO District: 4
---------------------------------	--	---------------------------	-------------------------------	--------------------

FIRE DEPT: <i>N/A</i>	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC 2003
Signature:		Signature:

Proposed Project Description:
Build 31 x 26, 2 story addition w/ sunroom

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
	<input type="checkbox"/> Denied	
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 08/18/2004	Zoning Approval
-----------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews
<input type="checkbox"/> Shoreland
<input type="checkbox"/> Wetland
<input type="checkbox"/> Flood Zone
<input type="checkbox"/> Subdivision
<input type="checkbox"/> Site Plan
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>
Date: 10/19/04

Zoning Appeal
<input type="checkbox"/> Variance
<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Interpretation
<input type="checkbox"/> Approved
<input type="checkbox"/> Denied
Date:

Historic Preservation
<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Requires Review
<input type="checkbox"/> Approved
<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied
Date: 10/19/04

PERMIT ISSUED
OCT 19 2004
CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

12/3/04 - Footings + setbacks - Pins + strings in place -
size + setbacks OK - gm.

12/14/04 Backfill inspection all set to Backfill. Gave OK. Jm

2/17/05 Ruff on Plat/elec OK

Finishing OK EXCEPT - Bedroom window

not in yet, Stairs Rem't to 2nd

Stairs cuts ok but Treads & Risers not in yet
overall OK

2/28/05 all O.K. except Treads and Risers are still temporary,
RE-check @ final. O.K. to close in Jm

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1206	Date Applied For: 08/18/2004	CBL: 161 E009001
------------------------------	--	----------------------------

Location of Construction: 43 Fallbrook St	Owner Name: Vassallo Michael J &	Owner Address: 43 Fallbrook St	Phone:
Business Name:	Contractor Name: Lovely Exteriors / Darren Lovely	Contractor Address: P.O. 241 Standish	Phone (207) 831-8591
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home / Build 31 x 26, 2 story addition w/ sunroom	Proposed Project Description: Build 31 x 26, 2 story addition w/ sunroom
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 10/19/2004

Note: **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 10/19/2004

Note: **Ok to Issue:**

- 1) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, or heating.

Comments:

9/28/04-tmm: builder resubmitted info and plot plan. Not adequate, faxed builder a copy of plan review sheets and went over what the required setbacks are.

10/13/04-tmm: reviewed resubmits - faxed copy and not legible - called builder and told him I needed an original copy.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure		Square Footage of Lot	
Chart# <u>1161</u>	Block# <u>E</u>	Lot# <u>7</u>	Telephone: <u>Vassallo</u> <u>775-3573</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Mr. Vassallo</u> <u>43 Fall Brook St</u> <u>Rld ME</u> <u>775-3573</u>		Cost Of Work: \$ <u>125,000</u> Fee: \$ <u>220.00</u>
Current use: <u>Single Family</u>			<u>1146.00</u>
If the location is currently vacant, what was prior use: _____			
Approximately how long has it been vacant: _____			
Proposed use: Project description: <u>31x26 addition attached to rear of existing house 2 story</u> <u>also new sun room to be built on same footprint as existing</u>			
Contractor's name, address & telephone: <u>Contractor: [unclear] 65 Hermon St Rld Stanish ME</u> <u>Who should we contact when the permit is ready: [unclear] 831-8391 cell</u>			<u>642-5007 office</u>
Mailing address: <u>P.O. Box 241 Stanish ME 04084</u>			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 8/17/04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.


A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection; Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X 
Signature of Applicant/Designee

Date

10/19/04

Signature of Inspections Official

Date

CBL: 161-E-9

Building Permit #: 04-1206

43 Fallbrook St.

Darren 831-8591

Fax 642-5007

Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL		
1 Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	Not shown	OK
2 Foundation Drainage Damp proofing (Section 406)	Not shown	OK - Need filter fabric
Ventilation (Section 409.1) Crawls Space ONLY	N/A	
3 Anchor Bolts/Straps (Section 403.1.4)	Not shown	Need 1/2" Min.
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	3-2x12's - OK	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	11 11 - OK	
4 Sill/Band Joist Type & Dimensions	Not shown	OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10's - OK	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	11 11 - OK	

4	Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))		
5	Roof Rafter Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	Not shown	OK
6	Sheathing; Floor, Wall and roof (Table 503.2.1(1))	Thickness of CDX ?	OK
	Fastener Schedule (Table 602.3(1) & (2))		
	Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)	N/A	
	Fire separation		
8	Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	If 2 unit - need fire separation	
9	Egress Windows (Section 310)	3046's - Egress ?	OK
	Roof Covering (Chapter 9)	OK	
	Safety Glazing (Section 308)		
10	Attic Access (BOCA 1211.1)	Not shown	OK
	Draft Stopping around chimney	N/A	

11	Header Schedule	not shown	OK
12	Type of Heating System	" "	
13	Stairs Number of Stairways 1 Interior 1 Exterior 01 - No info given of deck construction + stairs Treads and Risers (Section 314) Treads not shown Risers - 7 7/8 - 7 3/4" is maximum allowed Width Not shown Headroom Not shown Guardrails and Handrails (Section 315) Not shown		OK
14	Smoke Detectors Location and type/Interconnected	Not shown	OK
Plan Reviewer Signature			

See Chimney Summary Checklist

15 Framing of landing above - need carrying beams - size? OK

16 LVL sizes in all locations? OK



Lovley Exteriors

Darren J. Lovley

PO Box 241

Standish, ME 04084

Phone/Fax: (207) 642-5007 Cell: 831-8591

Toll Free: (866) 681-1289 Email: lovleyexteriors@aol.com

Date: 10/05/04

No. of Pages inc. cover: 6

Attention: Tammy Munson

Fax #: 874-8716

From: Damn Lovley

Fax #: (207) 842-5007, ...

RE: 43 Fallbrook St P/d. (Vassallo Res.)

