

161-B-43

10-79900026

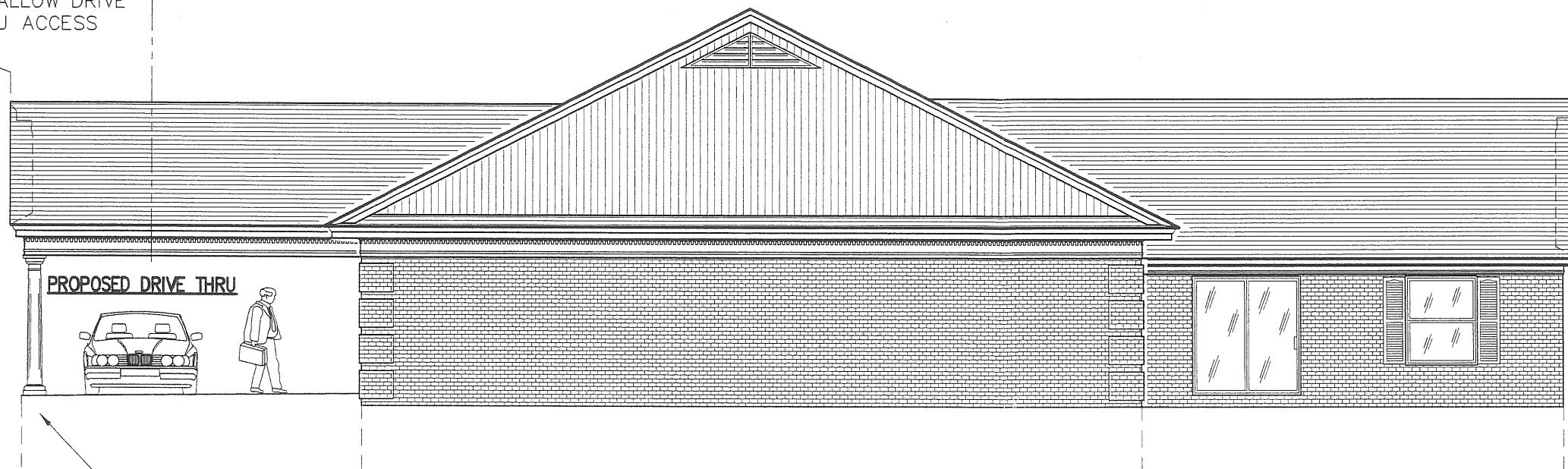
355 Canco Rd.

Building Addition

Kingdom Hall of Jehovah's  
Witnesses

PORTICO EXTENDED  
8' TO ALLOW DRIVE  
THRU ACCESS

EXISTING PORTICO



ALL ARCHITECTURAL FEATURES ON  
ON THE ADDITION AND EXTENDED  
WEST SIDE PORTICO SHALL MATCH  
THE EXISTING BUILDING.

**A** SOUTH ELEVATION  
**A3.2** SCALE: 1/8"=1'-0"

TOP OF FINSH FLOOR  
EL. AS EXISTING

REUSED PORTICO  
FROM NORTH SIDE DOOR

16'-0" ADDITION  
ON NORTH END



EXISTING WINDOW TO BE REMOVED  
AND BRICKED IN TO MATCH  
EXISTING BRICK.

**B** EAST ELEVATION  
**A3.2** SCALE: 1/8"=1'-0"

ALL ARCHITECTURAL FEATURES ON  
ON THE ADDITION AND EXTENDED  
WEST SIDE PORTICO SHALL MATCH  
THE EXISTING BUILDING.

NO	DATE	REVISION	BY
1	6-1-11	PRELIMINARY ISSUE	JMH
2	7-5-11	REVISED	

SOUTH & EAST ELEVATIONS

SHEET TITLE

PORTLAND, ME -- KINGDOM HALL  
REMODEL OF EXISTING HALL  
UNITED STATES OF AMERICA

PROJECT TITLE

DWN BY: JMH CKD BY: JMH

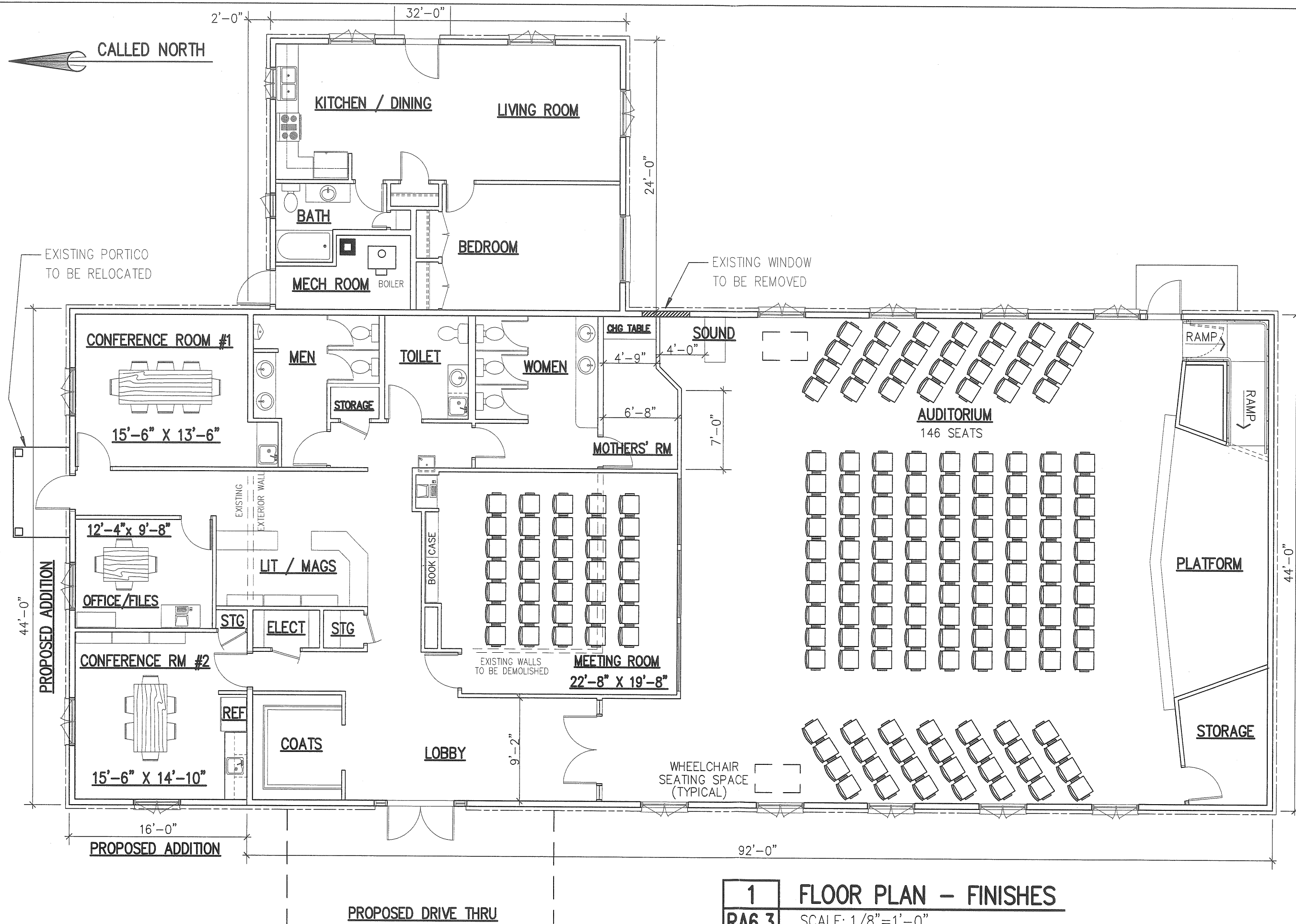
SCALE: 1/8"=1'-0"

DATE: 6-1-11

CAD #: RA302\_R2.dwg

SHEET No.

A3.2



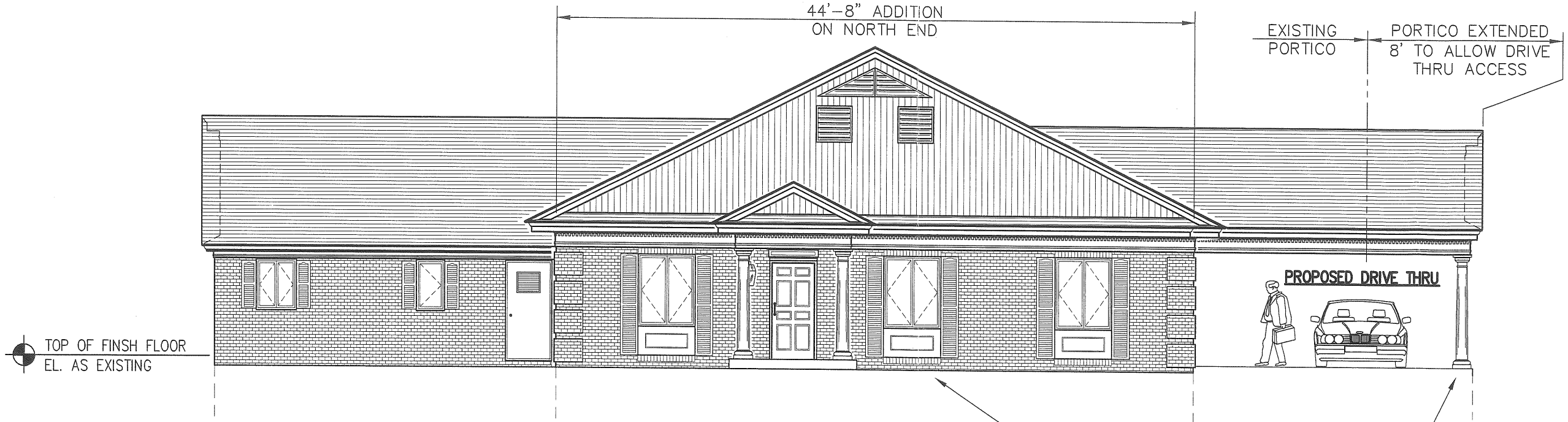
NO	DATE	REVISION	BY
1	7-11-10	PRIMINARY ISSUE	WEM
2	7-5-11	REVISED	WEM

**FLOOR PLAN  
ADDITIONS & RENOVATION**

**PORTLAND, ME. - KINGDOM HALL**  
REMODEL OF EXISTING HALL  
UNITED STATES OF AMERICA

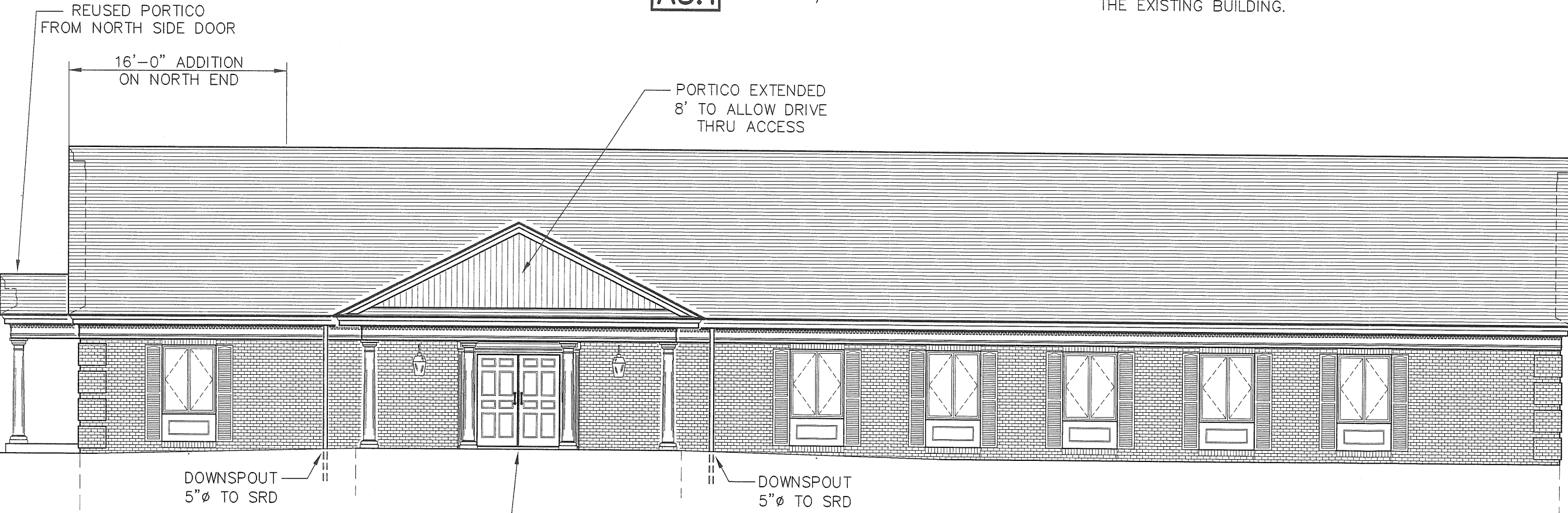
DWN BY: WEM	CKD BY:
SCALE: 1/8" = 1'-0"	
DATE: 7-11-10	
CAD #: RA202_R2.dwg	
SHEET No.	
<b>RA2.2</b>	

**1 FLOOR PLAN - FINISHES**  
**RA6.3** SCALE: 1/8" = 1'-0"



**A** NORTH ELEVATION  
**A3.1** SCALE: 1/8"=1'-0"

ALL ARCHITECTURAL FEATURES ON ON THE ADDITION AND EXTENDED WEST SIDE PORTICO SHALL MATCH THE EXISTING BUILDING.



**B** WEST ELEVATION  
**A3.1** SCALE: 1/8"=1'-0"

ALL ARCHITECTURAL FEATURES ON ON THE ADDITION AND EXTENDED WEST SIDE PORTICO SHALL MATCH THE EXISTING BUILDING.

NO	DATE	REVISION
1	6-1-11	PRELIMINARY ISSUE
2	7-5-11	REVISED

SHEET TITLE NORTH & WEST ELEVATIONS  
 PROJECT TITLE PORTLAND, ME - KINGDOM HALL  
 REMODEL OF EXISTING HALL  
 UNITED STATES OF AMERICA

DWN BY: JMH	CKD BY: JMH
SCALE: 1/8"=1'-0"	
DATE: 6-1-11	
CAD #: RA301_R2.dwg	
SHEET No.	
A3.1	

Att. E.1

# KINGDOM HALL OF JEHOVAH'S WITNESSES

## IN PORTLAND MAINE

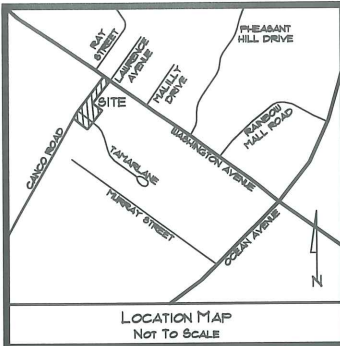
**TABLE OF CONTENTS**

<b><u>SHEET #</u></b>	<b><u>DESCRIPTION</u></b>
C-1	EXISTING CONDITIONS PLAN
C-2	SITE PLAN
C-3	GRADING, DRAINAGE, & EROSION CONTROL PLAN
C-4	UTILITY & PARKING PLAN
C-5	PHOTOMETRIC PLAN
C-6	CONSTRUCTION DETAILS
C-7	CONSTRUCTION DETAILS
L-1	LANDSCAPING PLAN
L-1A	LANDSCAPING PLAN
L-1B	LANDSCAPING PLAN—TREE REMOVAL



# EXHIBIT B

NO.	DATE	REVISION	BY	SHEET TITLE		DRN BY: MT    CKD BY: LFB
1	3/3/2011		LFB	TITLE SHEET		SCALE: AS NOTED
				PORTLAND, MAINE – KINGDOM HALL		DATE: JULY 11, 2011
						FILE: PORTLAND.DWG
						LOUIS F. BRUNO, PE, PLS



**NOTES**

1) ALL BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

2) RECORD OWNER:  
 PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES  
 BOOK 1848, PAGE 241 DATED JANUARY 21, 1986  
 (GRANTOR: THE CITY OF PORTLAND)

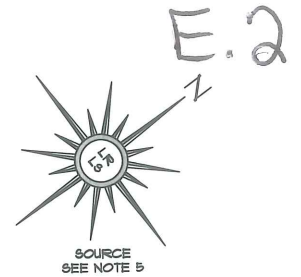
3) THE PORTION OF THE SUBJECT PARCEL TO BE DEVELOPED IS CURRENTLY LOCATED WITHIN THE R-3 RESIDENTIAL ZONE. THE PORTION OF THE PROPERTY SUBJECT TO THE EASEMENT BENEFITTING RRE TAMARLANE HOLDINGS, LLC IS LOCATED WITHIN THE R-3 RESIDENTIAL ZONE. THE CURRENT ZONING ORDINANCE SHOULD BE CONSULTED TO DETERMINE SPACE AND BULK REQUIREMENTS PRIOR TO DEVELOPMENT.

**NOTES, CONTINUED**

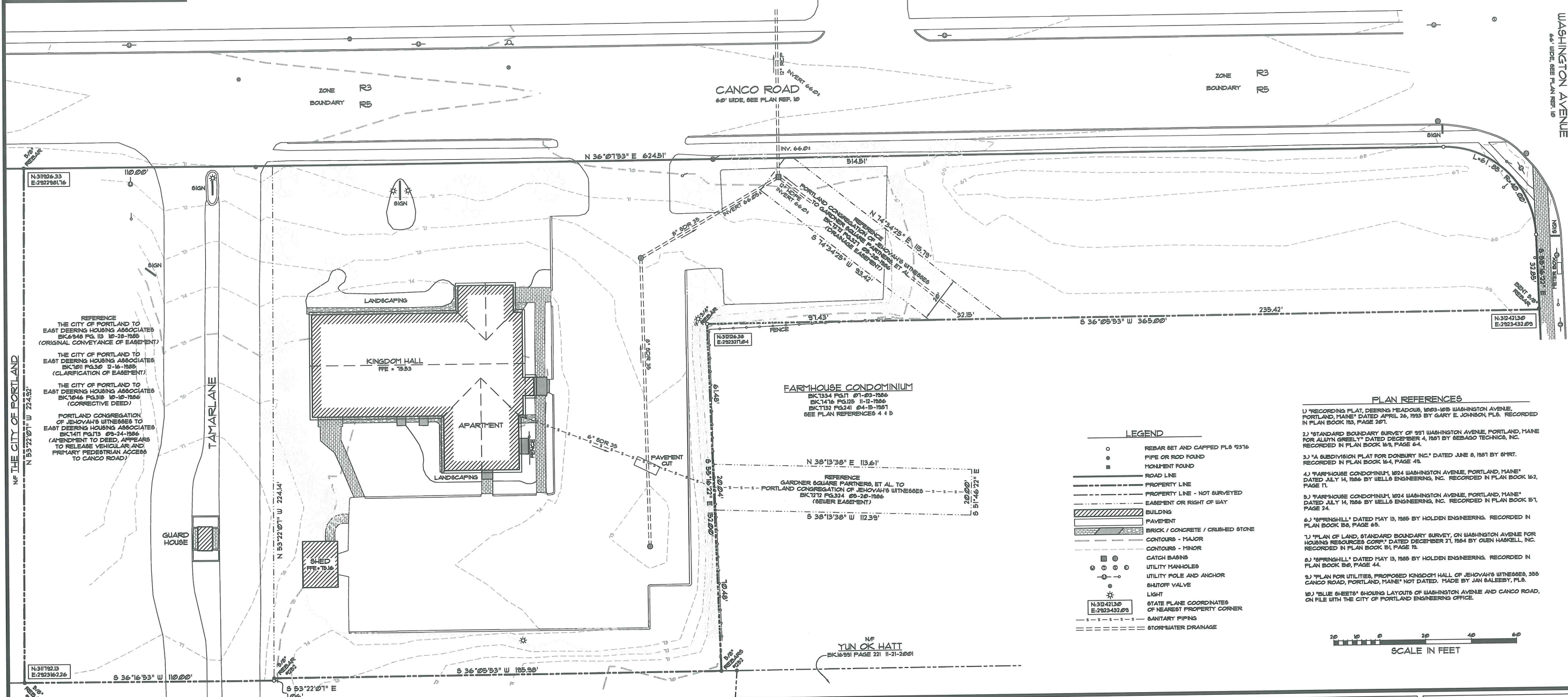
4) ELEVATIONS ARE BASED ON THE CITY OF PORTLAND VERTICAL DATUM. THE BENCHMARK USED IS A BOLT IN A GRANITE MONUMENT UNDER A CAST IRON ACCESS BOX ON THE NORTHEAST SIDE OF WASHINGTON AVENUE APPROXIMATELY 200 FEET NORTHWEST OF THE END OF CANCO ROAD. THE BENCHMARK ELEVATION OF 66.40 FEET WAS PROVIDED BY THE CITY ENGINEERING OFFICE.