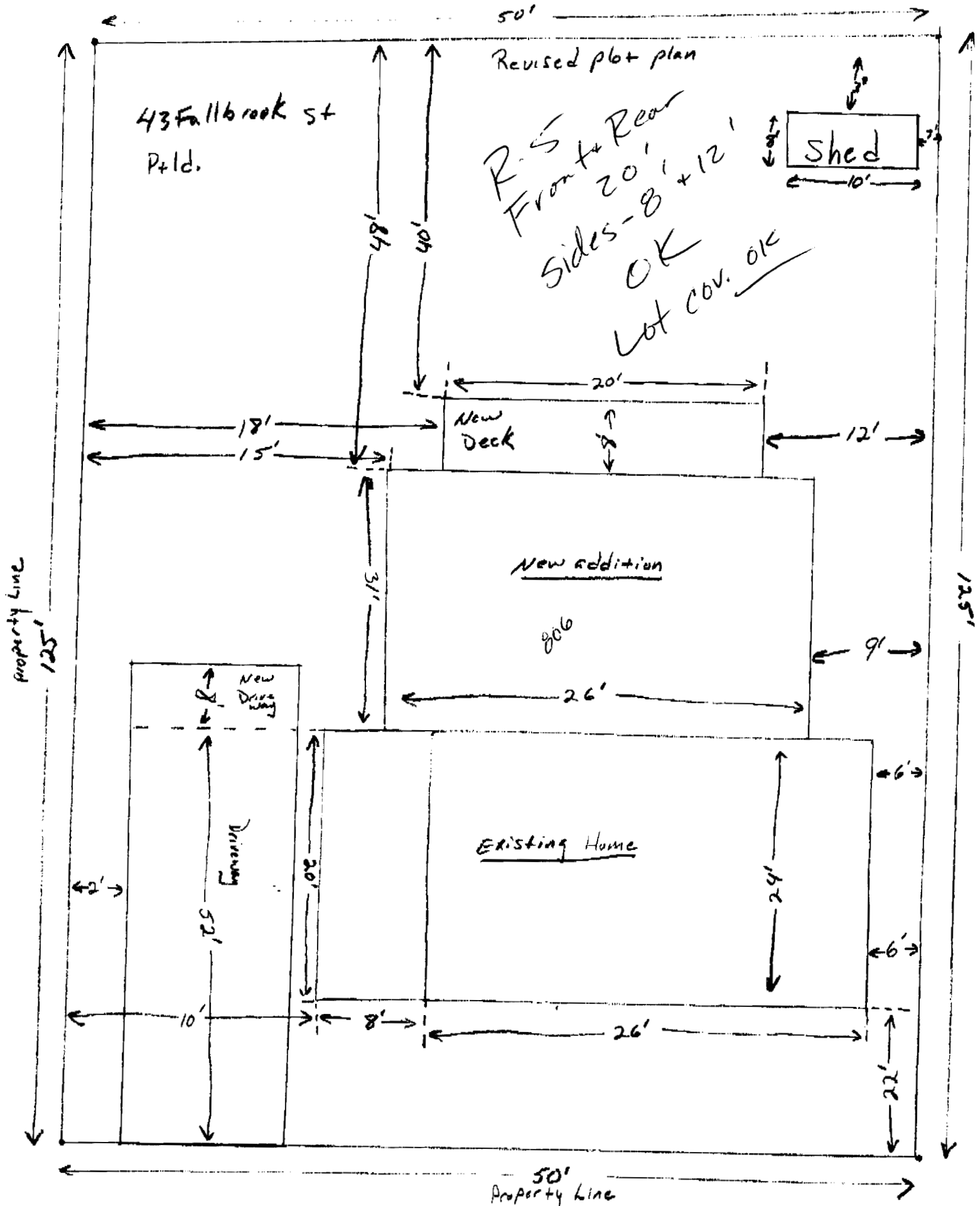
COMMENTS:

Tammy,

Could you please look these plans over
as soon as possible -please-

Thank you

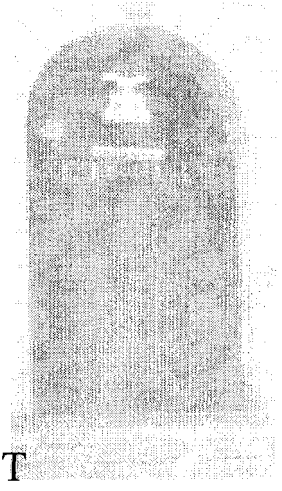
Darren Lovley



City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Darren</u>	FROM: <u>Tommy Munson</u>
FAX NUMBER: <u>642-5007</u>	NUMBER OF PAGES, WITH COVER: <u>5</u>
TELEPHONE: _____	RE: <u>43 Fall Brook</u>
DATE: _____	

Comments:
874-8706- Call w/questions



1065 Broadway
 South Portland, Me. 04106
 (207) 799-1501

Mann Trade Center
 2 Portland Fish Pier
 Portland, Me. 04101
 (207) 772-1010

INTERIOR

Rooms **5** Bedrooms **3** Baths **1**

Kitchen Appliances.

Stove: Yes No Make **GE**

Refrig Yes No Make **Frigidaire**

Dishwasher Yes No Make

Disposal Yes No **New Fall '85**

Exhaust Fan Yes No Hood. Yes No

Compactor. Yes No

Sink Double-Stainless Steel

ROOM DESCRIPTION

	1st	2nd	BSMT
LR	<input checked="" type="checkbox"/>		
DR	AREA		
KIT	<input checked="" type="checkbox"/>		
BEDRM		3	
BATH		1	
DEN			
FMRM			
LAUNDRY			AREA

Unheated Sunroom **off** Living Room

Floor Coverings **Hardwood, Vinyl, Ceramic Tile**

Fireplaces # **1** Where **LR**

Woodstoves # **Hookup** Where **Kitchen**

Chimneys # **2**

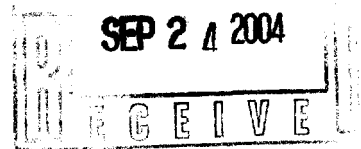
Tile Lined. Yes No Unknown

Date of last cleaning **1983**

Have fireplaces been used in the last year? Yes No

ITEMS TO STAY **Stove, hood, refrigerator, disposal**

ITEMS NOT TO STAY



LOT DESCRIPTION

Size **50** x **125** Sq Ft **6250**
 Frontage **50** Rear **50** Depth **125**
 Driveway **BKTP**

DIRECTIONS **Off Washington Avenue opposite Maloon's Florist**

Name: Philip P. & Christine B. Savignano

Property Address: 43 Fallbrook Street
Portland

Taxes: 1063.50 Tax Year: 85/86

Zone: R-5 Occupied: Yes Poss. TOT

PRICE \$79,900

Listing broker Stan Piecuch

Office So. Portland

Telephone 799-1501

Date home was purchased May, 1983

Type of deed Warranty

Recording date 5/31/83 County Cumberland

Book 6180 Page 6

EXTERIOR

Style Dutch Colonial Age 45±

Siding Asb. Shngls Color. Brown Shutters No

Roof Type Asphalt Shingle Age

Condition Good

Storm Windows Yes No Type Alum

Screens Yes No Type Alum

Storm Doors Yes No Type Alum

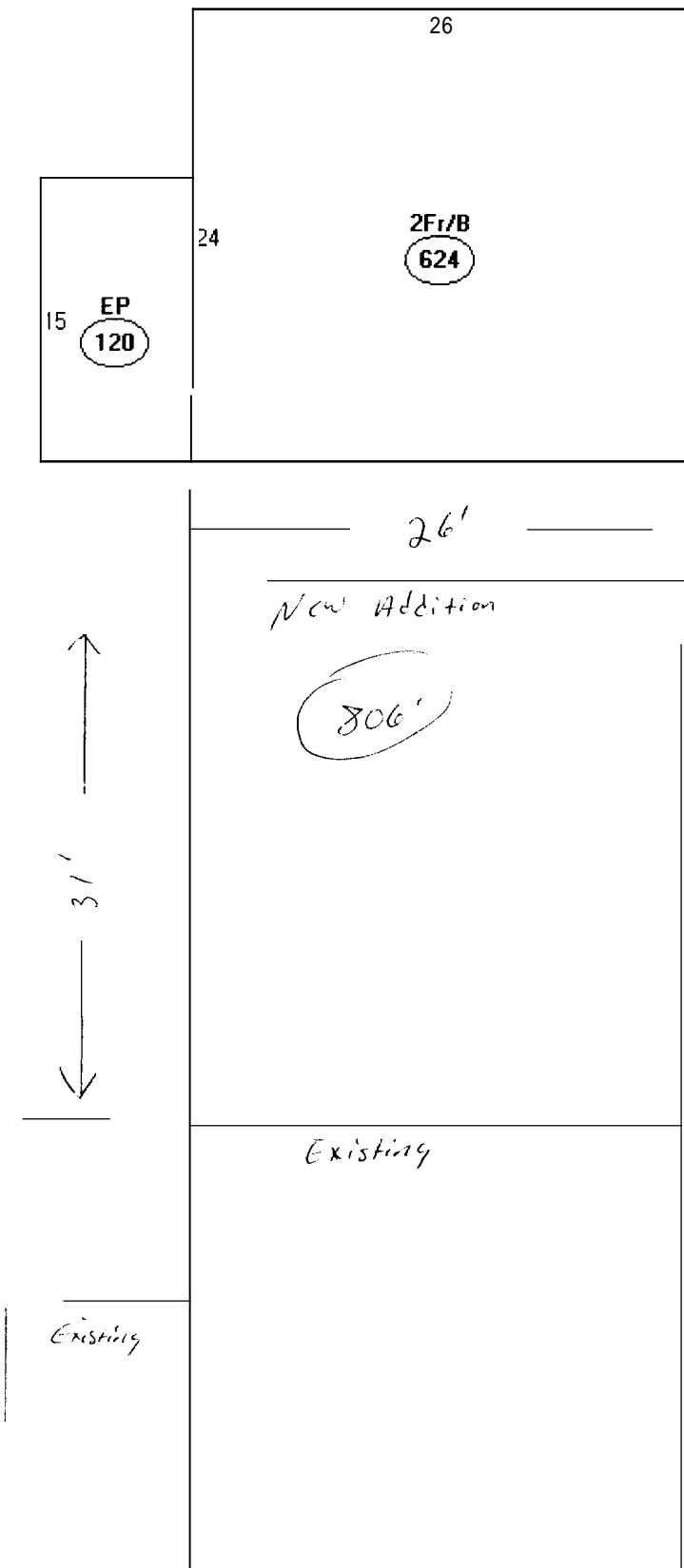
TV Antenna Yes No Type

Garage Yes No Attached Detached

size

SCHOOL INFORMATION

SCHOOL	NAME	DISTANCE
Primary		
Elementary	CONVENIENT TO ALL PUBLIC	
Jr High	SCHOOLS	
High School		
Other		



Descriptor/Area

A: 2Fr/B
624 sqft

B: EP
120 sqft

161-E-9

Tammy.

I changed the plans and
Took the Kitchen out
For permit purposes, and
will put (a change of
use) in later. I did
find that they (the owners)
Have enough sq ft for
2 Unit's

Please call me when
you have a chance
Thank you!
Darren Holley

Lovley Exteriors

Darren Lovley-Owner

Roofing~Siding~Framing

Free Estimates/Senior Discounts

24 Hour Emergency Service

Office (207) 642-5007

Cell (207) 831-8591

Insured

P.O. Box 241 Standish, ME 04084

Dependable

Professional

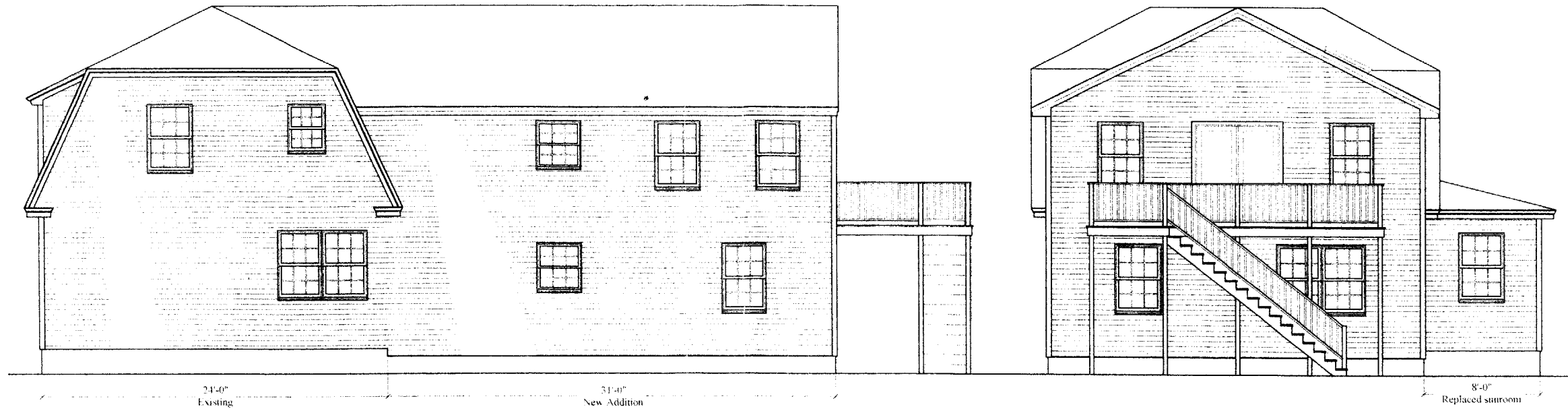
E-mail: DJDL815@aol.com

Guaranteed

Quality Work at Affordable Prices

preliminary plans - please verify design details with a registered architect or engineer.

Deering Lumber is not liable for construction faults or casualty resulting from use of this plan.



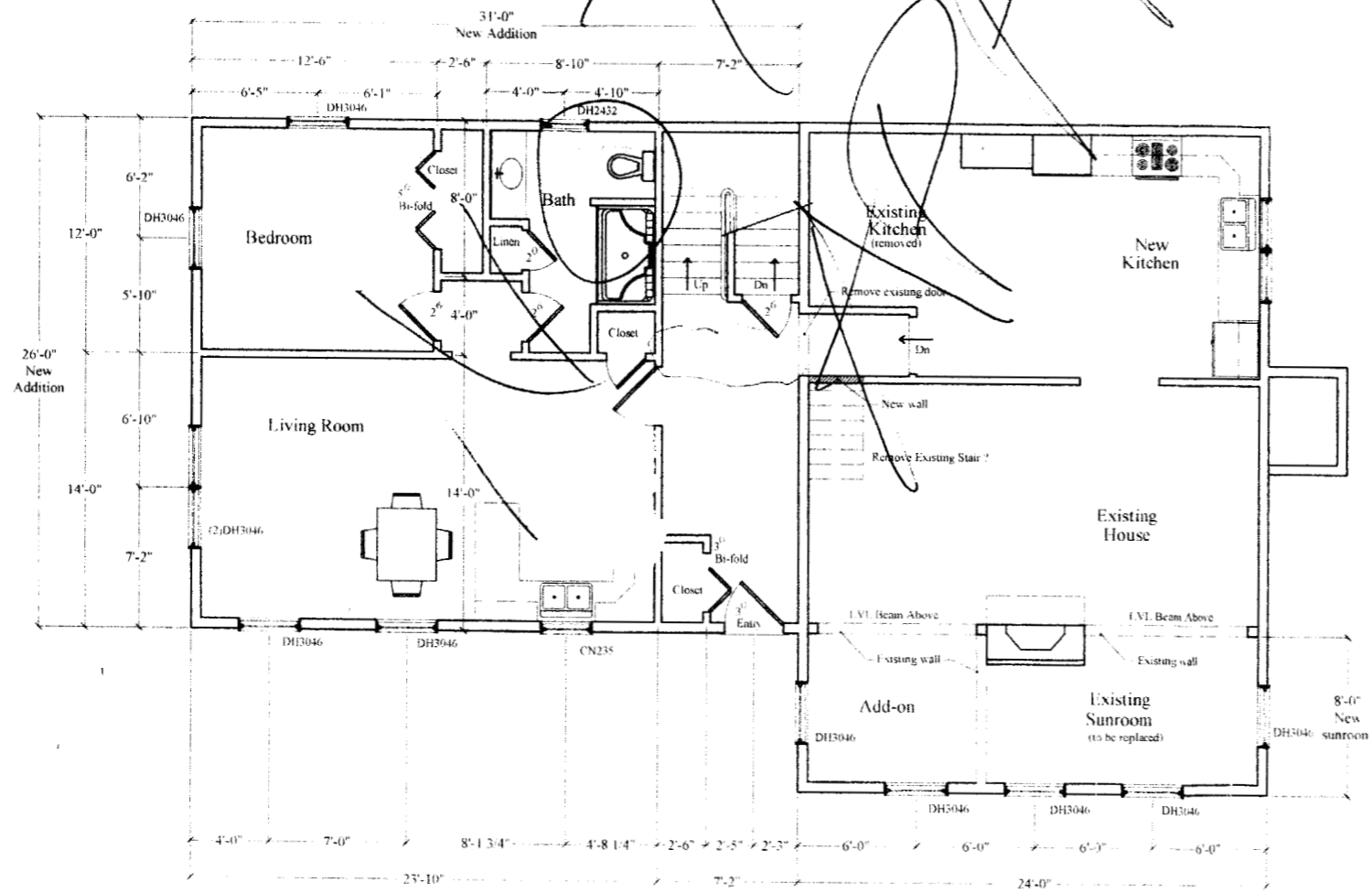
① Side Elevation
1/4" = 1'-0"