5) BEARINGS SHOWN ON THIS PLAN ARE BASED ON TIES TO MONUMENTS WITH COORDINATES PROVIDED BY THE CITY ENGINEERING DEPARTMENT. IT IS ASSUMED BY THIS SURVEYOR THOSE COORDINATES ARE IN THE STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NORTH AMERICAN DATUM OF 1983 AND THE UNITS ARE U.S. SURVEY FEET.

6) THE LOCATION OF SANITARY AND STORMWATER PIPING IS BASED ON OBSERVABLE SURFACE EVIDENCE. THE SIZES, MATERIALS AND FLOW DIRECTIONS OF PIPES ARE BASED ON PLAN REFERENCE 3. PIPE INVERTS WERE INACCESSIBLE DUE TO PAVEMENT SEALING THE EDGES OF DRAINAGE STRUCTURES.



SOURCE  
SEE NOTE 5



REFERENCE  
 THE CITY OF PORTLAND TO EAST DEERING HOUSING ASSOCIATES  
 BK 6948 PG. 13 10-28-1985  
 (ORIGINAL CONVEYANCE OF EASEMENT)

THE CITY OF PORTLAND TO EAST DEERING HOUSING ASSOCIATES  
 BK 1201 PG. 30 12-16-1988  
 (CLARIFICATION OF EASEMENT)

THE CITY OF PORTLAND TO EAST DEERING HOUSING ASSOCIATES  
 BK 1046 PG. 318 10-10-1986  
 (CORRECTIVE DEED)

PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES TO EAST DEERING HOUSING ASSOCIATES  
 BK 1411 PG. 173 09-24-1986  
 (AMENDMENT TO DEED, APPEARS TO RELEASE VEHICULAR AND PRIMARY PEDESTRIAN ACCESS TO CANCO ROAD)

FARMHOUSE CONDOMINIUM  
 BK 1334 PG. 1 01-03-1986  
 BK 1416 PG. 25 11-12-1986  
 BK 1132 PG. 241 04-15-1981  
 SEE PLAN REFERENCES 4 + 5

**LEGEND**

- REBAR SET AND CAPPED P.L. 92376
- PIPE OR ROD FOUND
- MONUMENT FOUND
- ROAD LINE
- PROPERTY LINE
- - - EASEMENT OR RIGHT OF WAY
- ▨ BUILDING
- ▨ PAVEMENT
- ▨ BRICK / CONCRETE / CRUSHED STONE
- CONTOURS - MAJOR
- CONTOURS - MINOR
- CATCH BASIN
- UTILITY MANHOLES
- UTILITY POLE AND ANCHOR
- SHUTOFF VALVE
- LIGHT
- STATE PLANE COORDINATES OF NEAREST PROPERTY CORNER
- SANITARY PIPING
- STORMWATER DRAINAGE

- PLAN REFERENCES**
- 1) RECORDING PLAT, DEERING MEADOWS, 1093-1095 WASHINGTON AVENUE, PORTLAND, MAINE DATED APRIL 26, 1933 BY GARY E. JOHNSON, P.L.S. RECORDED IN PLAN BOOK 183, PAGE 201.
  - 2) STANDARD BOUNDARY SURVEY OF 351 WASHINGTON AVENUE, PORTLAND, MAINE DATED DECEMBER 4, 1951 BY GEBAGO TECHNICAL, INC. RECORDED IN PLAN BOOK 169, PAGE 64.
  - 3) A SUBDIVISION PLAT FOR DONBURY INC. DATED JUNE 8, 1951 BY STURT. RECORDED IN PLAN BOOK 154, PAGE 43.
  - 4) FARMHOUSE CONDOMINIUM, 1924 WASHINGTON AVENUE, PORTLAND, MAINE DATED JULY 14, 1986 BY WELLS ENGINEERING, INC. RECORDED IN PLAN BOOK 162, PAGE 11.
  - 5) FARMHOUSE CONDOMINIUM, 1924 WASHINGTON AVENUE, PORTLAND, MAINE DATED JULY 14, 1986 BY WELLS ENGINEERING, INC. RECORDED IN PLAN BOOK 161, PAGE 24.
  - 6) SPRINGHILL DATED MAY 13, 1955 BY HOLDEN ENGINEERING. RECORDED IN PLAN BOOK 185, PAGE 65.
  - 7) PLAN OF LAND, STANDARD BOUNDARY SURVEY, ON WASHINGTON AVENUE FOR HOUSING RESOURCES CORP. DATED DECEMBER 21, 1954 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 151, PAGE 19.
  - 8) SPRINGHILL DATED MAY 13, 1955 BY HOLDEN ENGINEERING. RECORDED IN PLAN BOOK 186, PAGE 44.
  - 9) PLAN FOR UTILITIES, PROPOSED KINGDOM HALL OF JEHOVAH'S WITNESSES, 355 CANCO ROAD, PORTLAND, MAINE NOT DATED. MADE BY JAN SALEEBY, P.L.S.
  - 10) BLUE SHEETS SHOWING LAYOUTS OF WASHINGTON AVENUE AND CANCO ROAD, ON FILE WITH THE CITY OF PORTLAND ENGINEERING OFFICE.



CUMBERLAND, ME REGISTRY OF DEEDS  
 Received \_\_\_\_\_  
 At \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ M, and  
 Filed In Plan Book \_\_\_\_\_ Page \_\_\_\_\_  
 ATTEST: \_\_\_\_\_ Registrar

RRE TAMARLANE HOLDINGS, LLC  
 BK 28956 PG. 134 04-20-08  
 REFERENCE  
 THE CITY OF PORTLAND TO EAST DEERING HOUSING ASSOCIATES  
 BK 6948 PG. 13 10-28-1985  
 SEE PLAN REFERENCES 6, 7 + 8

NO.	DATE	REVISION	BY
1	03-14-2011	MUNICIPAL REVIEW	JJR
2	07-03-2011	TITLE BLOCK	JJR
3	07-25-2011	MUNICIPAL REVIEW	JJR

LITTLE RIVER SURVEYING  
 JERAMIAH J. RAITT  
 ME PLS 92376 NH LLS 9351  
 56 FROST HILL AVENUE  
 LISBON FALLS, MAINE 04252  
 (207) 841-0056

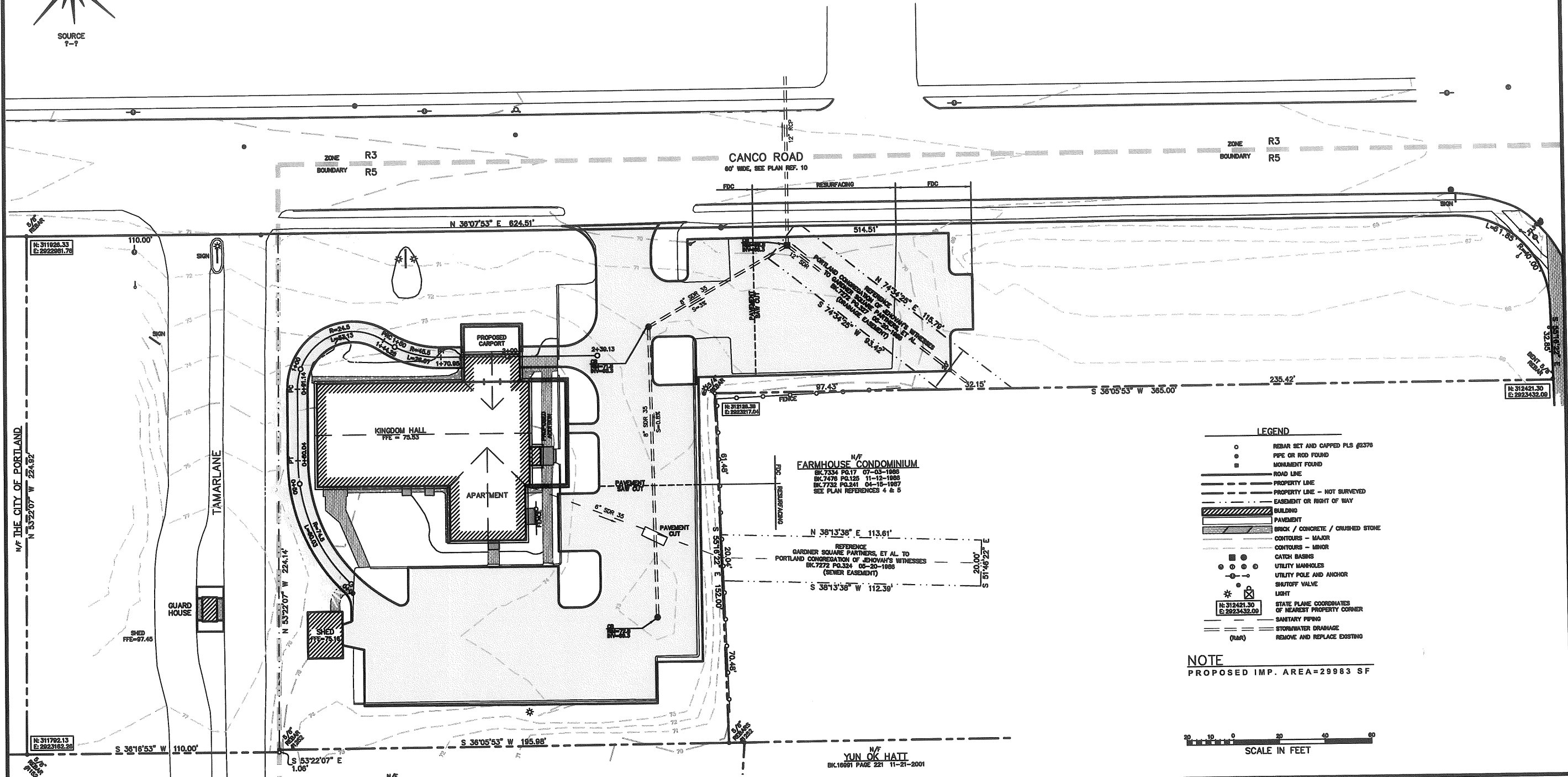
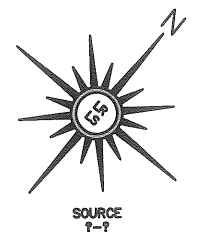
SHEET TITLE  
**RETRACEMENT SURVEY & EXISTING CONDITIONS PLAN**

LAND OF  
**PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES**  
 355 CANCO ROAD, PORTLAND, MAINE 04101

JERAMIAH J. RAITT, PLS 92376

DRN BY: JJR CKD BY: JJR  
 SCALE: 1" = 20'  
 DATE: JANUARY 22, 2010  
 FILE: PORTLAND.DWG  
 SHEET NO. C-1

E.3



- LEGEND**
- REBAR SET AND CAPPED PLS #2378
  - PIPE OR ROD FOUND
  - MONUMENT FOUND
  - ROAD LINE
  - - - PROPERTY LINE - NOT SURVEYED
  - - - EASEMENT OR RIGHT OF WAY
  - ▨ BUILDING
  - ▨ PAVEMENT
  - ▨ BRICK / CONCRETE / CRUSHED STONE
  - - - CONTOURS - MAJOR
  - - - CONTOURS - MINOR
  - CATCH BASINS
  - UTILITY MANHOLES
  - UTILITY POLE AND ANCHOR
  - SHUTOFF VALVE
  - LIGHT
  - STATE PLANE COORDINATES OF NEAREST PROPERTY CORNER
  - SANITARY PIPING
  - STORMWATER DRAINAGE
  - (R/R) REMOVE AND REPLACE EXISTING

**NOTE**  
PROPOSED IMP. AREA = 29983 SF



RRE TAMARLANE HOLDINGS, LLC  
BK.22900 PG.134 04-2008  
REFERENCE  
THE CITY OF PORTLAND TO  
EAST DEERING HOUSING ASSOCIATES  
BK.8048 PG.113 10-28-1995  
SEE PLAN REFERENCES 6, 7 & 8

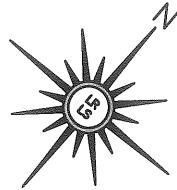
NO.	DATE	REVISION	BY
1	3/3/2010		LFB
2	5/25/2011	SAW CUT	LFB
3	6/15/2011	PARKING	LFB

SHEET TITLE  
**SITE PLAN**  
**PORTLAND, MAINE - KINGDOM HALL**

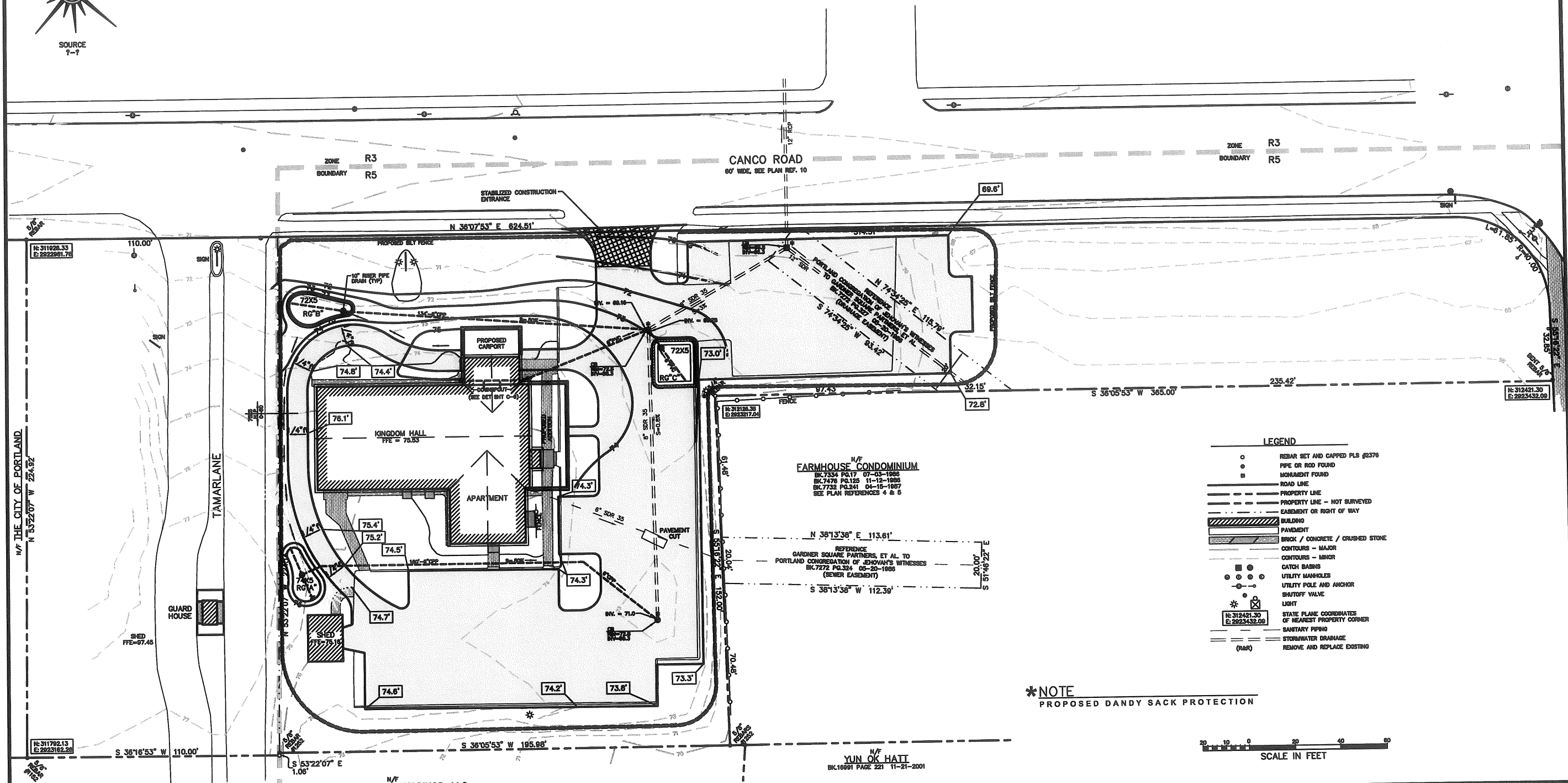
DRN BY: MT CKD BY: LFB  
SCALE: 1" = 20'  
DATE: JULY 11, 2011  
FILE: PORTLAND.DWG  
SHEET NO.  
LOUIS F. BRUNO, PE, PLS

C-2

E.4



SOURCE  
T-1



**LEGEND**

- REBAR SET AND CAPPED PLS (R2378)
- PIPE OR ROD FOUND
- MONUMENT FOUND
- ROAD LINE
- PROPERTY LINE
- - - PROPERTY LINE - NOT SURVEYED
- - - EASEMENT OR RIGHT OF WAY
- ▨ BUILDING
- ▨ PAVEMENT
- ▨ BRICK / CONCRETE / CRUSHED STONE
- CONTOURS - MAJOR
- CONTOURS - MINOR
- CATCH BASIN
- UTILITY MANHOLES
- UTILITY POLE AND ANCHOR
- SHUTOFF VALVE
- LIGHT
- STATE PLANE COORDINATES OF NEAREST PROPERTY CORNER
- SANITARY PIPING
- STORMWATER DRAINAGE
- (R&R) REMOVE AND REPLACE EXISTING

**\*NOTE**  
PROPOSED DANDY SACK PROTECTION



RRE TAMARLANE HOLDINGS, LLC  
 BK.25998 PG.134 04-2008  
 REFERENCE  
 THE CITY OF PORTLAND TO  
 EAST DEERING HOUSING ASSOCIATES  
 BK.6948 PG.113 10-28-1985  
 SEE PLAN REFERENCES 6, 7 & 8

N/F FARMHOUSE CONDOMINIUM  
 BK.7334 PG.17 07-03-1988  
 BK.7478 PG.123 11-12-1988  
 BK.7732 PG.241 04-15-1987  
 SEE PLAN REFERENCES 4 & 5

N 38°13'38" E 113.61'  
 REFERENCE  
 GARDNER SQUARE PARTNERS, ET AL TO  
 PORTLAND CONGREGATION OF JESHOVAH'S WITNESSES  
 BK.7272 PG.324 05-20-1988  
 (SEWER EASEMENT)

N/F YUN OK HATT  
 BK.10891 PAGE 221 11-21-2001

NO.	DATE	REVISION	BY
1	11/22/2010	DEP	LFB
2	5/25/2011	CONTOURS & RAIN GARDENS	LFB
3	6/15/2011	EXISTING DRAINAGE	LFB

SHEET TITLE  
**GRADING, DRAINAGE, & EROSION CONTROL PLAN**  
 PORTLAND, MAINE - KINGDOM HALL

DRN BY: MT CKD BY: LFB  
 SCALE: 1" = 20'  
 DATE: JULY 11, 2011  
 FILE: PORTLAND.DWG  
 SHEET NO.  
**C-3**  
 LOUIS F. BRUNO, PE, PLS

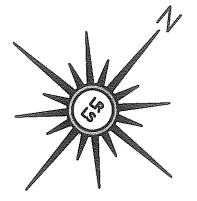
DRN BY: MT CKD BY: LFB  
 SCALE: 1" = 20'  
 DATE: JULY 11, 2011  
 FILE: PORTLAND.DWG  
 SHEET NO.  
**C-3**



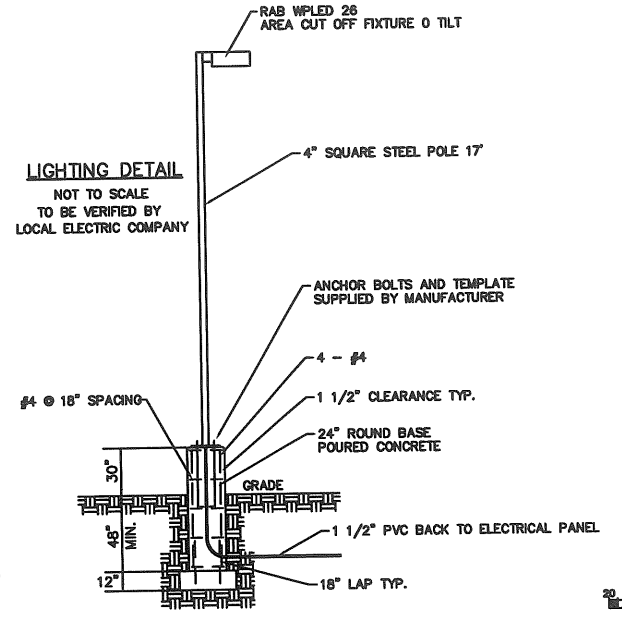
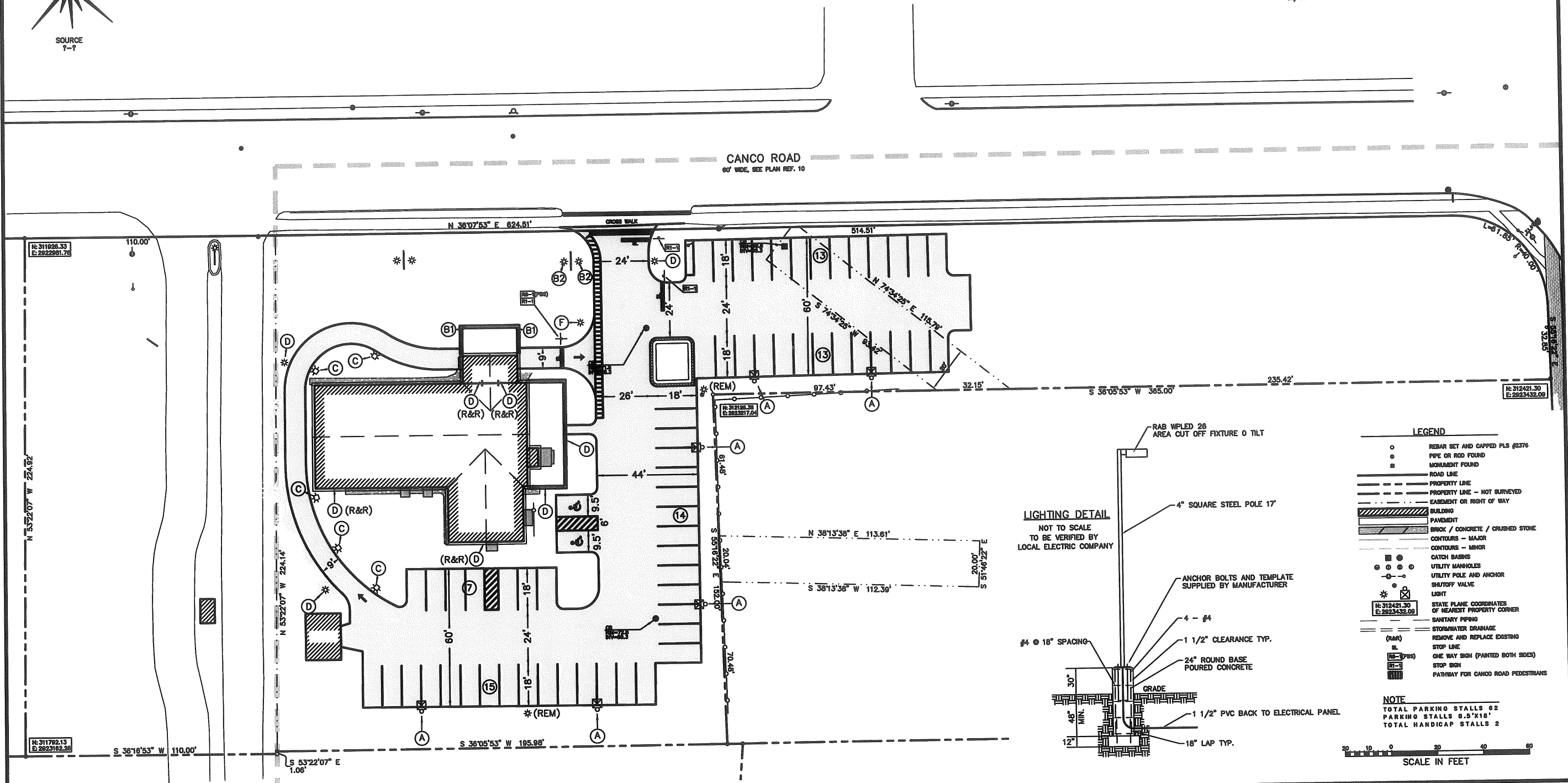
E.S

**LIGHTING NOTES**

- 1.) SEE EXHIBIT A FOR CATALOG CUTS OF POLES & LIGHTING FIXTURES
- 2.) IESNA DESIGN CRITERIA: PARKING AREA WITH PEDESTRIAN USE
- 3.) FIXTURES WILL BE EQUIPPED WITH FULL CUTOFFS.



SOURCE  
7-7



**LEGEND**

- REBAR SET AND CAPPED PLS #2576
- PIPE OR ROD FOUND
- MONUMENT FOUND
- ROAD LINE
- - - PROPERTY LINE
- - - PROPERTY LINE - NOT SURVEYED
- - - EASEMENT OR RIGHT OF WAY
- ▨ BUILDING
- ▨ PAVEMENT
- ▨ BRICK / CONCRETE / CRUSHED STONE
- - - CONTOURS - MAJOR
- - - CONTOURS - MINOR
- CATCH BASINS
- UTILITY MANHOLES
- UTILITY POLE AND ANCHOR
- SHUTOFF VALVE
- \* LIGHT
- STATE PLANE COORDINATES OF NEAREST PROPERTY CORNER
- SANITARY PIPING
- (R&R) STOP WATER DRAINAGE REMOVE AND REPLACE EXISTING
- STOP LINE
- ONE WAY SIGN (PAINTED BOTH SIDES)
- STOP SIGN
- PATHWAY FOR CANCO ROAD PEDESTRIANS

**NOTE**

TOTAL PARKING STALLS 62  
 PARKING STALLS 6.5'X18'  
 TOTAL HANDICAP STALLS 2

SCALE IN FEET

NO.	DATE	REVISION	BY
1	3/3/2011		LFB
2	6/15/2011	LIGHTING AND PARKING	LFB
3	7/30/2011	SIGNS AND PAVEMENT MARKINGS	LFB
4	8/8/2011	LIGHTING	LFB

SHEET TITLE

**UTILITY & PARKING PLAN**

**PORTLAND, MAINE - KINGDOM HALL**

DRN BY: MT CKD BY: LFB

SCALE: 1" = 20'

DATE: JULY 11, 2011

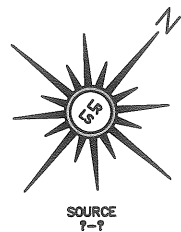
FILE: PORTLAND.DWG

LOUIS F. BRUNO, PE, PLS

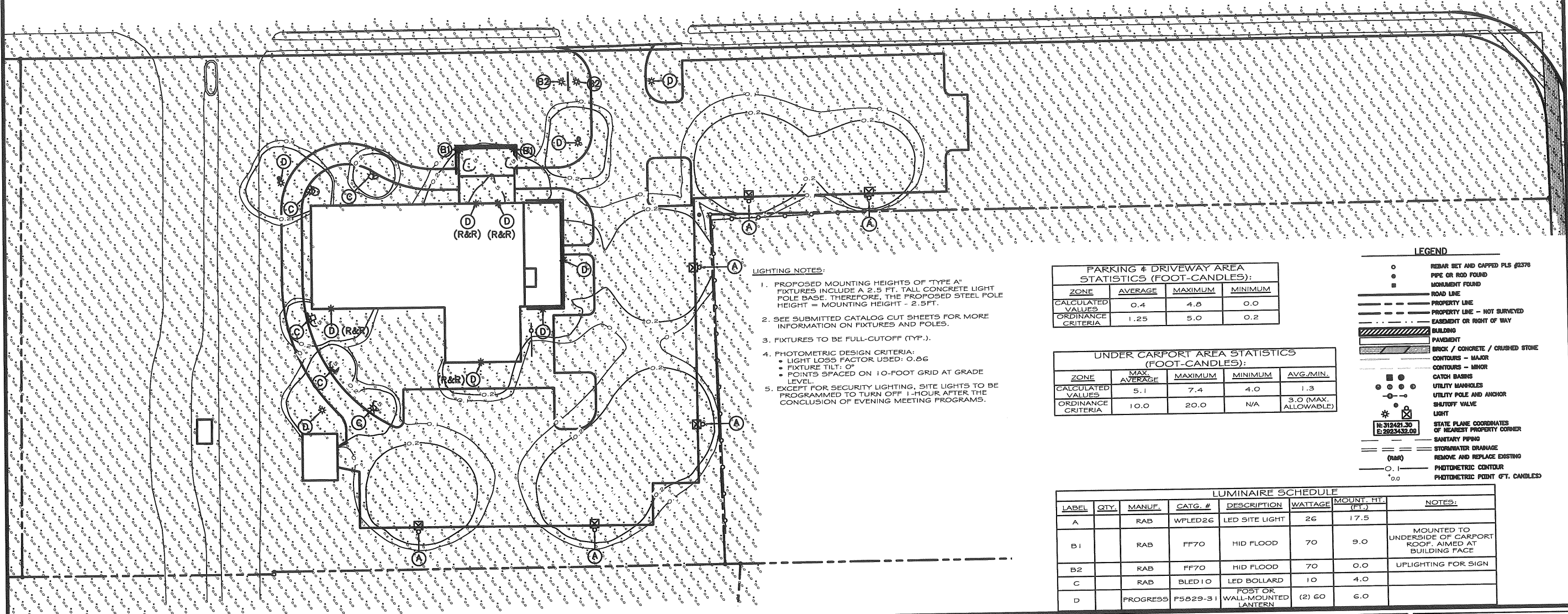
SHEET NO.

C-4

E. 6



GANGE ROAD  
80' WIDE, SEE PLAN REF. 10



- LIGHTING NOTES:**
- PROPOSED MOUNTING HEIGHTS OF "TYPE A" FIXTURES INCLUDE A 2.5 FT. TALL CONCRETE LIGHT POLE BASE. THEREFORE, THE PROPOSED STEEL POLE HEIGHT = MOUNTING HEIGHT - 2.5 FT.
  - SEE SUBMITTED CATALOG CUT SHEETS FOR MORE INFORMATION ON FIXTURES AND POLES.
  - FIXTURES TO BE FULL-CUTOFF (TYP.).
  - PHOTOMETRIC DESIGN CRITERIA:
    - LIGHT LOSS FACTOR USED: 0.86
    - FIXTURE TILT: 0°
    - POINTS SPACED ON 10-FOOT GRID AT GRADE LEVEL.
  - EXCEPT FOR SECURITY LIGHTING, SITE LIGHTS TO BE PROGRAMMED TO TURN OFF 1-HOUR AFTER THE CONCLUSION OF EVENING MEETING PROGRAMS.

**PARKING & DRIVEWAY AREA STATISTICS (FOOT-CANDLES):**

ZONE	AVERAGE	MAXIMUM	MINIMUM
CALCULATED VALUES	0.4	4.8	0.0
ORDINANCE CRITERIA	1.25	5.0	0.2

**UNDER CARPORT AREA STATISTICS (FOOT-CANDLES):**

ZONE	MAX. AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.
CALCULATED VALUES	5.1	7.4	4.0	1.3
ORDINANCE CRITERIA	10.0	20.0	N/A	3.0 (MAX. ALLOWABLE)

**LEGEND**

- REBAR SET AND CAPPED PLS #2576
- PIPE OR ROD FOUND
- MONUMENT FOUND
- ROAD LINE
- PROPERTY LINE
- PROPERTY LINE - NOT SURVEYED
- EASEMENT OR RIGHT OF WAY
- ▨ BUILDING
- ▨ PAVEMENT
- ▨ BRICK / CONCRETE / CRUSHED STONE
- CONTOURS - MAJOR
- CONTOURS - MINOR
- CATCH BASINS
- UTILITY MANHOLE
- UTILITY POLE AND ANCHOR
- SHUTOFF VALVE
- ★ LIGHT
- ★ STATE PLANE COORDINATES OF NEAREST PROPERTY CORNER
- SANITARY PIPING
- STORMWATER DRAINAGE
- REMOVE AND REPLACE EXISTING
- PHOTOMETRIC CONTOUR
- PHOTOMETRIC POINT (FT. CANDLES)

**LUMINAIRE SCHEDULE**

LABEL	QTY.	MANUF.	CATG. #	DESCRIPTION	WATTAGE	MOUNT. HT. (FT.)	NOTES:
A		RAB	WPLED2G	LED SITE LIGHT	26	17.5	
B1		RAB	FF70	HID FLOOD	70	9.0	MOUNTED TO UNDERSIDE OF CARPORT ROOF. AIMED AT BUILDING FACE
B2		RAB	FF70	HID FLOOD	70	0.0	UPLIGHTING FOR SIGN
C		RAB	BLE10	LED BOLLARD	10	4.0	
D		PROGRESS	F5829-31	POST OR WALL-MOUNTED LANTERN	(2) 60	6.0	



NO.	DATE	REVISION	BY
1	3/3/2011		LFB
2	6/15/2011	LIGHTING AND PARKING	LFB

SHEET TITLE

# PHOTOMETRIC PLAN

## PORTLAND, MAINE - KINGDOM HALL

DRN BY: MT CKD BY: LFB

SCALE: 1" = 20'

DATE: JULY 11, 2011

FILE: PORTLAND.DWG

SHEET NO. C-5

LOUIS F. BRUNO, PE, PLS

E.8

**EROSION CONTROL CONSTRUCTION SEQUENCE**

ALL EARTHWORK OR CONSTRUCTION ACTIVITIES SHALL OCCUR AFTER APRIL 15 AND BEFORE NOVEMBER 15 UNLESS PRIOR PERMISSION IS OBTAINED. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES PRIOR TO THE DISTURBANCE OF ANY WORK AREA.

PRIOR TO ANY CLEARING OR GRUBBING, A CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE INTERSECTION OF THE PROPOSED ENTRANCE AND EXISTING ROADWAY TO AVOID TRACKING OF MUD, DUST, AND DEBRIS FROM THE SITE.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED-UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE (3) COPIES OF THE SCHEDULE AND MARKED-UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING.

1. INSTALL SILT FENCING, CATCH BASIN, DANDY SACK PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCES ACCORDING TO DETAILS PROVIDED ON THIS SHEET.
2. SAW CUT PAVEMENT AND REMOVE EXISTING PAVEMENT AS SHOWN ON PLAN.
3. INSTALL RAIN GARDEN DISCHARGE PIPES INTO EXISTING BASINS AS SHOWN ON PLAN.
4. INSTALL LIGHT POLE FOUNDATIONS AND CONDUIT.
5. GRADE PROJECT TO SUBGRADE LEVEL IN LOGICAL MANNER TO MINIMIZE EARTH MOVING AND TO PRESERVE PARKING NOT TO BE DISTURBED.
6. SEE RG DETAILS THIS SHEET DO NOT INSTALL SOIL FILL UNTIL PLANTING IS READY TO BE INSTALLED.
7. INSTALL GRAVEL BASE. REMOVE TEMPORARY CONSTRUCTION ENTRANCE IMMEDIATELY PRIOR TO PLACING PARKING AREA HMA BASE.
8. COMPLETE FINISH GRADING. LOAM, SEED AND MULCH ALL DISTURBED AREAS NOT TO BE PAVED OR RIP-RAPPED. REMOVE EXCESS ACCUMULATED SEDIMENTS FROM SEDIMENT TRAP BOTTOMS.
9. COMPLETE UNFINISHED CONSTRUCTION AND FINISH PAVING.
10. REMOVE SILT FENCE WHEN 85-90% OF GRASS GROWTH HAS BEEN ESTABLISHED.

**TEMPORARY SEEDING NOTES**

1. ANY DISTURBED AREAS TO BE LEFT IN ROUGH GRADED FORM FOR MORE THAN 30 DAYS BUT LESS THAN ONE GROWING SEASON SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED.
2. APPLICATION RATES AND MATERIALS USED SHALL BE THE SAME AS FOR PERMANENT SEEDING EXCEPT SEED MIXTURE SHALL BE ANNUAL RYEGRASS.