② Rear Elevation
1/4" = 1'-0"

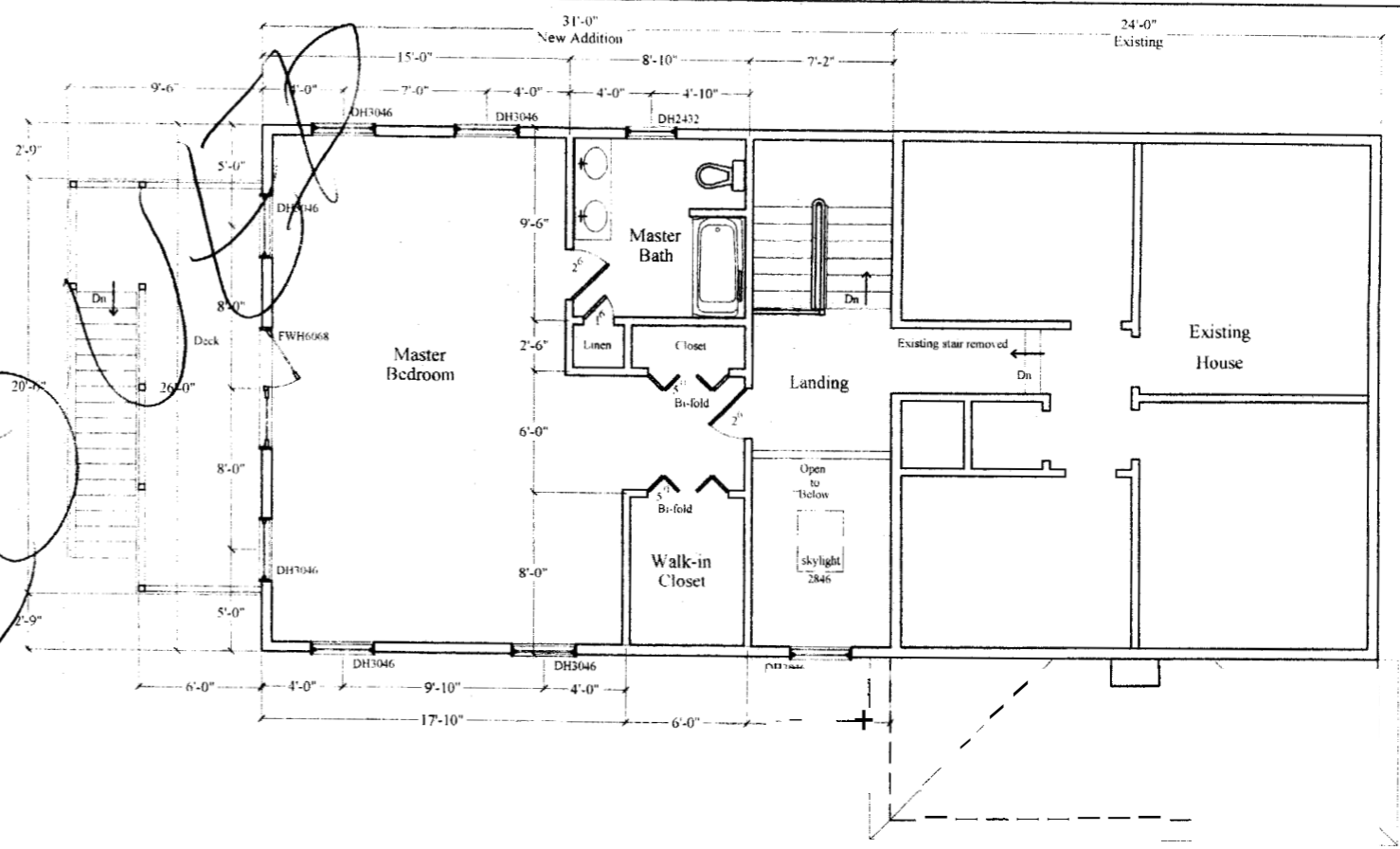


43
Fallbrook

Rev 7-19-04		
	Project Vassallo Residence 43 Fallbrook St Portland, Me.	Dwg# 1.0
Architect Lovley Exteriors	Date Elevations	Date 6-9-04
		Scale 1/4" = 1'-0"



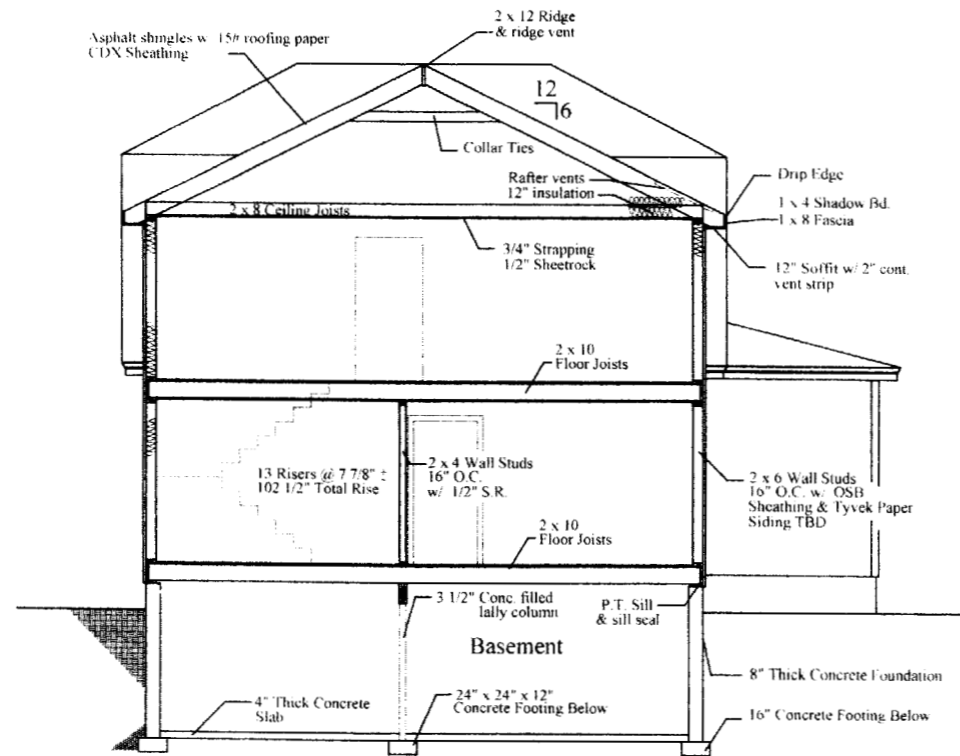
1 First Floor Plan
1/4" = 1'-0"