**PERMANENT SEEDING NOTES FOR ALL DISTURBED AREAS**

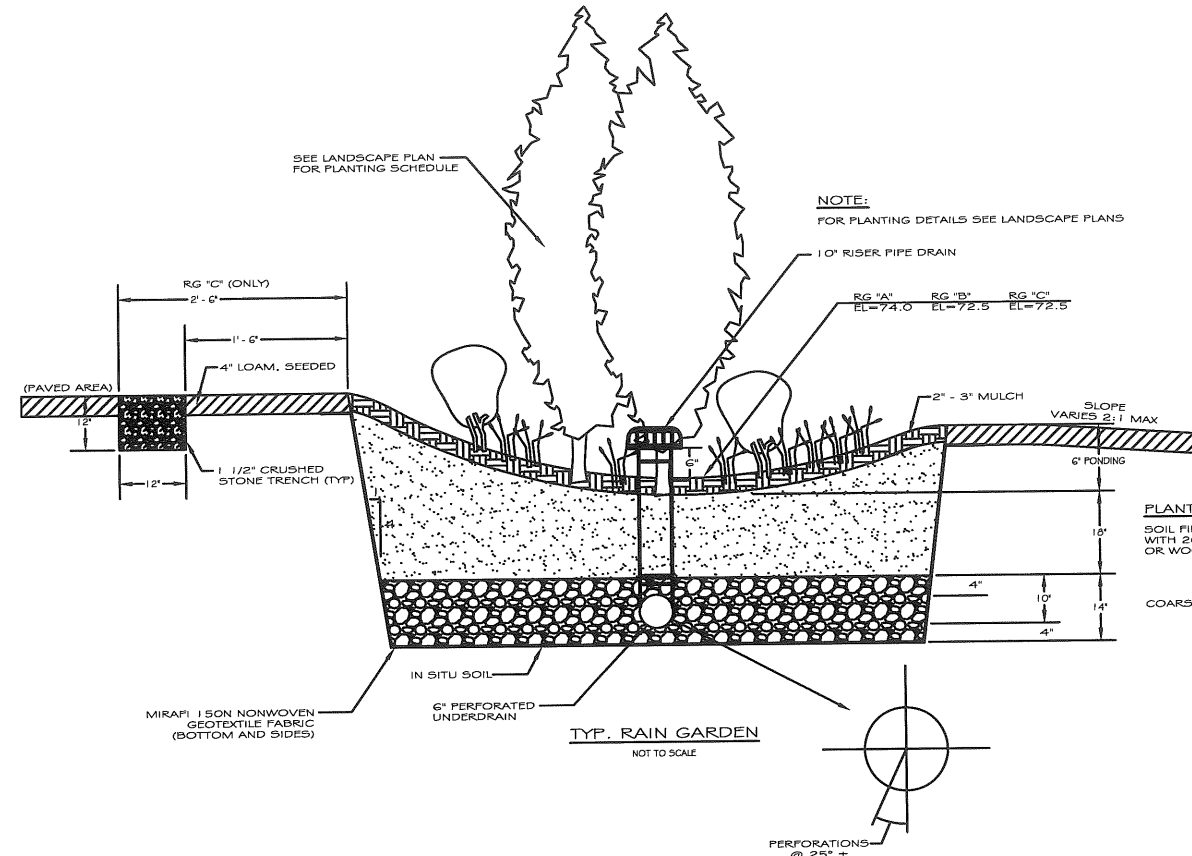
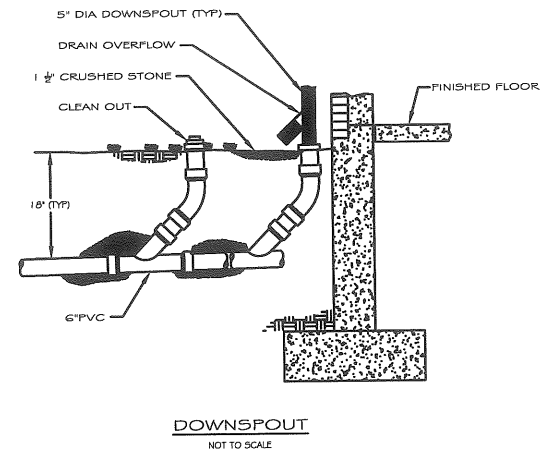
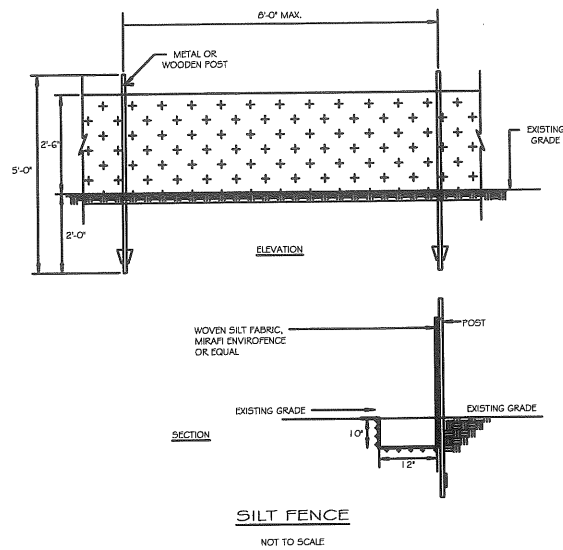
1. DURING PERIOD FROM APRIL 15 TO OCTOBER 15, AREAS DISTURBED SHALL BE LIMED, FERTILIZED SEEDED AND MULCHED AS FOLLOWS:  
A. SEEDING SHALL BE AS SPECIFIED IN MDOT STANDARD SPECIFICATIONS, SECTION 618 FOR VARIOUS AREAS.  
B. SEEDING SHALL INCLUDE FERTILIZERS, MULCH, LIME AND OTHER ITEMS IN MDOT SECTION 618
2. AFTER SEEDING, AREAS DISTURBED SHALL BE MULCHED AS DESCRIBED IN MDOT STANDARD SPECIFICATIONS SECTION 619.
3. NO SEEDING SHALL TAKE PLACE BETWEEN JUNE 15 AND JULY 15 UNLESS SPECIFICALLY APPROVED BY ENGINEER AND SYSTEM OF WATER IS IMPLEMENTED. AS A CONTINGENCY PLAN, AREAS DISTURBED DURING THESE DATES SHALL BE HAY MULCHED AT A RATE OF 2 BALES/1,000 SF AND SECURED WITH PEG AND TWINE OF 4-6 PEGS/SY OR WITH TERRA TACK II AT A RATE OF 60 GALLONS/ACRE.
4. WEEKLY, OR AFTER PRECIPITATION PRODUCING THE EQUIVALENT OF ONE HALF INCH OF RAINFALL OR SNOWMELT, ALL MULCHED AREAS SHALL BE INSPECTED FOR SUITABILITY FOR EROSION CONTROL AND SLOPE PROTECTION. WEAKENED AREAS SHALL BE RE-MULCHED AS 2) ABOVE.
5. WITHIN 30-45 DAYS OF SEED APPLICATION, ALL AREAS SHALL BE INSPECTED FOR SATISFACTORY GROWTH. AREAS OF LESS THAN 75 PERCENT GROWTH SHALL BE RESEED AT ORIGINAL APPLICATION RATES, MULCHED AND MAINTAINED ACCORDINGLY AS SPECIFIED ABOVE.
6. PERMANENT SEEDING SHALL BE INSTALLED IMMEDIATELY UPON REACHING FINAL GRADE.

**DORMANT SEEDING NOTES**

1. DURING PERIODS FROM OCTOBER 1 TO NOVEMBER 15, AREAS DISTURBED SHALL BE DORMANT SEEDED WITH WINTER RYE, 1.5 LB/1,000 SF. DURING PERIODS BETWEEN NOVEMBER 15 AND APRIL 15, DISTURBED AREAS SHALL BE MULCHED AND IF NECESSARY, STABILIZED WITH EROSION CONTROL MESH.

**GENERAL NOTES**

1. ON-SITE STABILIZATION WILL BE DONE WITHIN 15 DAYS OF FINAL GRADING OR WITHIN 30 DAYS OF INITIAL SOIL DISTURBANCE.
2. EVERY WEEK AND AFTER PRECIPITATION PRODUCING THE EQUIVALENT OF ONE HALF INCH OF RAINFALL, THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF SEDIMENT FROM SILT FENCE IF SOIL ACCUMULATES TO A DEPTH OF ONE-HALF THE FABRIC HEIGHT; REPAIR OF HAYBALE BARRIERS IF RUNOFF CHANNELIZES UNDER OR AROUND THE BALES; REMOVAL OF EXCESS ACCUMULATED SEDIMENT FROM DETENTION POND; AND WASHING OF TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO OCCURRENCES OF SIGNIFICANT TRACKING.
3. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH "MAINE EROSION & SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES", BY MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2003.
4. REFER TO THIS SHEET FOR ALL RIP-RAP APRON AND SILT FENCE DETAILS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MEASURES, INCLUDING MATERIALS, CONSTRUCTION, MAINTENANCE AND REMOVAL.
6. EROSION CONTROL FABRIC SHALL BE INSTALLED ON ALL LOAM AND SEEDED AREAS WHICH HAVE A SLOPE GREATER THAN 3:1.
7. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A MONTHLY BASIS ONCE FINAL STABILIZATION IS COMPLETE, BY THE INSPECTING ENGINEER. THIS INSPECTION IN NO WAY REDUCES OR ELIMINATES THE CONTRACTOR'S RESPONSIBILITY TO ADHERE WITH VERBAL OR WRITTEN REQUIREMENTS OF DEP, ARMY CORPS, EPA, OR OTHER JURISDICTIONAL AGENCIES. CONTRACTOR MUST FURTHER ADHERE TO ALL REQUIREMENTS SET FORTH IN THE DEP ORDER OF CONDITIONS.



COARSE LOAMY SAND SOIL FILTER BED	
SIEVE #	% PASSING BY WEIGHT
3/8"	100
#4	95 - 100
#8	80 - 100
#16	50 - 85
#30	25 - 60
#60	10 - 30
#100	2 - 10
#200	0 - 5

**PLANTING SOIL MIX TYPE B**

PLANTING SOIL MIX  
SOIL FILTER COARSE LOAMY SAND WITH 20%-25% BY VOLUME SHREDDED BARK OR WOOD FIBER MULCH  
COARSE GRAVEL (MDOT 703.22 'B')

**BMP - RAIN GARDEN - RG'A', RG'B', RG'C'**

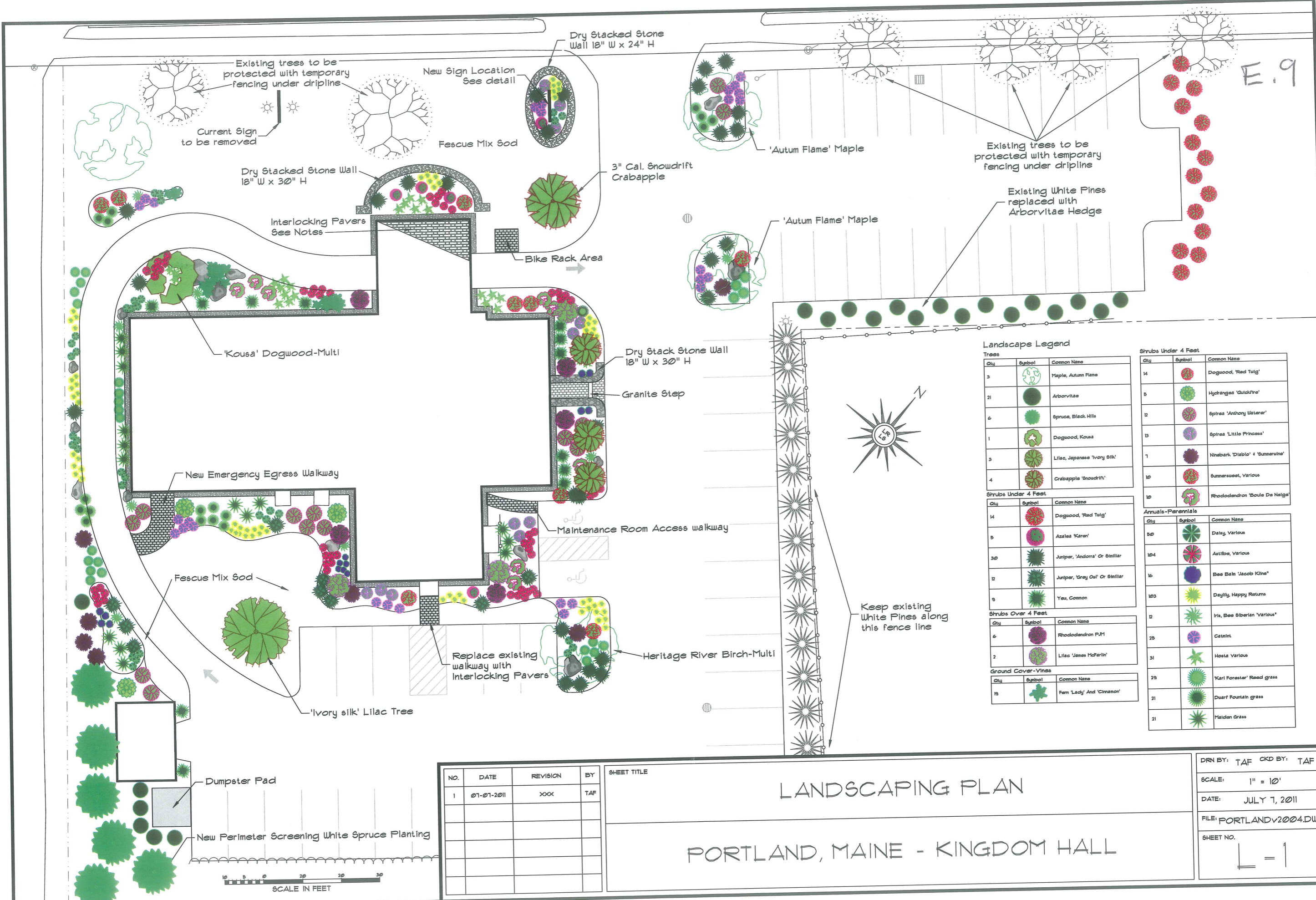
ACTIVITY	FREQUENCY	INSPECTOR	DATE OF INSPECTION	DATE OF ACTIVITY
INSPECT AND REMOVE TRASH	MONTHLY			
MOW	2 TO 4 TIMES PER YEAR			
REMOVE DEAD VEGETATION	ANNUALLY			
INSPECT DRAINS	FOUR TIMES PER YEAR			
CLEAN DRAINS	FOUR TIMES PER YEAR			

**OPERATION MAINTENANCE SCHEDULE AND LOG**

NO.	DATE	REVISION	BY	SHEET TITLE
1	5/25/2011		LFB	CONSTRUCTION DETAILS
				PORTLAND, MAINE - KINGDOM HALL

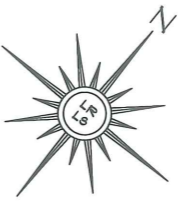
DRN BY: MT	CKD BY: LFB
SCALE: AS NOTED	
DATE: JULY 11, 2011	
FILE: PORTLAND.DWG	
SHEET NO. C-7	
LOUIS F. BRUNO, PE, PLS	

E.9



Landscape Legend

Trees			Shrubs Under 4 Feet		
Qty	Symbol	Common Name	Qty	Symbol	Common Name
3		Maple, Autumn Flame	14		Dogwood, 'Red Tail'
21		Arborvitae	5		Hydrangea 'Quickfire'
6		Spruce, Black Hills	12		Spiraea 'Anthony Waterer'
1		Dogwood, Kousa	13		Spiraea 'Little Princess'
3		Lilac, Japanese 'Ivory Silk'	1		Ninebark 'Diablo' & 'Summerline'
4		Crabapple 'Snowdrift'	10		Summersweet, Various
Shrubs Over 4 Feet			10		Rhododendron 'Boule De Neige'
Qty	Symbol	Common Name	Annule-Perennials		
14		Dogwood, 'Red Tail'	Qty	Symbol	Common Name
5		Azalea 'Keren'	50		Daylily, Various
30		Juniper, 'Andorra' Or Sentinel	104		Aster, Various
12		Juniper, 'Grey Owl' Or Sentinel	16		Bee Balm 'Jacob Kline'
9		Yew, Common	103		Daylily, 'Happy Returns'
Ground Cover-Vines			12		Iris, Bee Siberian 'Various'
Qty	Symbol	Common Name	25		Catalpa
6		Rhododendron 'PJM'	31		Hosta, Various
2		Lilac 'James McFarlin'	25		'Carl Forester' Reed grass
10		Fern 'Lady' And 'Cinnamon'	21		Dwarf Fountain grass
			21		Maiden Grass



Keep existing White Pines along this fence line

NO.	DATE	REVISION	BY
1	07-07-2011	XXX	TAF

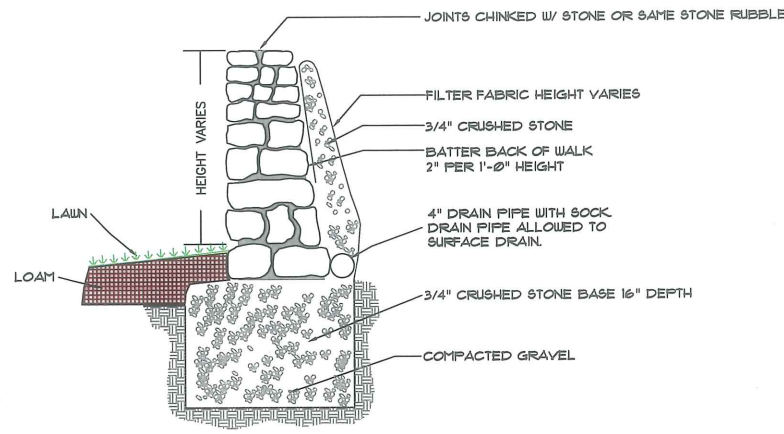
SHEET TITLE

LANDSCAPING PLAN

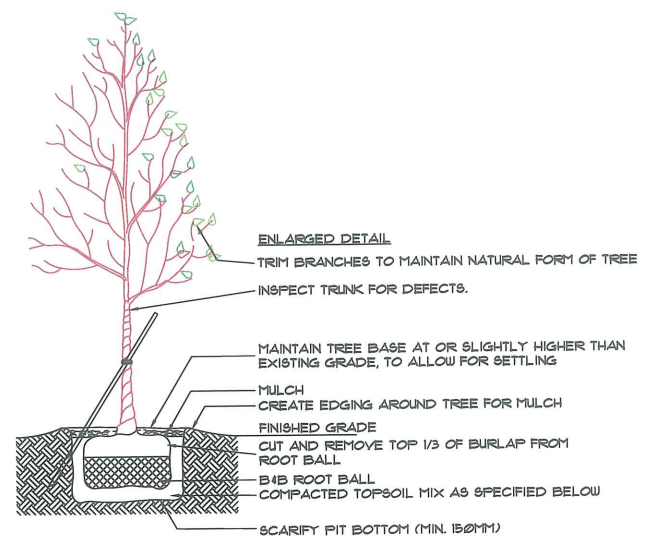
PORTLAND, MAINE - KINGDOM HALL

DRN BY: TAF	CKD BY: TAF
SCALE: 1" = 10'	
DATE: JULY 7, 2011	
FILE: PORTLANDV2004.DWG	
SHEET NO.	1

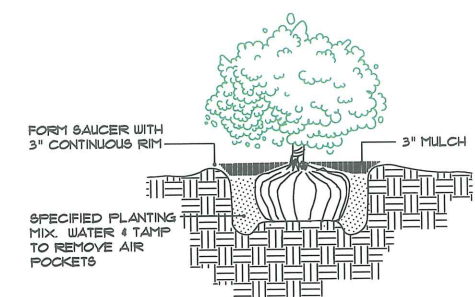




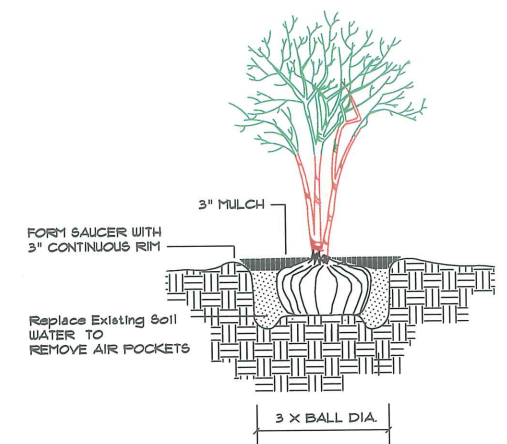
STONE WALL DETAIL  
NOT TO SCALE



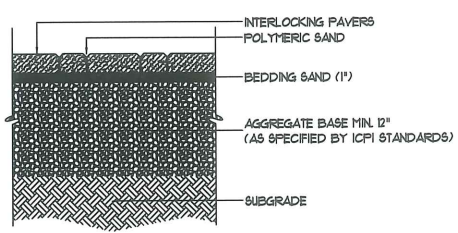
DECIDUOUS TREE DETAIL  
NOT TO SCALE



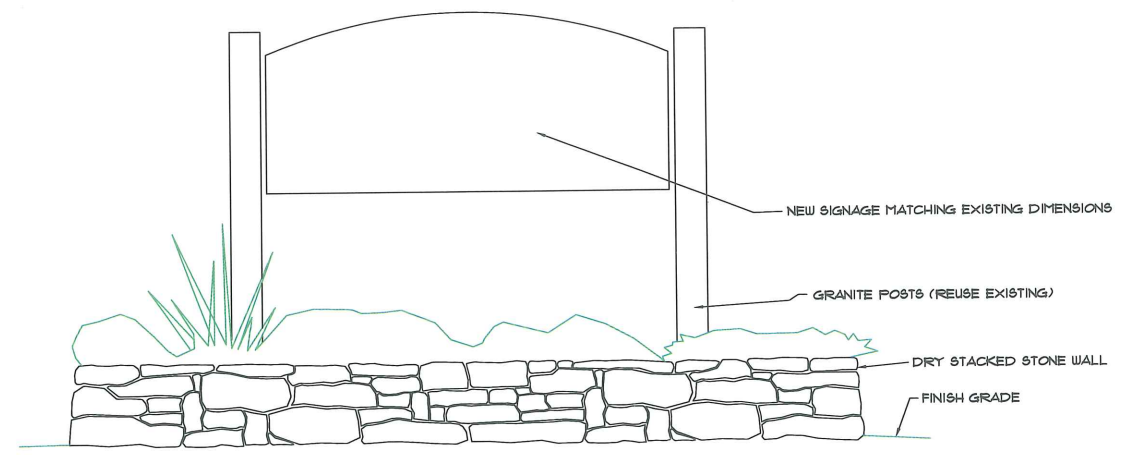
SHRUB PLANTING  
NOT TO SCALE



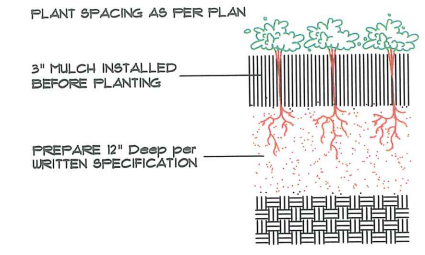
TREE PLANTING  
NOT TO SCALE



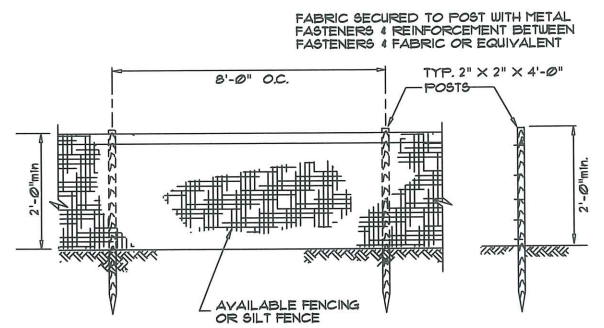
INTERLOCKING PAVER DETAIL  
NOT TO SCALE



SIGNAGE DETAIL  
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL  
NOT TO SCALE



TREE PROTECTION BARRIER  
ALL TREE PROTECTION BARRIERS WILL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR

- NOTES
- 1.) All planting to be done in accordance with common trade practices.
  - 2.) All Mulched areas to be mulched with 'Dark Bark' to a depth of 3".
  - 3.) Interlocking Paver Areas to be Techo-Bloc Pavers in 'Sandlewood' color.
  - 4.) Dry Stacked walls to be made of Corinthian Granite or American Granite.
  - 5.) Tree Protection to be installed prior to begging of site work.
  - 6.) All on site materials should be stored in such a manner as to prevent silt or debris runoff.

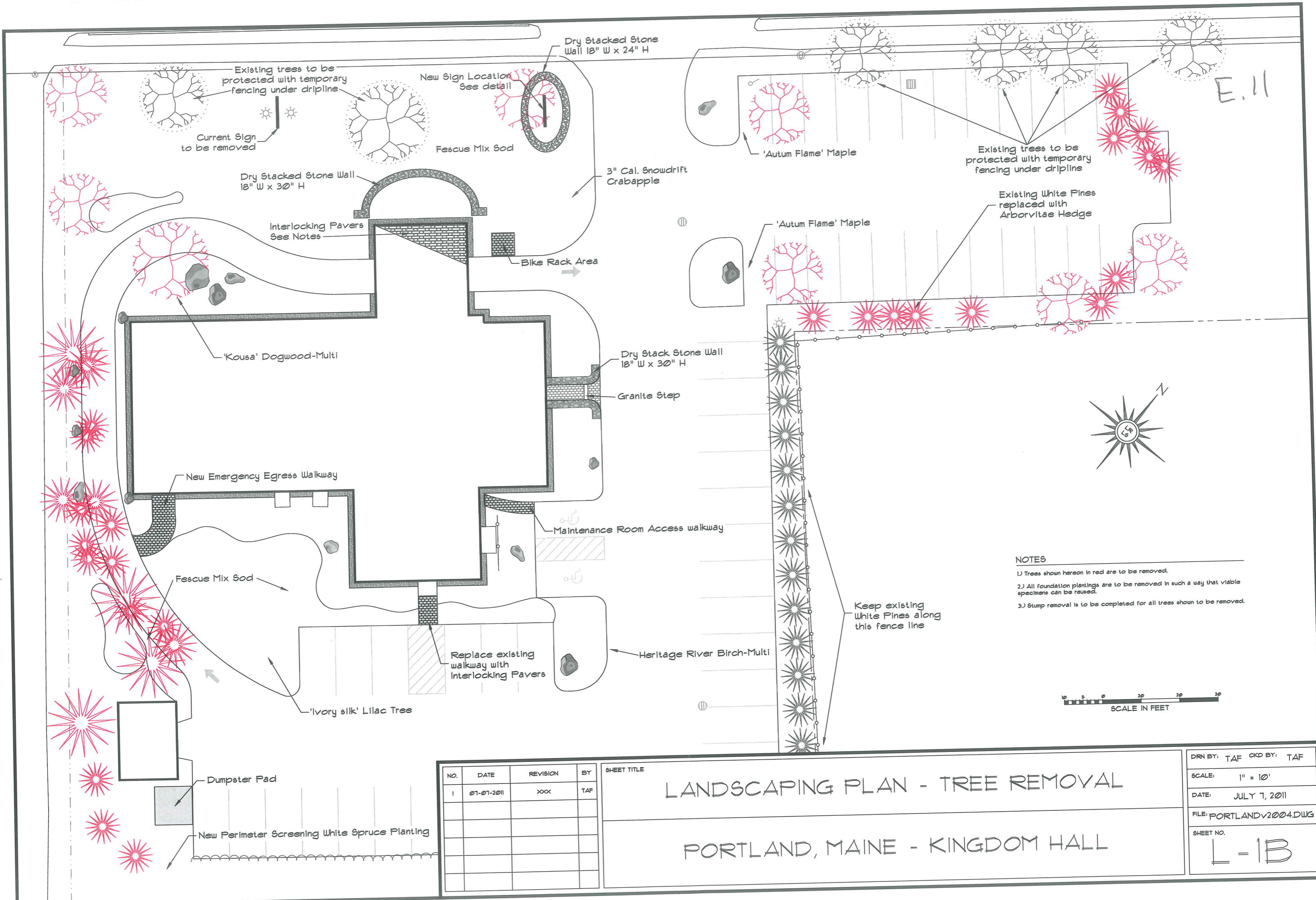
NO.	DATE	REVISION	BY
1	07-07-2011	XXX	TAF

SHEET TITLE

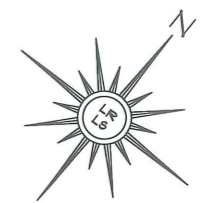
# LANDSCAPING PLAN

## PORTLAND, MAINE - KINGDOM HALL

DRN BY: TAF CKD BY: TAF  
 SCALE: AS NOTED  
 DATE: JULY 7, 2011  
 FILE: PORTLANDV2004.DWG  
 SHEET NO.  
L = 1A



E.11



- NOTES**
- 1) Trees shown here in red are to be removed.
  - 2) All foundation plantings are to be removed in such a way that viable specimens can be reused.
  - 3) Stump removal is to be completed for all trees shown to be removed.



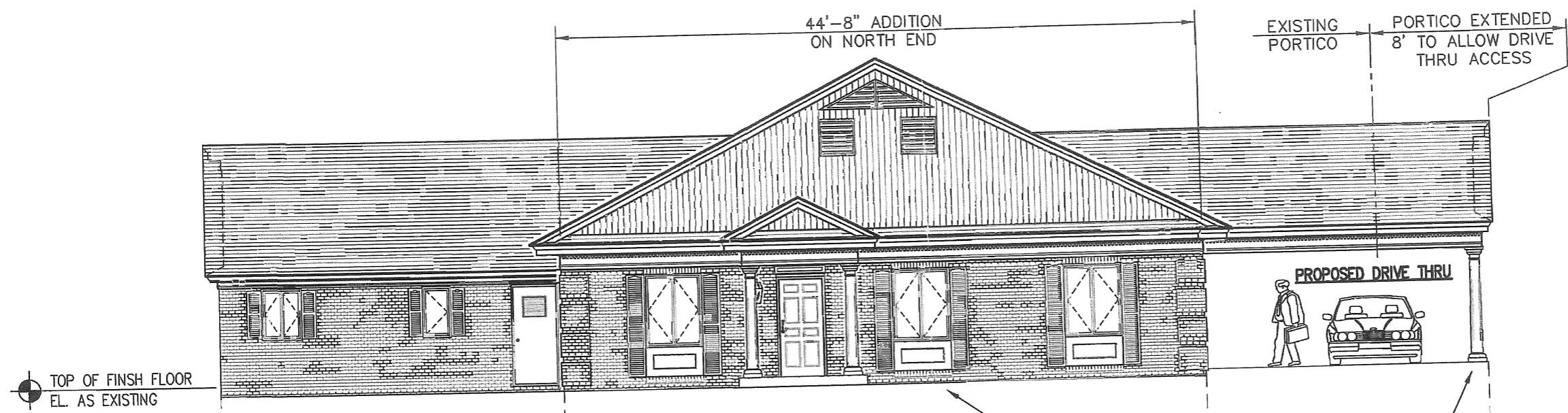
NO.	DATE	REVISION	BY
1	07-07-2011	XXX	TAF

SHEET TITLE

## LANDSCAPING PLAN - TREE REMOVAL

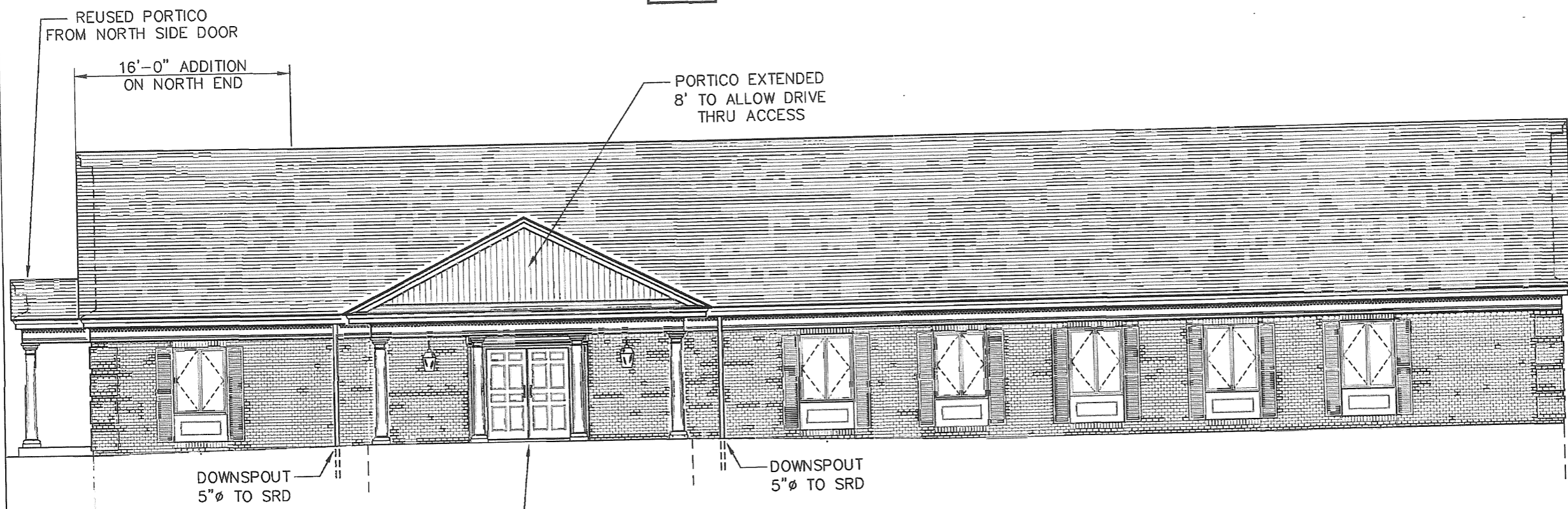
### PORTLAND, MAINE - KINGDOM HALL

DRN BY: TAF CKD BY: TAF  
 SCALE: 1" = 10'  
 DATE: JULY 7, 2011  
 FILE: PORTLANDV2004.DWG  
 SHEET NO.  
L-1B



**A** NORTH ELEVATION  
**A3.1** SCALE: 1/8"=1'-0"

ALL ARCHITECTURAL FEATURES ON ON THE ADDITION AND EXTENDED WEST SIDE PORTICO SHALL MATCH THE EXISTING BUILDING.



**B** WEST ELEVATION  
**A3.1** SCALE: 1/8"=1'-0"

ALL ARCHITECTURAL FEATURES ON ON THE ADDITION AND EXTENDED WEST SIDE PORTICO SHALL MATCH THE EXISTING BUILDING.

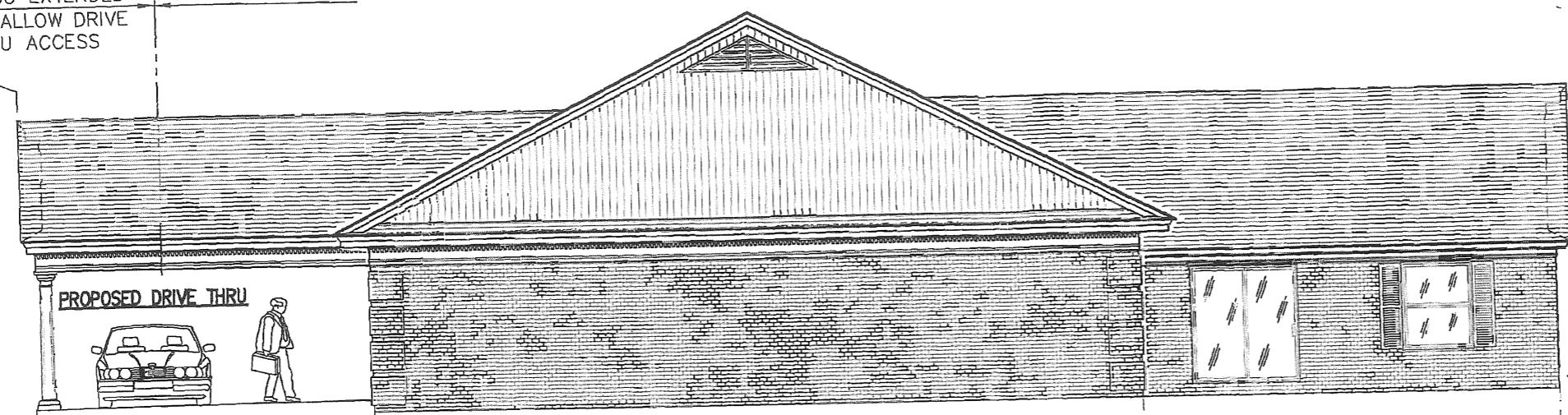
NO	DATE	REVISION	BY
1	6-1-11	PRELIMINARY ISSUE	JMH
2	7-5-11	REVISED	

SHEET TITLE  
**NORTH & WEST ELEVATIONS**

PROJECT TITLE  
**PORTLAND, ME - KINGDOM HALL**  
 REMODEL OF EXISTING HALL  
 UNITED STATES OF AMERICA

DWN BY: JMH CKD BY: JMH  
 SCALE: 1/8"=1'-0"  
 DATE: 6-1-11  
 CAD #: RA301\_R2.dwg  
 SHEET No.  
**A3.1**

PORTICO EXTENDED  
8' TO ALLOW DRIVE  
THRU ACCESS



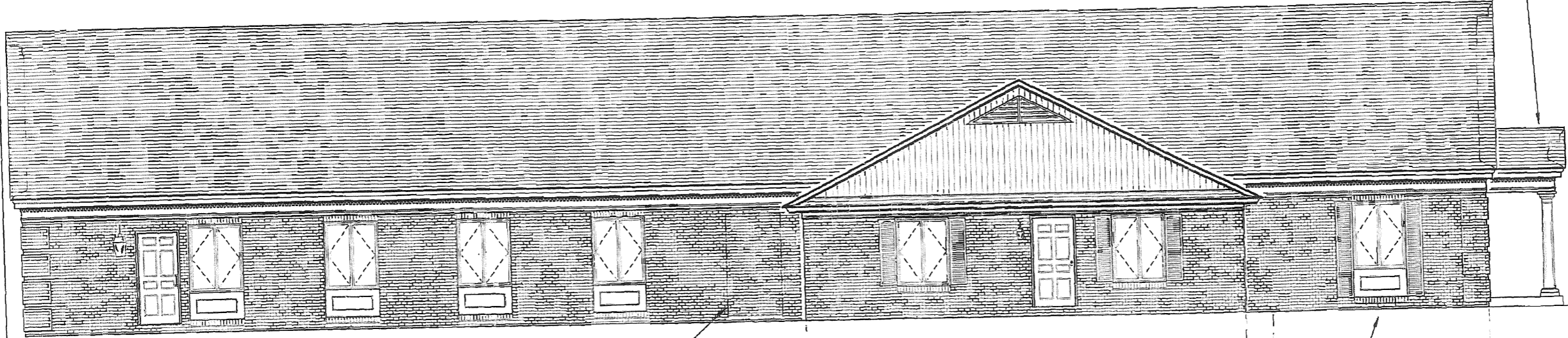
**A** SOUTH ELEVATION  
**A3.2** SCALE: 1/8"=1'-0"

ALL ARCHITECTURAL FEATURES ON  
ON THE ADDITION AND EXTENDED  
WEST SIDE PORTICO SHALL MATCH  
THE EXISTING BUILDING.

TOP OF FINISH FLOOR  
EL. AS EXISTING

REUSED PORTICO  
FROM NORTH SIDE DOOR

16'-0" ADDITION  
ON NORTH END



**B** EAST ELEVATION  
**A3.2** SCALE: 1/8"=1'-0"

EXISTING WINDOW TO BE REMOVED  
AND BRICKED IN TO MATCH  
EXISTING BRICK.

ALL ARCHITECTURAL FEATURES ON  
ON THE ADDITION AND EXTENDED  
WEST SIDE PORTICO SHALL MATCH  
THE EXISTING BUILDING.