2 Second Floor Plan
1/4" = 1'-0"

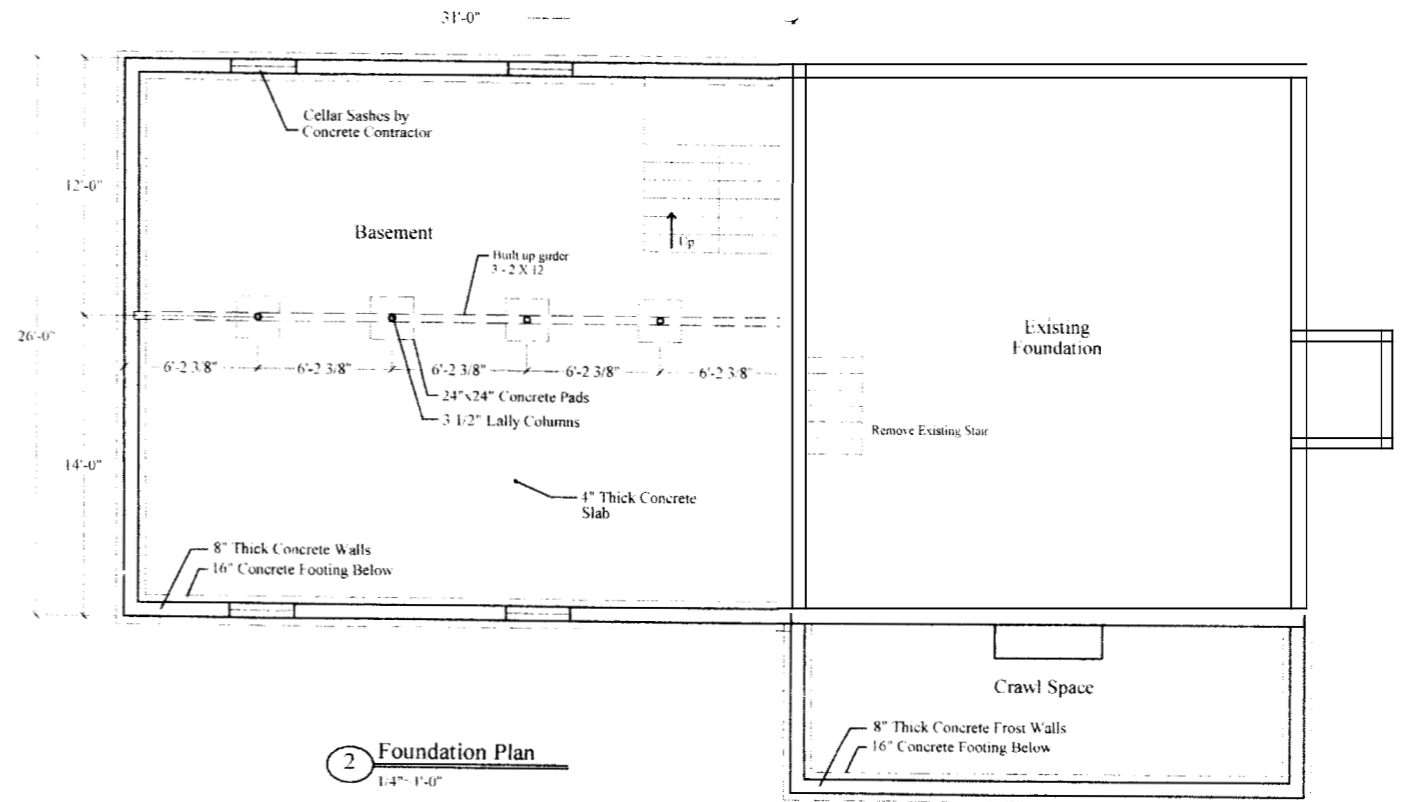
Preliminary plans - please verify design details with a registered architect or engineer.
Deering Lumber is not liable for construction faults or casualty resulting from use of this plan.

Rev 7-19-04	
DEERING LUMBER 14 E. Street Portland, Me 04201 (207) 761-1801	Project Vassallo Residence 43 Fallbrook St Portland, Me.
Builder <u>Lovley Exteriors</u>	Title Plans
	Dwg# 2.0 Date 6-9-04 L.E.-2-04

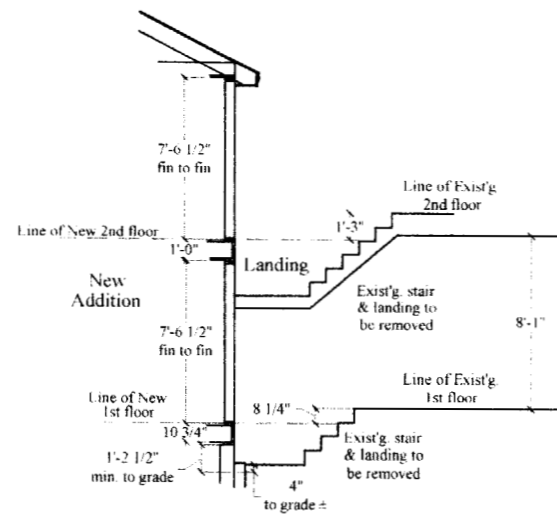


1 Section
1/4" = 1'-0"

NOTE:
MASON CONTRACTOR IS RESPONSIBLE FOR SIZE AND LOCATION OF OPENINGS IN FOUNDATION WALL FOR CELLAR SASH WINDOWS, WATER LINE ACCESS, SEWER LINE EXIT, AND ANY OTHER NECESSARY OPENING IN FOUNDATION. MASON TO CHECK WITH OWNER AND BUILDER TO ENSURE EXACT POSITION.



2 Foundation Plan
1/4" = 1'-0"



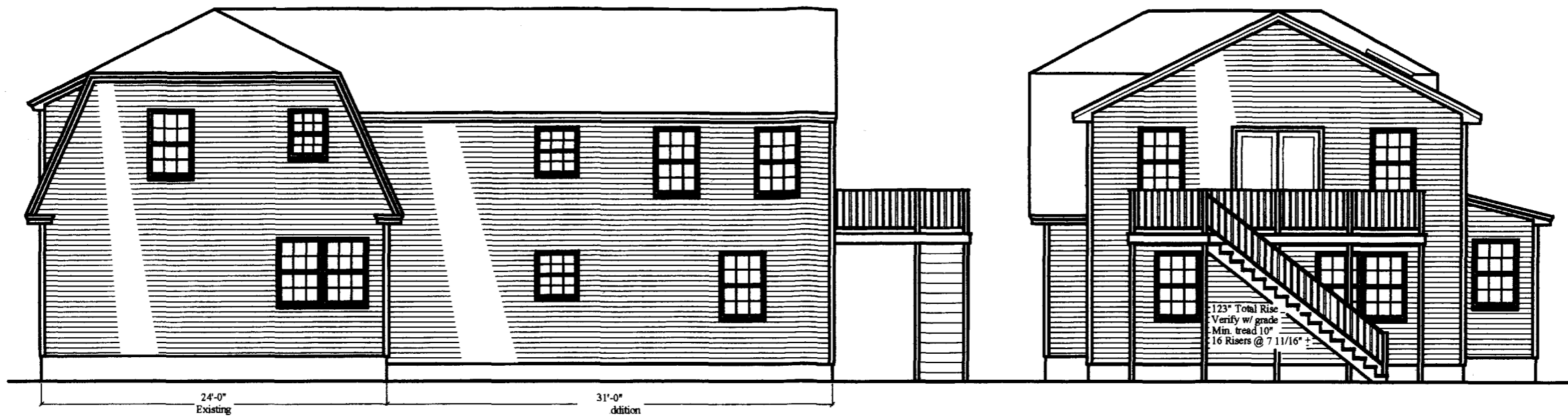
3 Stairhall Section
1/4" = 1'-0"

Preliminary plans - please verify design details with a registered architect or engineer.
Decring Lumber is not liable for construction faults or casualty resulting from use of this plan.