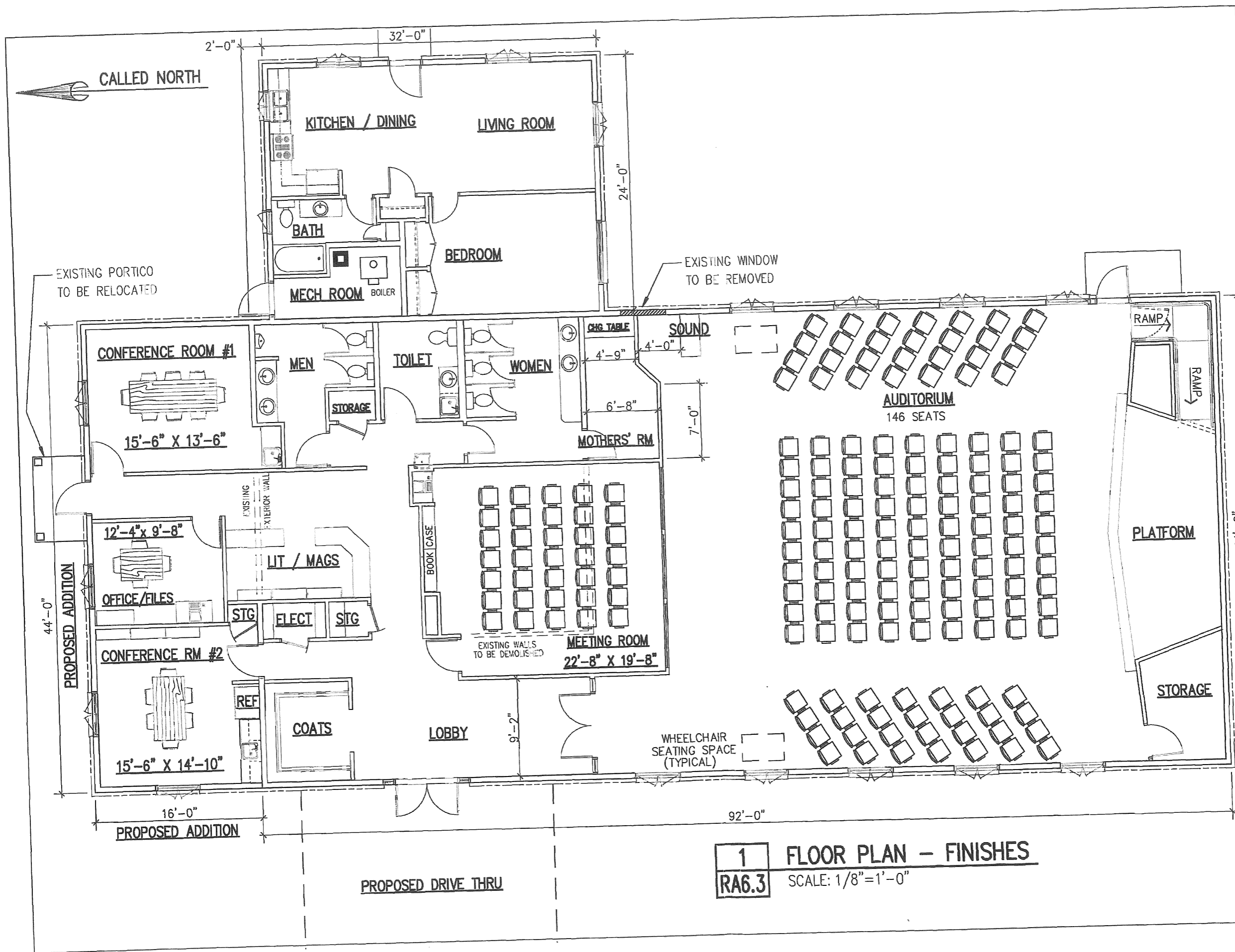
NO	DATE	REVISION
1	6-1-11	PRELIMINARY ISSUE
2	7-5-11	REVISED

SHEET TITLE  
**SOUTH & EAST ELEVATIONS**

PROJECT TITLE  
**PORTLAND, ME -- KINGDOM HALL**  
REMODEL OF EXISTING HALL  
UNITED STATES OF AMERICA

DWN BY: JMH CKD BY: JMH  
SCALE: 1/8"=1'-0"  
DATE: 6-1-11  
CAD # RA302\_R2.dwg  
SHEET No.  
**A3.2**





NO	DATE	REVISION	BY
1	7-11-10	PRELIMINARY ISSUE	WEM
2	7-5-11	REVISED	WEM

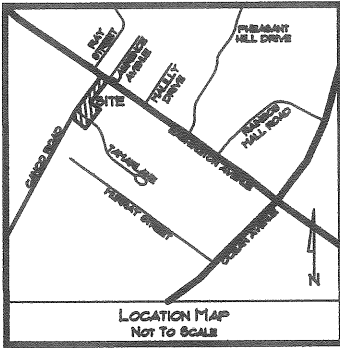
**SHEET TITLE**  
**FLOOR PLAN**  
**ADDITIONS & RENOVATION**

**PROJECT TITLE**  
**PORTLAND, ME. - KINGDOM HALL**  
 REMODEL OF EXISTING HALL  
 UNITED STATES OF AMERICA

DWN BY: WEMCKD BY:  
 SCALE: 1/8"=1'-0"  
 DATE: 7-11-10  
 CAD #: RA202\_R2.dwg  
**SHEET No.**  
**RA2.2**

**1** FLOOR PLAN - FINISHES  
**RA6.3** SCALE: 1/8"=1'-0"





**NOTES**

1) ALL BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

2) RECORD OWNER: PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES BOOK 1848, PAGE 241 DATED JANUARY 3, 1986 (GRANTOR: THE CITY OF PORTLAND)

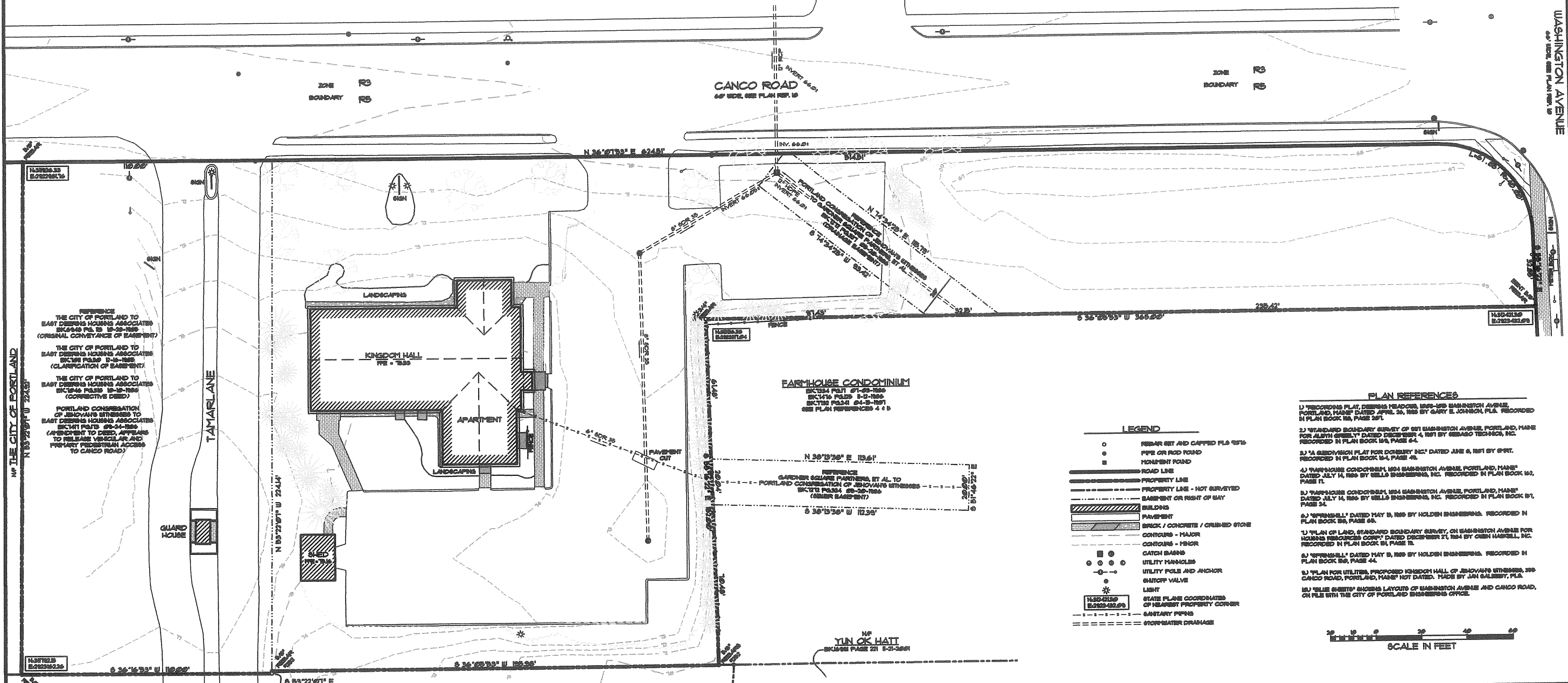
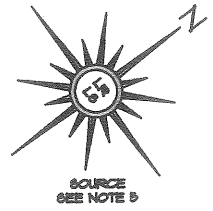
3) THE PORTION OF THE SUBJECT PARCEL TO BE DEVELOPED IS CURRENTLY LOCATED WITHIN THE R-3 RESIDENTIAL ZONE. THE PORTION OF THE PROPERTY SUBJECT TO THE BASEMENT EIGHTHIES FOR TAMARLANE HOLDINGS, LLC IS LOCATED WITHIN THE R-3 RESIDENTIAL ZONE. THE CURRENT ZONING ORDINANCE SHOULD BE CONSULTED TO DETERMINE SPACE AND SUEK REQUIREMENTS PRIOR TO DEVELOPMENT.

**NOTES, CONTINUED**

4) ELEVATIONS ARE BASED ON THE CITY OF PORTLAND VERTICAL DATUM. THE BENCHMARK USED IS A BOLT IN A GRANITE MONUMENT UNDER A CAST IRON ACCESS BOX ON THE NORTHEAST SIDE OF BARNBROOK AVENUE APPROXIMATELY 288 FEET NORTHWEST OF THE END OF CANCO ROAD. THE BENCHMARK ELEVATION OF 66.42 FEET WAS PROVIDED BY THE CITY ENGINEERING OFFICE.

5) ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THIS TO MONUMENTS WITH COORDINATES PROVIDED BY THE CITY ENGINEERING DEPARTMENT. IT IS ASSUMED BY THIS SURVEYOR THOSE COORDINATES ARE IN THE STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NORTH AMERICAN DATUM OF 1983 AND THE UNITS ARE U. S. SURVEY FEET.

6) THE LOCATION OF SANITARY AND STORMWATER PIPES IS BASED ON OBSERVABLE SURFACE EVIDENCE. THE SIZES, MATERIALS AND FLOW DIRECTIONS OF PIPES ARE BASED ON PLAN REFERENCE 9. PIPE INVERTS WERE ACCESSIBLE DUE TO PAVEMENT SEALING THE EDGES OF DRAINAGE STRUCTURES.



**PLAN REFERENCES**

1) RECORDING PLAN, DEERING HEADINGS, 1890-1892 BARNBROOK AVENUE, PORTLAND, MAINE DATED APRIL 26, 1892 BY GARY E. JOHNSON, P.L.A. RECORDED IN PLAN BOOK 184, PAGE 287.

2) STANDARD BOUNDARY SURVEY OF 881 WASHINGTON AVENUE, PORTLAND, MAINE FOR ALVIN GIBBET, DATED DECEMBER 4, 1891 BY OSBAGO TECHNICAL, INC. RECORDED IN PLAN BOOK 184, PAGE 44.

3) 1A SUBDIVISION PLAN FOR CONCRETE INC. DATED JUNE 6, 1981 BY SPRT. RECORDED IN PLAN BOOK 184, PAGE 48.

4) FARMHOUSE CONDOMINIUM, 1894 BARNBROOK AVENUE, PORTLAND, MAINE DATED JULY 14, 1989 BY BELLO ENGINEERS, INC. RECORDED IN PLAN BOOK 182, PAGE 11.

5) FARMHOUSE CONDOMINIUM, 1894 BARNBROOK AVENUE, PORTLAND, MAINE DATED JULY 14, 1989 BY BELLO ENGINEERS, INC. RECORDED IN PLAN BOOK BY, PAGE 24.

6) "SPRINGHILL" DATED MAY 8, 1989 BY HOLDEN ENGINEERS. RECORDED IN PLAN BOOK 186, PAGE 68.

7) "PLAN OF LAND, STANDARD BOUNDARY SURVEY, ON WASHINGTON AVENUE FOR HOLDEN ENGINEERS COPY DATED DECEMBER 21, 1984 BY GIBB GIBBELL, INC. RECORDED IN PLAN BOOK 81, PAGE 18.

8) "SPRINGHILL" DATED MAY 8, 1989 BY HOLDEN ENGINEERS. RECORDED IN PLAN BOOK 186, PAGE 44.

9) "PLAN FOR UTILITIES, PROPOSED KINGDOM HALL OF JEHOVAH'S WITNESSES, 398 CANCO ROAD, PORTLAND, MAINE" NOT DATED. MADE BY JAN GILBERT, P.L.A.

10) "BLUE SHEETS" SHOWS LAYOUTS OF WASHINGTON AVENUE AND CANCO ROAD, ON FILE WITH THE CITY OF PORTLAND ENGINEERING OFFICE.



CUMBERLAND, ss REGISTRY OF DEEDS  
 Received \_\_\_\_\_  
 At \_\_\_\_\_ M. and  
 Filed in Plan Book \_\_\_\_\_ Page \_\_\_\_\_  
 ATTEST: \_\_\_\_\_  
 Registrar

OF  
 TARE TAMARLANE HOLDINGS, LLC  
 BK23826 PLS14 04-2898  
 REFERENCE  
 THE CITY OF PORTLAND TO  
 EAST DEERING HOLDINGS ASSOCIATES  
 BK1246 PLS18 10-29-1986  
 SEE PLAN REFERENCES 6, 7 & 8

NO.	DATE	REVISION	BY
1	03-14-2011	MUNICIPAL REVIEW	JJR
2	01-03-2011	TITLE BLOCK	JJR

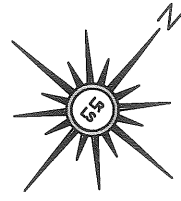
LITTLE RIVER  
 LAND SURVEYING  
 JERAMIAH J. RAITT  
 ME PLS 0216 NH LLS 1987  
 56 FROST HILL AVENUE  
 LISBON FALLS, MAINE 04252  
 (207) 841-0856

SHEET TITLE  
**RETRACEMENT SURVEY &  
 EXISTING CONDITIONS PLAN**

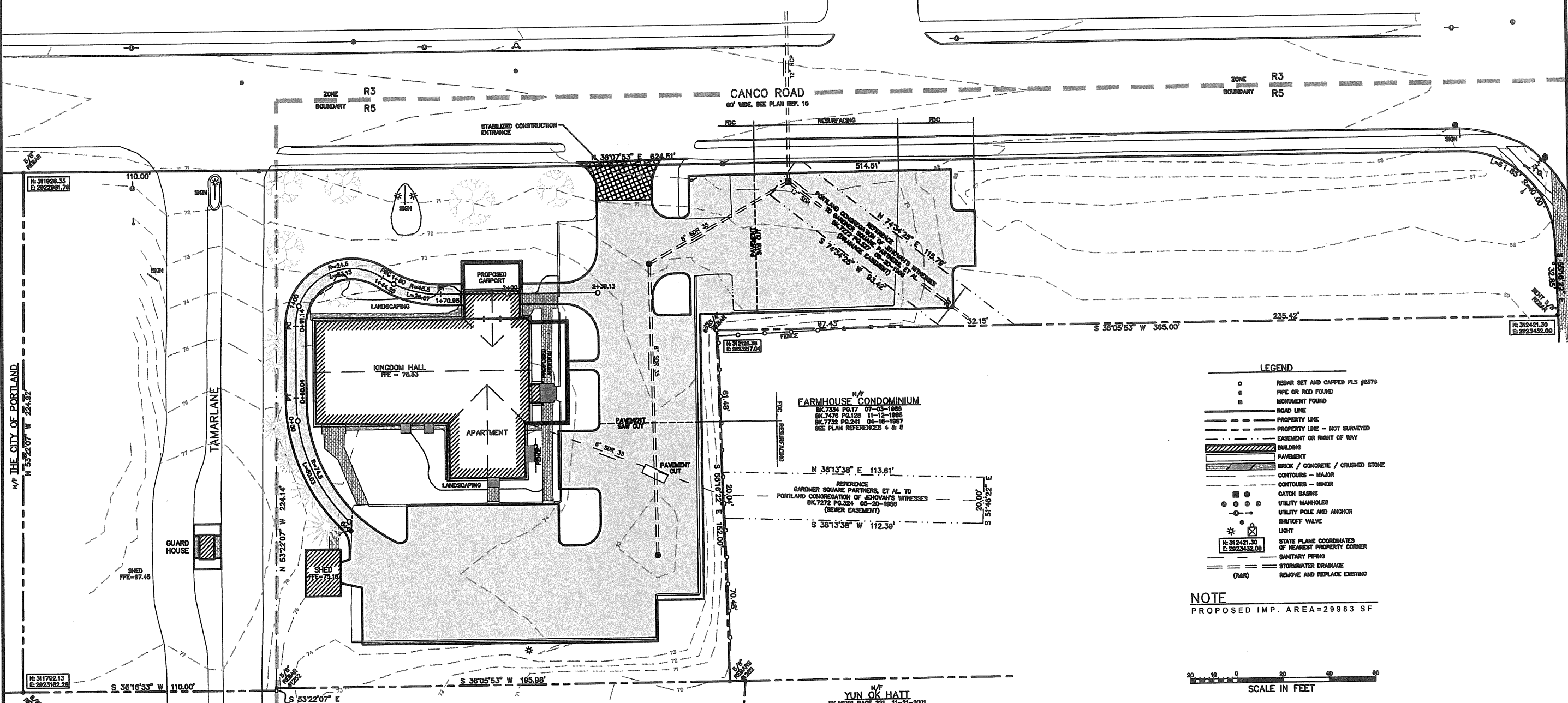
LAND OF  
**PORTLAND CONGREGATION OF  
 JEHOVAH'S WITNESSES**  
 355 CANCO ROAD, PORTLAND, MAINE 04101

DRN BY: JJR CKD BY: JJR  
 SCALE: 1" = 20'  
 DATE: JANUARY 22, 2010  
 FILE: PORTLAND.DWG  
 SHEET NO.  
**C-1**

J. M. J. Raitt  
 JERAMIAH J. RAITT, PLS 0216

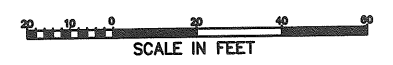


SOURCE  
7-7



- LEGEND**
- REBAR SET AND CAPPED PLS #2376
  - PIPE OR ROD FOUND
  - MONUMENT FOUND
  - ROAD LINE
  - PROPERTY LINE
  - PROPERTY LINE - NOT SURVEYED
  - EASEMENT OR RIGHT OF WAY
  - ▨ BUILDING
  - ▨ PAVEMENT
  - ▨ BROOK / CONCRETE / CRUSHED STONE
  - CONTOURS - MAJOR
  - CONTOURS - MINOR
  - CATCH BASINS
  - UTILITY MANHOLES
  - UTILITY POLE AND ANCHOR
  - SHUTOFF VALVE
  - \* LIGHT
  - STATE PLANE COORDINATES OF NEAREST PROPERTY CORNER
  - SANITARY PIPING
  - STORMWATER DRAINAGE
  - (R&P) REMOVE AND REPLACE EXISTING

**NOTE**  
PROPOSED IMP. AREA=29983 SF



RRE TAMARLANE HOLDINGS, LLC  
BK.25696 PG.134 04-2008  
REFERENCE  
THE CITY OF PORTLAND TO  
EAST DEERING HOUSING ASSOCIATES  
BK.6848 PG.113 10-28-1989  
SEE PLAN REFERENCES 6, 7 & 8

N/F  
YUN OK HATT  
BK.18581 PAGE 221 11-21-2001

NO.	DATE	REVISION	BY
1	3/3/2010		LFB
2	5/25/2011	SAW CUT	LFB
3	6/15/2011	PARKING	LFB

SHEET TITLE

SITE PLAN

PORTLAND, MAINE - KINGDOM HALL

DRN BY: MT OKD BY: LFB

SCALE: 1" = 20'

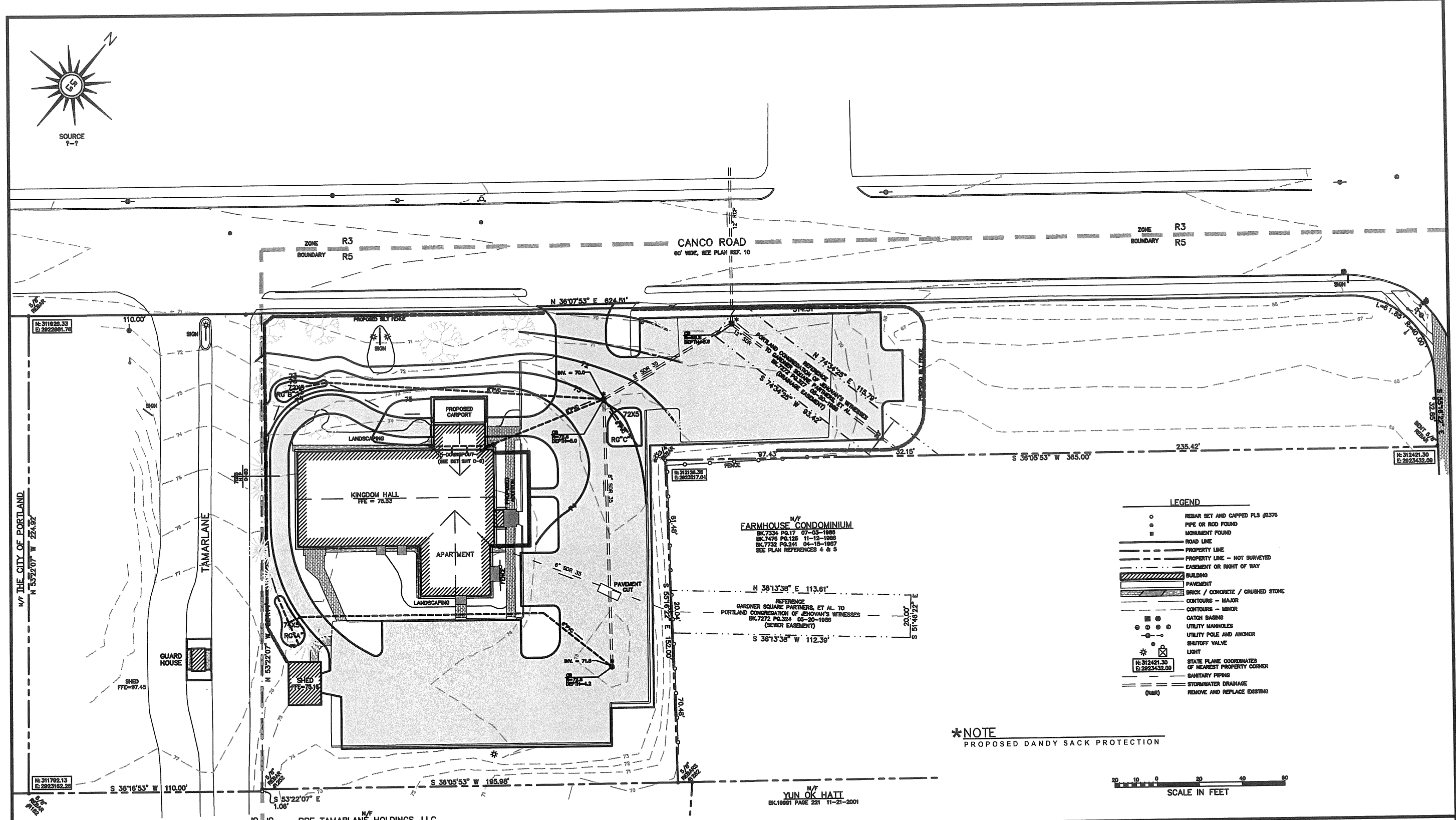
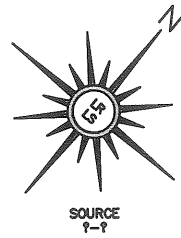
DATE: JUNE 15, 2011

FILE: PORTLAND.DWG

SHEET NO.