	Project	Vassallo Residence 43 Fallbrook St. Portland, Me.	Rev	7-19-04
	Dwg#			3.0
	Date			6-9-04
	Title	Foundation Plan & Sections		1E-2-04

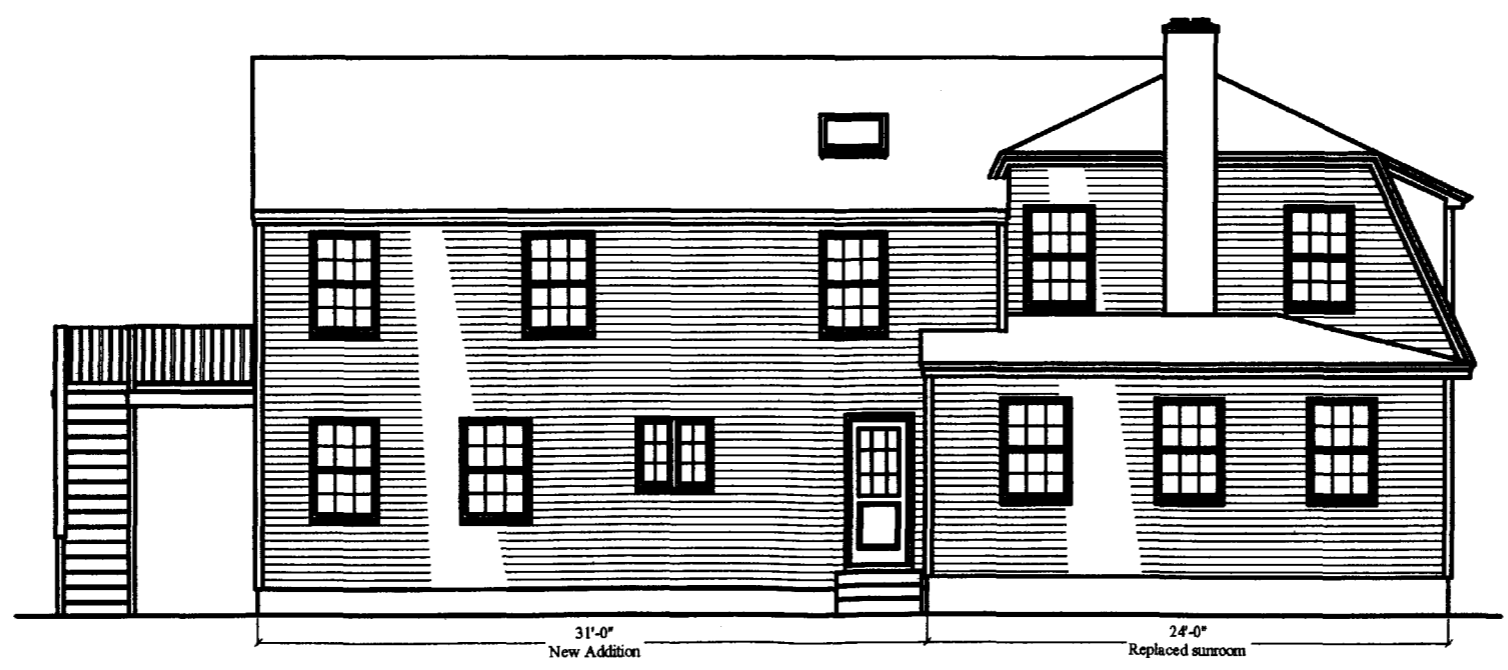
preliminary plans - please verify design details with a registered architect or engineer.

Deering Lumber is not liable for construction faults or casualty resulting from use of this plan.



1 Side Elevation on
1/4"=1'-0"

2 Rear Elevation
1/4"=1'-0"



3 Side Elevation
1/4"=1'-0"

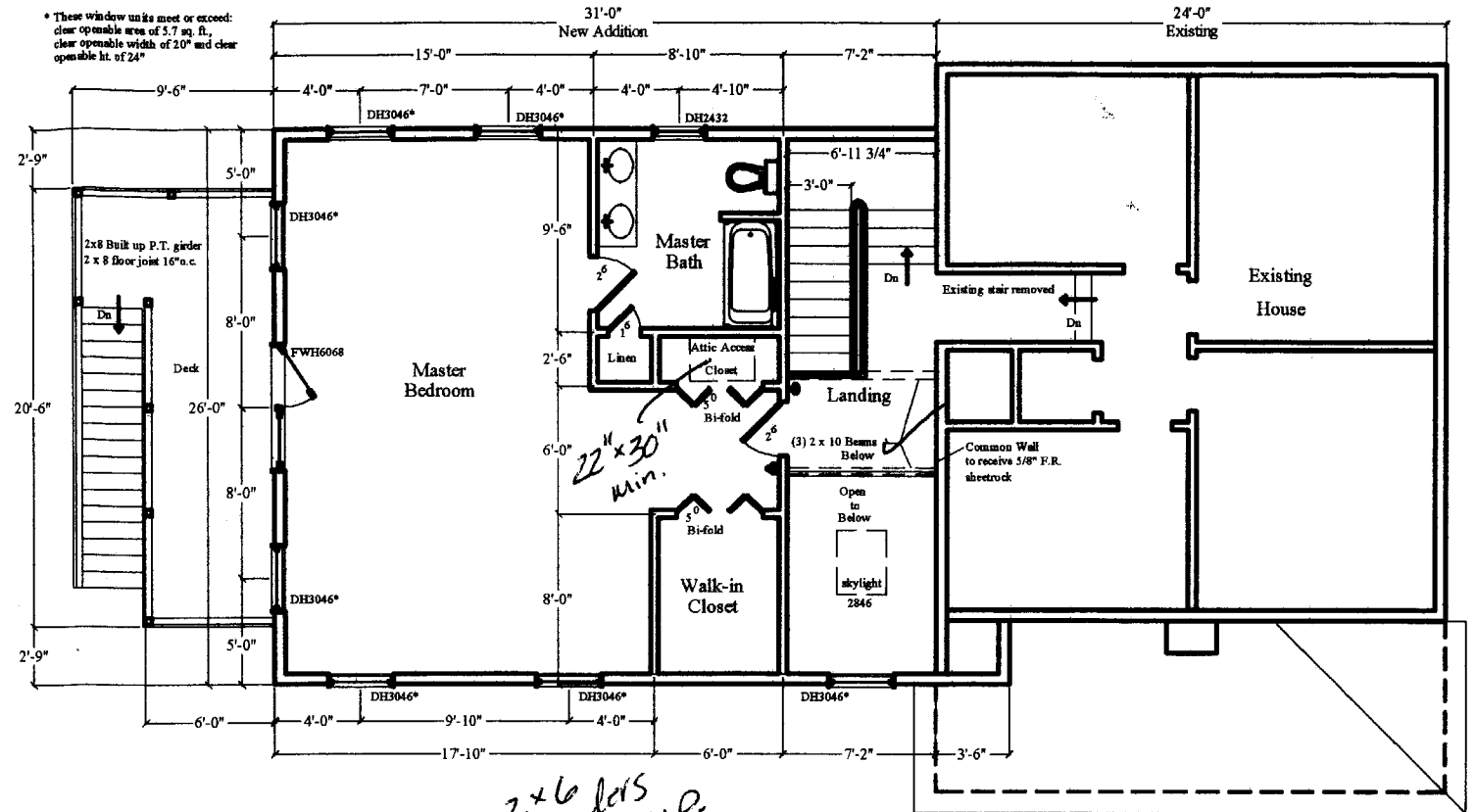
CITY OF PORTLAND, ME
APPROVED FOR CONSTRUCTION PLANS
OCT 2 2004
SUPERSEDES ALL
PRIOR DATED PLANS