C-2

LOUIS F. BRUNO, PE, PLS



**LEGEND**

- REBAR SET AND CAPPED PLS #2576
- PIPE OR ROD FOUND
- MONUMENT FOUND
- ROAD LINE
- PROPERTY LINE
- - - PROPERTY LINE - NOT SURVEYED
- - - EASEMENT OR RIGHT OF WAY
- ▨ BUILDING
- ▨ PAVEMENT
- ▨ BRICK / CONCRETE / CRUSHED STONE
- CONTOURS - MAJOR
- CONTOURS - MINOR
- CATCH BASINS
- UTILITY MANHOLES
- UTILITY POLE AND ANCHOR
- SHUTOFF VALVE
- ★ LIGHT
- STATE PLANE COORDINATES OF NEAREST PROPERTY CORNER
- SANITARY PIPING
- STORMWATER DRAINAGE
- (RM) REMOVE AND REPLACE EXISTING

**\*NOTE**  
PROPOSED DANDY SACK PROTECTION



N/F  
**RRE TAMARLANE HOLDINGS, LLC**  
BK.25686 PG.134 04-2008  
REFERENCE  
THE CITY OF PORTLAND TO  
EAST DEERING HOUSING ASSOCIATES  
BK.6948 PG.113 10-29-1985  
SEE PLAN REFERENCES 6, 7 & 8

N/F  
**YUN OK HATT**  
BK.16681 PAGE 221 11-21-2001

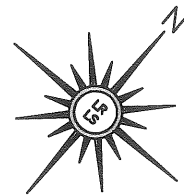
NO.	DATE	REVISION	BY
1	11/22/2010	DEP	LFB
2	5/25/2011	CONTOURS & RAIN GARDENS	LFB
3	6/15/2011	EXISTING DRAINAGE	LFB

SHEET TITLE  
**GRADING, DRAINAGE, & EROSION CONTROL PLAN**

**PORTLAND, MAINE - KINGDOM HALL**

DRN BY: MT CKD BY: LFB  
SCALE: 1" = 20'  
DATE: JUNE 15, 2011  
FILE: PORTLAND.DWG  
SHEET NO.  
**C-3**  
LOUIS F. BRUNO, PE, PLS

DRN BY: MT CKD BY: LFB  
SCALE: 1" = 20'  
DATE: JUNE 15, 2011  
FILE: PORTLAND.DWG  
SHEET NO.  
**C-3**

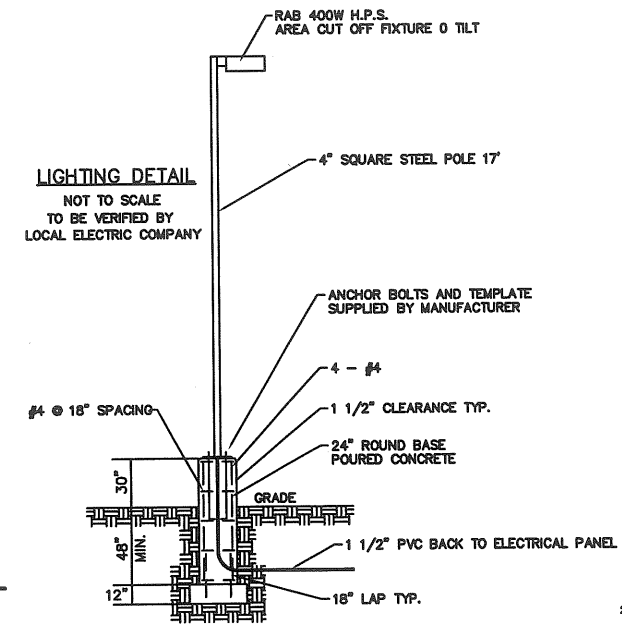
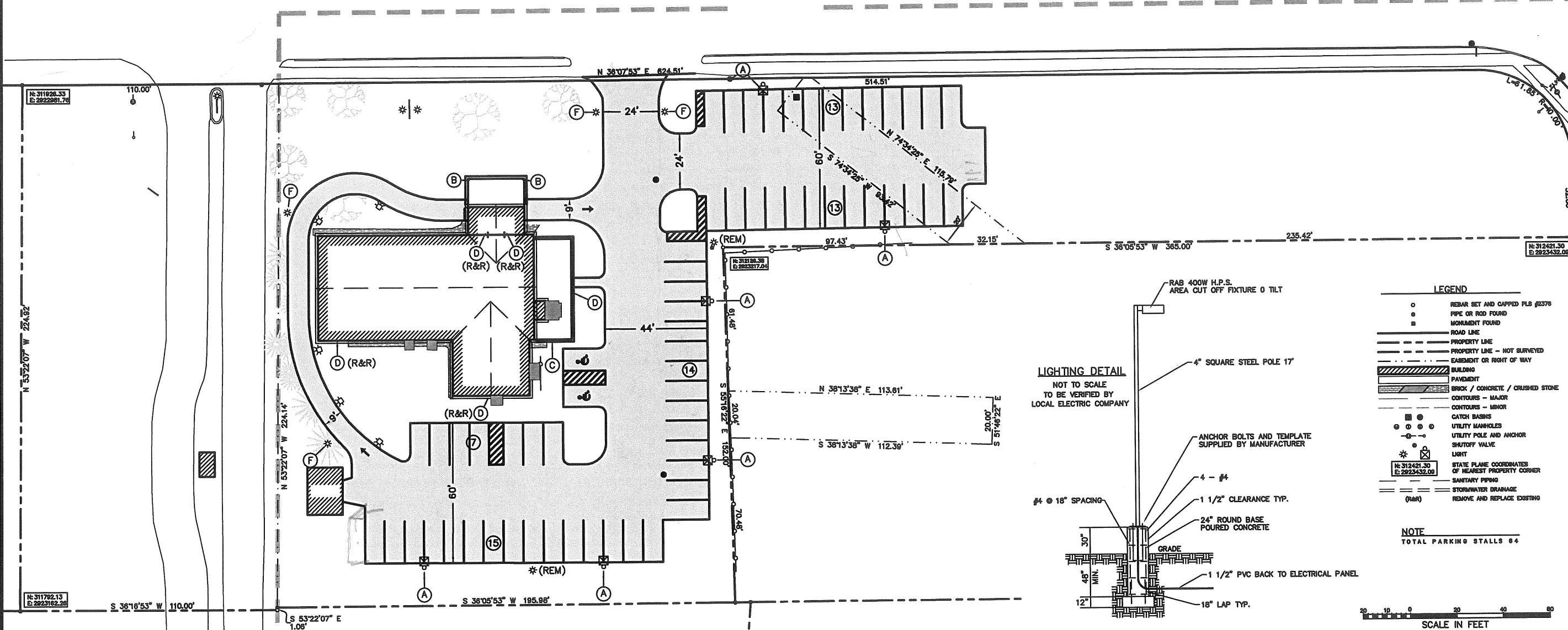


SOURCE  
P-P

SCHEDULE OF LIGHTING FIXTURES			
TYPE	DESCRIPTION	MOUNTING HT.	NO.
☒ A	400W HPS	17' - 2"	6
B	70W HID FLOOD	10' - 0"	2
C	100W HPS WALLPRISM	11' - 0"	1
D	150W INCAND. DEC.	6' - 0"	5
E	75W HID FLOOD (SIGN)	0' - 0"	4
☼ F	150W INCAND. LANTERN	6' - 0" GRAN. POST	4
☼ G	100W HPS TMS/S10	6 3/4" X 41 1/2" H TEMPE BOLLARD	5

**LIGHTING NOTES**

- 1.) SEE EXHIBIT A FOR CATALOG CUTS OF POLES & LIGHTING FIXTURES
- 2.) IESNA DESIGN CRITERIA: PARKING AREA WITH PEDESTRIAN USE
- 3.) FIXTURES WILL BE EQUIPPED WITH FULL CUTOFFS.



**LEGEND**

- REBAR SET AND CAPPED PLS #378
- PIPE OR ROD FOUND
- MONUMENT FOUND
- ROAD LINE
- - - PROPERTY LINE
- - - PROPERTY LINE - NOT SURVEYED
- - - EASEMENT OR RIGHT OF WAY
- ▨ BUILDING
- ▨ PAVEMENT
- ▨ BRICK / CONCRETE / CRUSHED STONE
- CONTOURS - MAJOR
- CONTOURS - MINOR
- CATCH BASINS
- UTILITY MANHOLES
- UTILITY POLE AND ANCHOR
- SHUTOFF VALVE
- ☼ LIGHT
- ☼ STATE PLANE COORDINATES OF NEAREST PROPERTY CORNER
- SANITARY PIPING
- STORMWATER DRAINAGE REMOVE AND REPLACE EXISTING (R&R)

**NOTE**  
TOTAL PARKING STALLS 64



NO.	DATE	REVISION	BY
1	3/3/2011		LFB
2	6/15/2011	LIGHTING AND PARKING	LFB

SHEET TITLE

## UTILITY & PARKING PLAN

### PORTLAND, MAINE - KINGDOM HALL

DRN BY: MT CKD BY: LFB

SCALE: 1" = 20'

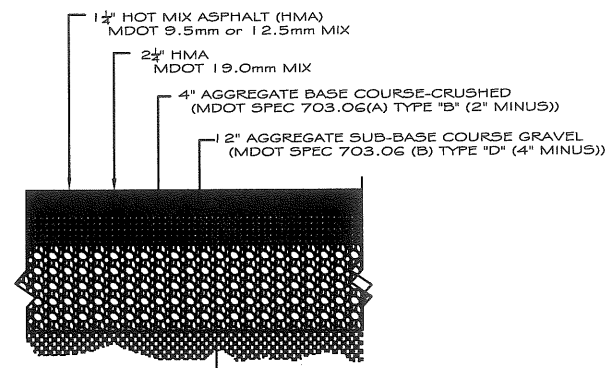
DATE: JUNE 15, 2011

FILE: PORTLAND.DWG

SHEET NO.

C-4

LOUIS F. BRUNO, PE, PLS



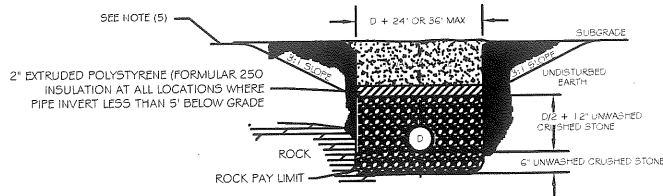
BRING TO SUBGRADE WITH COMMON BORROW (SEE MDOT SPEC 703.18) COMPACTED TO 90% OF MAXIMUM DENSITY.

**NOTES:**

1. COMPACT GRAVEL SUB-BASE, BASE COURSES TO 95% OF MAXIMUM DRY DENSITY USING HEAVY ROLLER COMPACTION.
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUB-BASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

**TYP. PAVED SECTION**

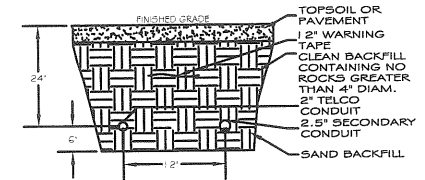
NOT TO SCALE



**WATER & SEWER PIPE TRENCH BEDDING**

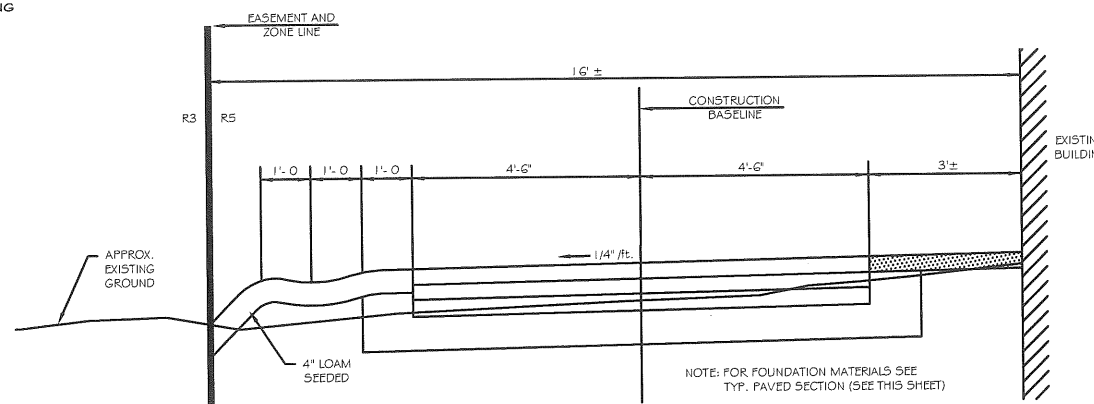
NOT TO SCALE

- (1) SEE SPECIFICATIONS FOR SOIL DESCRIPTIONS
- (2) WHERE INSULATION REQUIRED, PLACE 6" CLEAN, COARSE SAND OVER INSULATION BOARD.
- (3) FINAL BACKFILL SHALL BE: SEWER LINES: "SATISFACTORY SOIL" DI PRESSURE LINES: NATIVE BACKFILL FREE OF STONES > 6", FOREIGN, FROZEN MATERIAL.
- (4) MINIMUM DEPTH OF BURY 5' FROM TOP OF PIPE TO FINISH GRADE.
- (5) UNDER ALL SIDEWALK, PARKING, AND PAVED AREAS, BEDDING MATERIAL SHALL RETURN TO SUBGRADE AT 3:1 SLOPE.



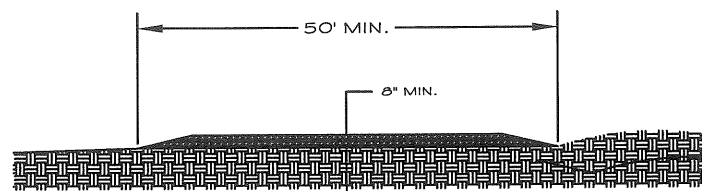
**SECONDARY UNDERGROUND DUCTBANK**

NOT TO SCALE



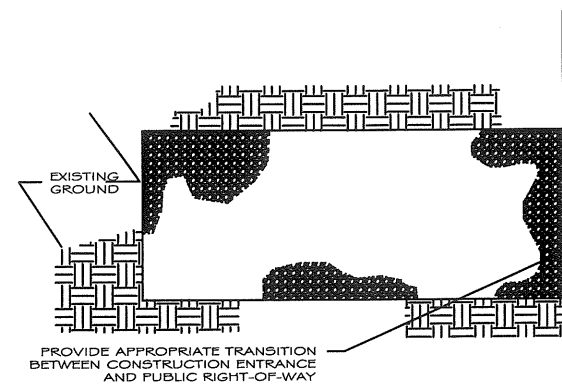
**TYPICAL SECTION CARPORT DRIVE**

NOT TO SCALE



**PROFILE**

NOT TO SCALE



PROVIDE APPROPRIATE TRANSITION BETWEEN CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY

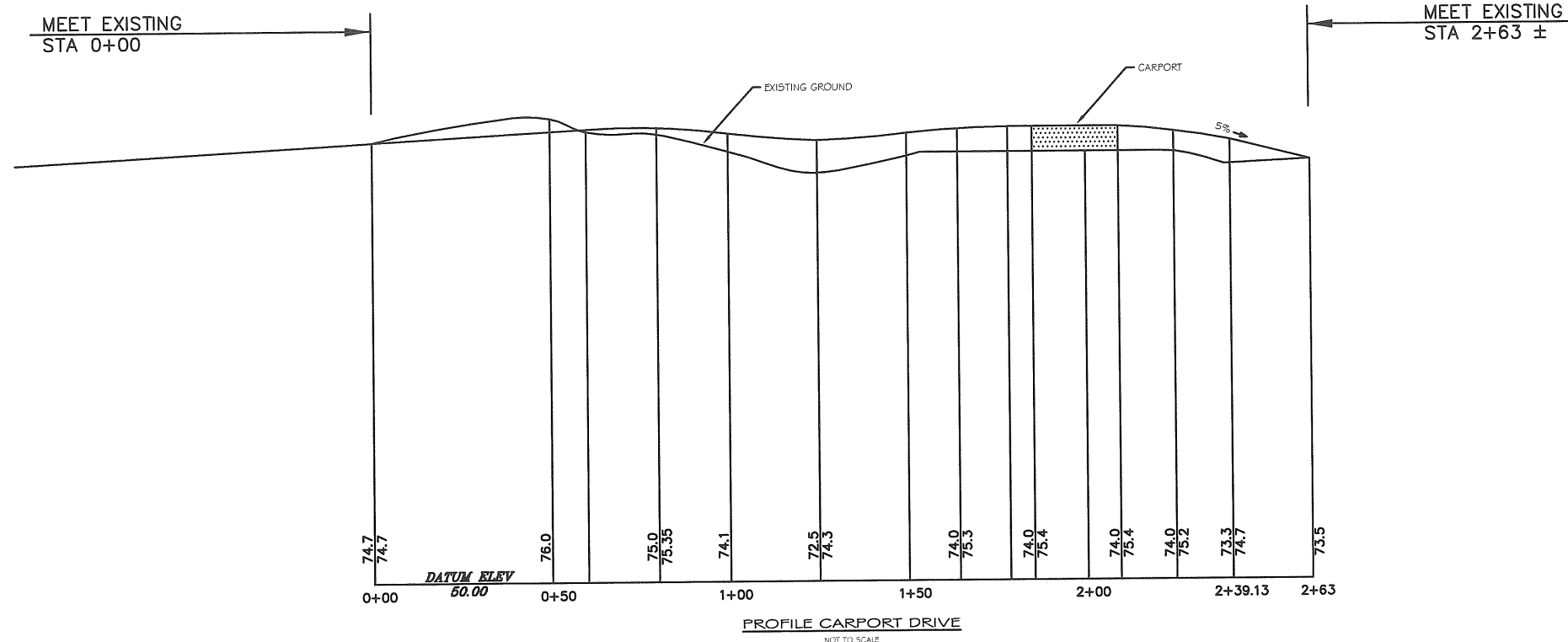
**PLAN**

**NOTES:**

1. STONE SIZE - AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
2. LENGTH - AS SHOWN ON GRADING PLAN, MIN. 50 FEET.
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND /OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

**STABILIZED CONSTRUCTION ENTRANCE DETAILS**

NOT TO SCALE



**PROFILE CARPORT DRIVE**

NOT TO SCALE

NO.	DATE	REVISION	BY	SHEET TITLE	DRN BY: MT	CKD BY: LFB
PORTLAND, MAINE - KINGDOM HALL					DATE: MAY 25, 2011	FILE: PORTLAND.DWG
					LOUIS F. BRUNO, PE, PLS	

**EROSION CONTROL CONSTRUCTION SEQUENCE**

ALL EARTHWORK OR CONSTRUCTION ACTIVITIES SHALL OCCUR AFTER APRIL 15 AND BEFORE NOVEMBER 15 UNLESS PRIOR PERMISSION IS OBTAINED. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES PRIOR TO THE DISTURBANCE OF ANY WORK AREA.