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
OCT 15 2004
RECEIVED

Rev 10-4-04
Rev 7-19-04

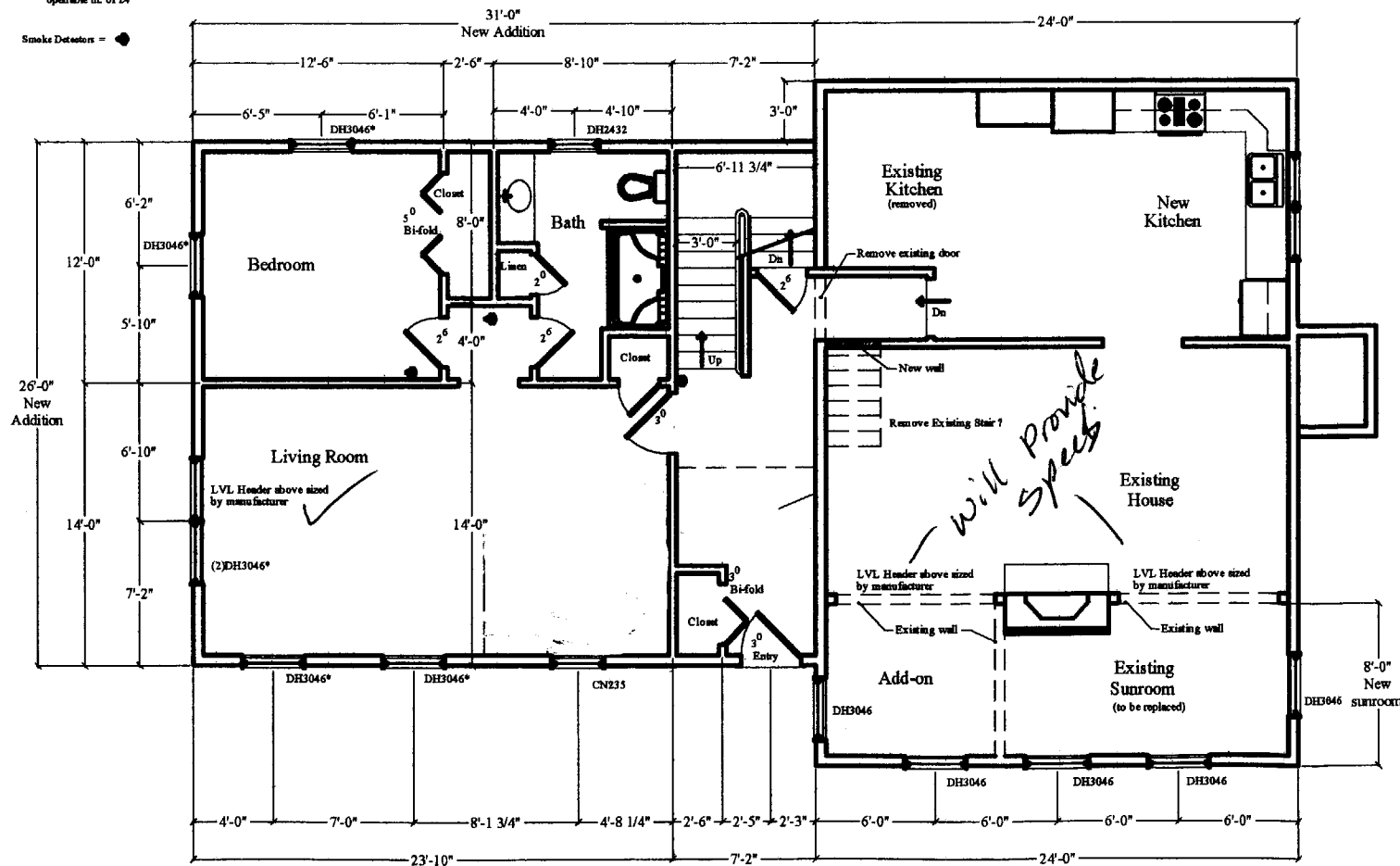
DEERING LUMBER 14 Elm Street Biddford, Me. 04005 (207)283-3821	Project Vassallo Residence 43 Fallbrook St. Portland, Me.	Dwg# 1.0
Builder Lovelu Exteriors	Title Elevations	Date 6-9-04 LE-2-04

* These window units meet or exceed:
clear opening area of 5.7 sq. ft.,
clear opening width of 20" and clear
opening ht. of 24"



2 Second Floor Plan
1/4" = 1'-0"

* These window units meet or exceed:
clear opening area of 5.7 sq. ft.,
clear opening width of 20" and clear
opening ht. of 24"



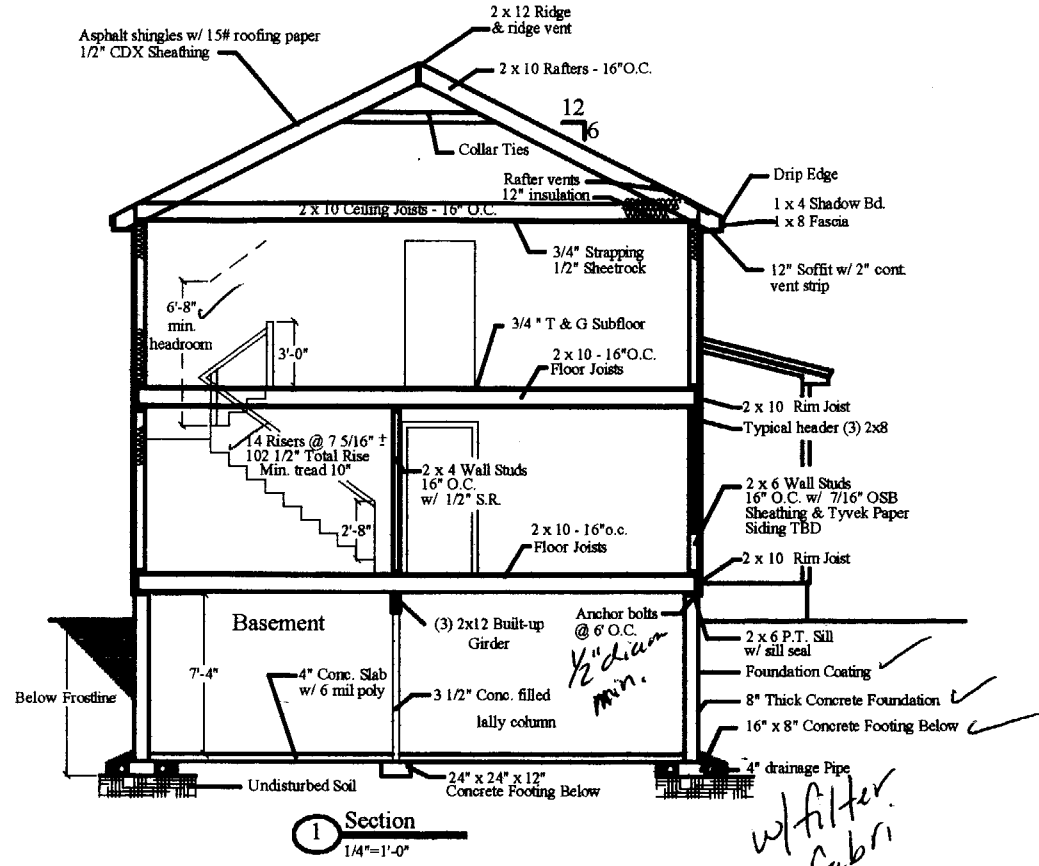
1 First Floor Plan
1/4" = 1'-0"