PRIOR TO ANY CLEARING OR GRUBBING, A CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE INTERSECTION OF THE PROPOSED ENTRANCE AND EXISTING ROADWAY TO AVOID TRACKING OF MUD, DUST, AND DEBRIS FROM THE SITE.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED-UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK, AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE (3) COPIES OF THE SCHEDULE AND MARKED-UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING.

1. INSTALL SILT FENCING, CATCH BASIN, DAVIDY SACK PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCES ACCORDING TO DETAILS PROVIDED ON THIS SHEET.
2. SAW CUT PAVEMENT AND REMOVE EXISTING PAVEMENT AS SHOWN ON PLAN.
3. INSTALL RAJI GARDEN DISCHARGE PIPES INTO EXISTING BASINS AS SHOWN ON PLAN.
4. INSTALL LIGHT POLE FOUNDATIONS AND CONDUIT.
5. GRADE PROJECT TO SUBGRADE LEVEL IN LOGICAL MANNER TO MINIMIZE EARTH MOVING AND TO PRESERVE LAID NOT TO BE DISTURBED.
6. SEE RG DETAILS THIS SHEET DO NOT INSTALL SOIL FILL UNTIL PLANTING IS READY TO BE INSTALLED.
7. INSTALL GRAVEL BASE. REMOVE TEMPORARY CONSTRUCTION ENTRANCE IMMEDIATELY PRIOR TO PLACING PARKING AREA HMA BASE.
8. COMPLETE FINISH GRADING. LOAM, SEED AND MULCH ALL DISTURBED AREAS NOT TO BE PAVED OR RIP-RAPPED. REMOVE EXCESS ACCUMULATED SEDIMENTS FROM SEDIMENT TRAP BOTTOMS.
9. COMPLETE UNFINISHED CONSTRUCTION AND FINISH PAVING.
10. REMOVE SILT FENCE WHEN 85-90% OF GRASS GROWTH HAS BEEN ESTABLISHED.

**TEMPORARY SEEDING NOTES**

1. ANY DISTURBED AREAS TO BE LEFT IN ROUGH GRADED FORM FOR MORE THAN 30 DAYS BUT LESS THAN ONE GROWING SEASON SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED.
2. APPLICATION RATES AND MATERIALS USED SHALL BE THE SAME AS FOR PERMANENT SEEDING EXCEPT SEED MIXTURE SHALL BE ANNUAL RYEGRASS.

**PERMANENT SEEDING NOTES FOR ALL DISTURBED AREAS**

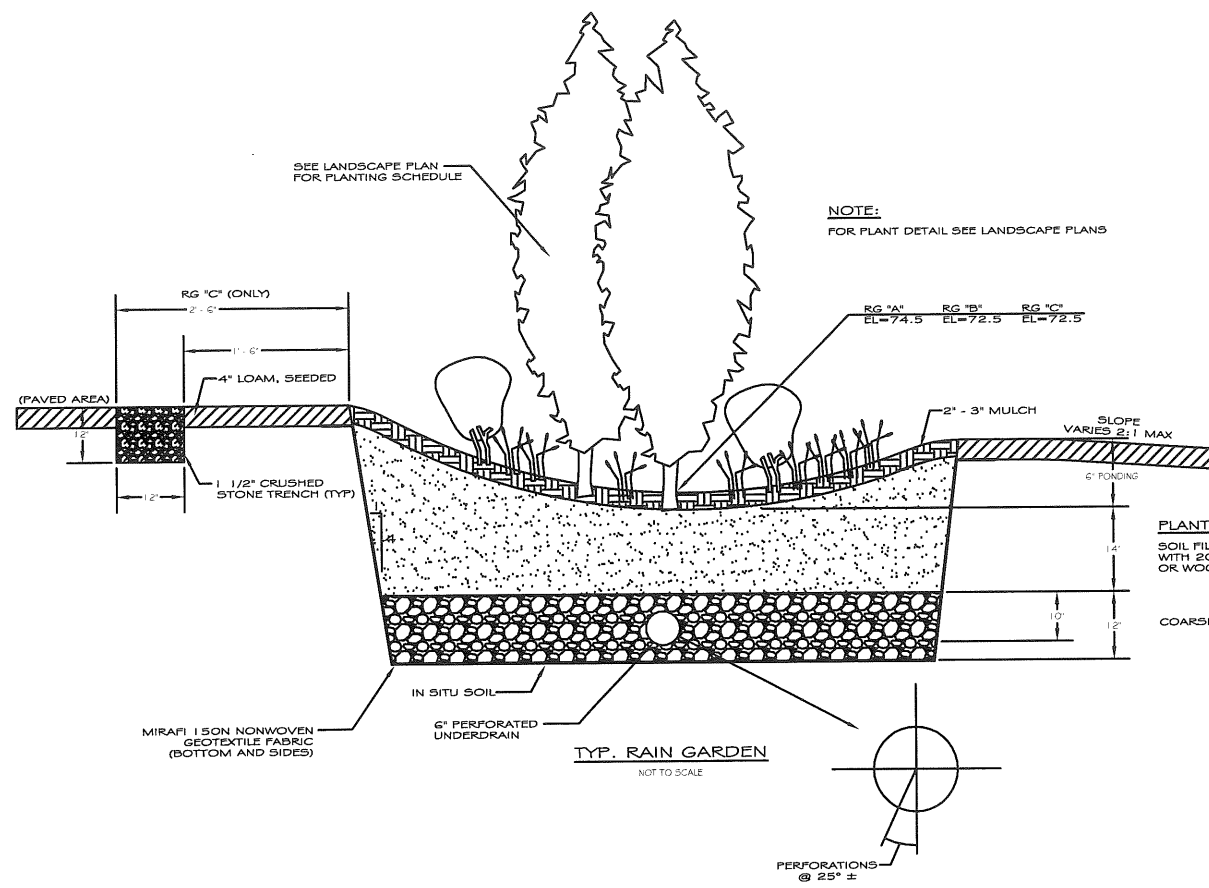
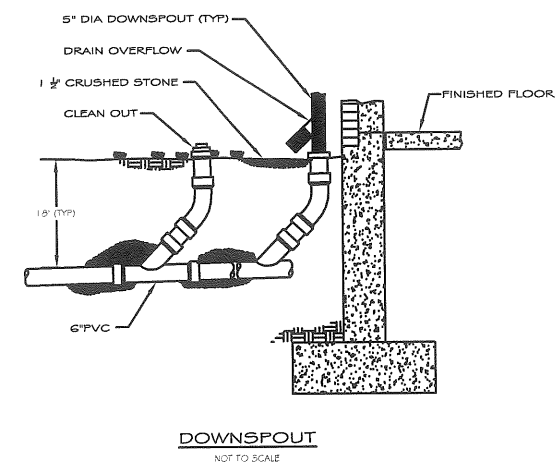
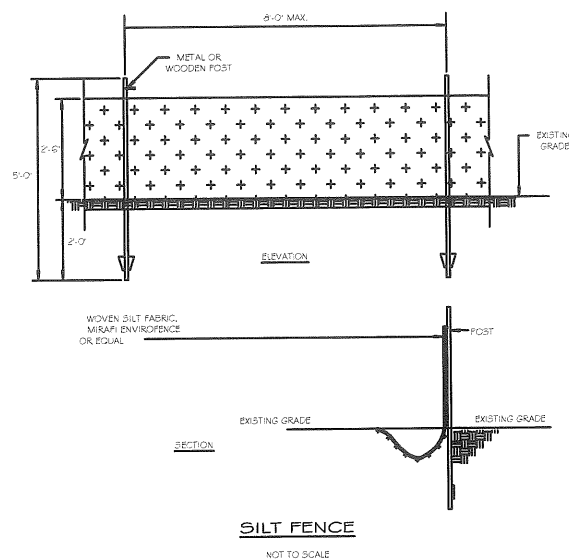
1. DURING PERIOD FROM APRIL 15 TO OCTOBER 15, AREAS DISTURBED SHALL BE LIMED, FERTILIZED SEEDED AND MULCHED AS FOLLOWS:
  - A. SEEDING SHALL BE AS SPECIFIED IN MDOT STANDARD SPECIFICATIONS, SECTION 610 FOR VARIOUS AREAS.
  - B. SEEDING SHALL INCLUDE FERTILIZERS, MULCH, LIME AND OTHER ITEMS IN MDOT SECTION 610.
2. AFTER SEEDING, AREAS DISTURBED SHALL BE MULCHED AS DESCRIBED IN MDOT STANDARD SPECIFICATIONS SECTION 619.
3. NO SEEDING SHALL TAKE PLACE BETWEEN JUNE 15 AND JULY 15 UNLESS SPECIFICALLY APPROVED BY ENGINEER AND SYSTEM OF WATER IS IMPLEMENTED. AS A CONTINGENCY PLAN, AREAS DISTURBED DURING THESE DATES SHALL BE MOW MULCHED AT A RATE OF 2 BALES/1,000 SF AND SECURED WITH PEG AND TWINE OF 4-6 PEGS/5Y OR WITH TERRA TACK II AT A RATE OF 60 GALLOIS/ACRE.
4. WEEKLY, OR AFTER PRECIPITATION PRODUCING THE EQUIVALENT OF ONE HALF INCH OF RAINFALL OR SNOWMELT, ALL MULCHED AREAS SHALL BE INSPECTED FOR SUITABILITY FOR EROSION CONTROL AND SLOPE PROTECTION. WEAKENED AREAS SHALL BE RE-MULCHED AS 2) ABOVE.
5. WITHIN 30-45 DAYS OF SEED APPLICATION, ALL AREAS SHALL BE INSPECTED FOR SATISFACTORY GROWTH. AREAS OF LESS THAN 75 PERCENT GROWTH SHALL BE RESEEDED AT ORIGINAL APPLICATION RATES, MULCHED AND MAINTAINED ACCORDINGLY AS SPECIFIED ABOVE.
6. PERMANENT SEEDING SHALL BE INSTALLED IMMEDIATELY UPON REACHING FINAL GRADE.

**DORMANT SEEDING NOTES**

1. DURING PERIODS FROM OCTOBER 1 TO NOVEMBER 15, AREAS DISTURBED SHALL BE DORMANT SEEDED WITH WINTER RYE, 1.5 LB/1,000 SF. DURING PERIODS BETWEEN NOVEMBER 15 AND APRIL 15, DISTURBED AREAS SHALL BE MULCHED AND IF NECESSARY, STABILIZED WITH EROSION CONTROL MESH.

**GENERAL NOTES**

1. ON SITE STABILIZATION WILL BE DONE WITHIN 15 DAYS OF FINAL GRADING OR WITHIN 30 DAYS OF INITIAL SOIL DISTURBANCE.
2. EVERY WEEK AND AFTER PRECIPITATION PRODUCING THE EQUIVALENT OF ONE HALF INCH OF RAINFALL, THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF SEDIMENT FROM SILT FENCE IF SOIL ACCUMULATES TO A DEPTH OF ONE-HALF THE FABRIC HEIGHT; REPAIR OF HAYBALE BARRIERS IF RUNOFF CHANNELIZES UNDER OR AROUND THE BALES; REMOVAL OF EXCESS ACCUMULATED SEDIMENT FROM DETENTION POND; AND WASHING OF TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO OCCURRENCES OF SIGNIFICANT TRACKING.
3. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH "NATIVE EROSION & SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES", BY MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2003.
4. REFER TO THIS SHEET FOR ALL RIP-RAP APRON AND SILT FENCE DETAILS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MEASURES, INCLUDING MATERIALS, CONSTRUCTION, MAINTENANCE AND REMOVAL.
6. EROSION CONTROL FABRIC SHALL BE INSTALLED ON ALL LOAM AND SEEDED AREAS WHICH HAVE A SLOPE GREATER THAN 3:1.
7. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A MONTHLY BASIS ONCE FINAL STABILIZATION IS COMPLETE, BY THE INSPECTING ENGINEER. THIS INSPECTION IN NO WAY REDUCES OR ELIMINATES THE CONTRACTOR'S RESPONSIBILITY TO ADHERE WITH VERBAL OR WRITTEN REQUIREMENTS OF DEP, ARMY CORPS, EPA, OR OTHER JURISDICTIONAL AGENCIES. CONTRACTOR MUST FURTHER ADHERE TO ALL REQUIREMENTS SET FORTH IN THE DEP ORDER OF CONDITIONS.



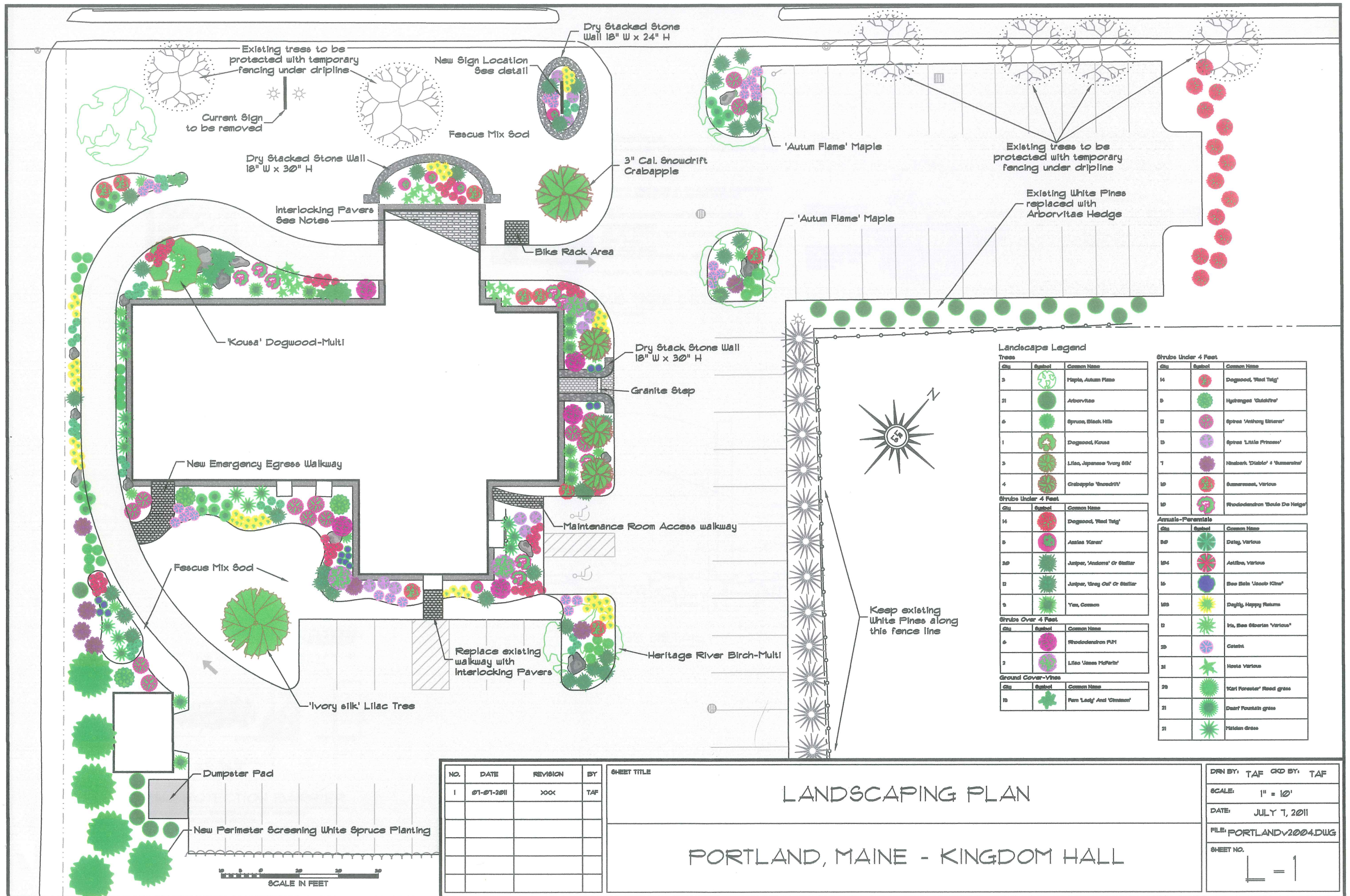
COARSE LOAMY SAND SOIL FILTER BED	
SIEVE #	% PASSING BY WEIGHT
3/8"	100
#4	95 - 100
#8	80 - 100
#16	50 - 85
#30	25 - 60
#60	10 - 30
#100	2 - 10
#200	0 - 5

PLANTING SOIL MIX

PLANTING SOIL MIX  
SOIL FILTER COARSE LOAMY SAND WITH 20%-25% BY VOLUME SHREDDED BARK OR WOOD FIBER MULCH  
COARSE GRAVEL (MDOT 703.22 'B')

<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>5/25/2011</td> <td></td> <td>LFB</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	REVISION	BY	1	5/25/2011		LFB																	SHEET TITLE  <h2 style="text-align: center;">CONSTRUCTION DETAILS</h2>  <h3 style="text-align: center;">PORTLAND, MAINE - KINGDOM HALL</h3>	DRN BY: MT    CKD BY: LFB  SCALE: AS NOTED  DATE: MAY 25, 2011  FILE: PORTLAND.DWG  SHEET NO. <h1 style="text-align: center;">C-6</h1>
	NO.	DATE	REVISION	BY																						
1	5/25/2011		LFB																							
LOUIS F. BRUNO, PE, PLS																										





**Landscape Legend**

Qty	Symbol	Common Name
3		Maple, Autumn Flame
21		Arborvitae
6		Spruce, Black Hills
1		Dogwood, Kouea
3		Lilac, Japanese 'Ivory Silk'
4		Crabapple 'Snowdrift'

Qty	Symbol	Common Name
14		Dogwood, 'Red Tail'
5		Amelias 'Karee'
30		Juniper, 'Andorra' Cr Staffer
12		Juniper, 'Grey Owl' Cr Staffer
5		Yew, Common

Qty	Symbol	Common Name
6		Rhododendron P/N
2		Lilac 'Miss Melfort'

Qty	Symbol	Common Name
10		Fern 'Lady And 'Crown'

Qty	Symbol	Common Name
14		Dogwood, 'Red Tail'
5		Hydrangea 'Chickadee'
12		Spirea 'Anthony Waterer'
15		Spirea 'Little Princess'
7		Nivalis 'Diablo' 4 'Summeris'
10		Summerlast, Various
10		Rhododendron 'Boule De Neige'

Qty	Symbol	Common Name
100		Dactyl, Various
100		Aethis, Various
15		Bee Ball 'Jacob Kline'
100		Dactyl, Happy Returns
12		Iris, Bee Oberlin 'Various'
20		Celastis
31		Hosta Various
20		Karl Forester 'Reed grass'
21		Dactyl Fountain grass
21		Maiden Grass

NO.	DATE	REVISION	BY
1	07-07-2011	XXX	TAF

SHEET TITLE

# LANDSCAPING PLAN

## PORTLAND, MAINE - KINGDOM HALL

DRN BY: TAF CKD BY: TAF

SCALE: 1" = 10'

DATE: JULY 7, 2011

FILE: PORTLANDV2004.DWG

SHEET NO. L = 1



CUMBERLAND, ME REGISTRY OF DEEDS  
 Received \_\_\_\_\_  
 At \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ and \_\_\_\_\_  
 Filed in Plan Book \_\_\_\_\_ Page \_\_\_\_\_  
 ATTEST: \_\_