CITY OF PORTLAND, ME
APPROVED FOR SUBMITTAL TO THE
OCT 21 2004
SUPERVISOR OF ALL
PROPOSED PLANS

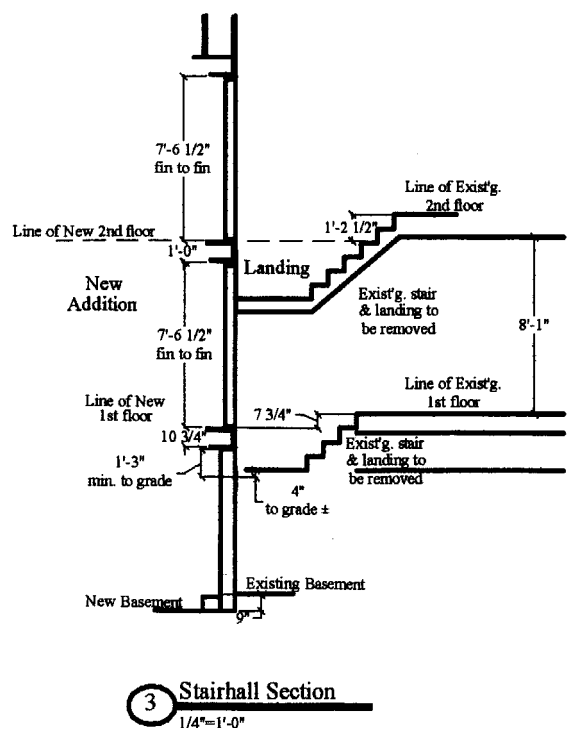
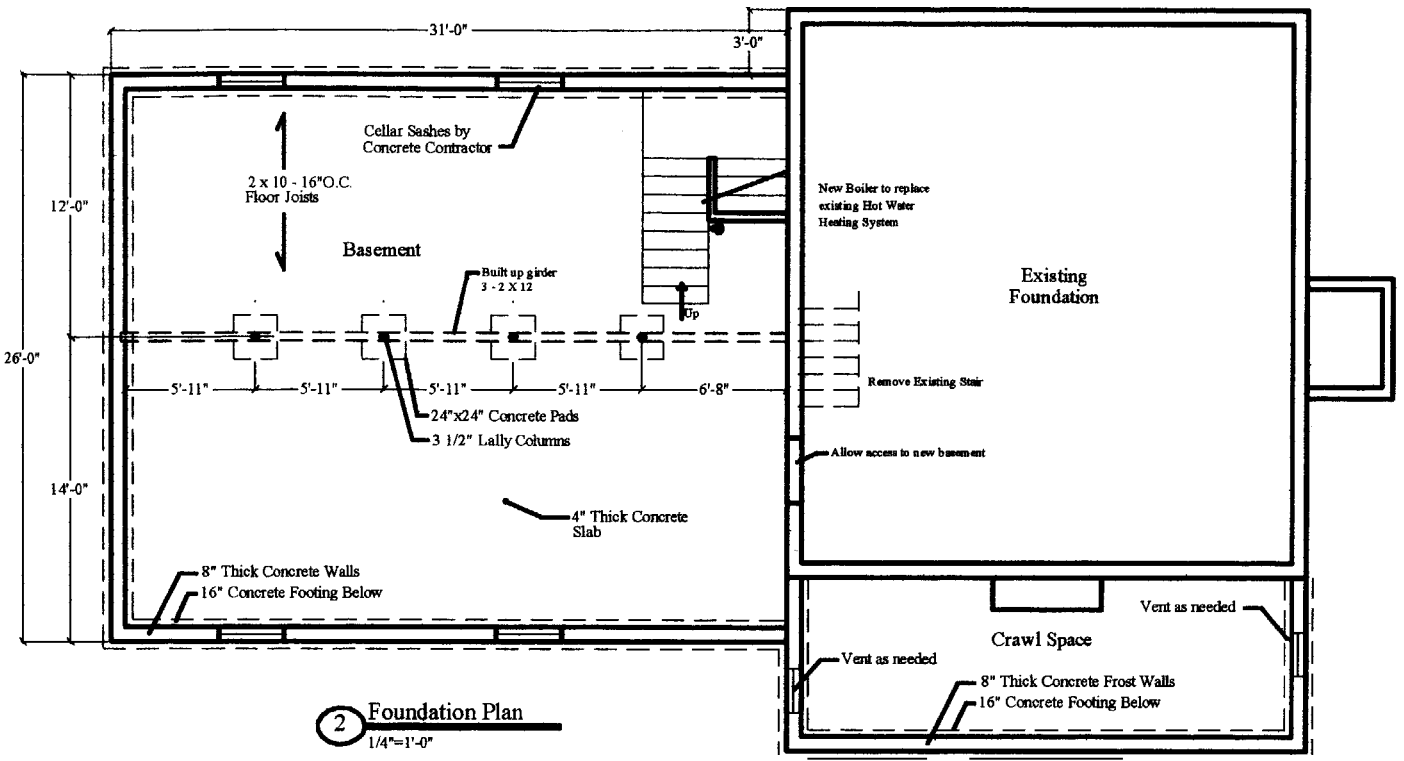
OCT 15 2004
RECEIVED

Preliminary plans - please verify design
details with a registered architect
or engineer.
Deening Lumber is not liable for
construction faults or casualty resulting
from use of this plan.

DEENING LUMBER 14 Elm Street Biddeford, Me. 04005 (207)283-3921	Project Vassallo Residence 43 Fallbrook St. Portland, Me.	Rev 10-4-04 7-19-04
	Builder Lovley Exteriors	Title Plans



NOTE:
MASON CONTRACTOR IS RESPONSIBLE FOR SIZE AND LOCATION OF OPENINGS IN FOUNDATION WALL FOR CELLAR SASH WINDOWS, WATER LINE ACCESS, SEWER LINE EXIT, AND ANY OTHER NECESSARY OPENINGS IN FOUNDATION. MASON TO CHECK WITH OWNER AND BUILDER TO ENSURE EXACT POSITION.



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
OCT 15 2004
RECEIVED

CITY OF PORTLAND, MAINE
APPROVED FOR SUBMITTAL
OCT 2 2004
SUPERSEDES ALL
PRIOR PLANS

Preliminary plans - please verify design details with a registered architect or engineer.
Deering Lumber is not liable for construction faults or casualty resulting from use of this plan.

DEERING LUMBER 14 Elm Street Biddeford, Me. 04005 (207)283-3621	Project Vassallo Residence 43 Fallbrook St. Portland, Me.	Dwg# 3.0
Builder <u>Loyley Exteriors</u>	Title Foundation Plan & Sections	Date 6-9-04
		Rev 10-4-04
		LE-2-04



CITY OF PORTLAND, MAINE

Department of Building Inspections

8.17 20 04

Received from Louley Exteriors

Location of Work 43 Fallbrook St

Cost of Construction \$ _____

Permit Fee \$ 1146⁰⁰/₁₀₀

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 16189

Check #: 1774

Total Collected \$ 1146⁰⁰/₁₀₀

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy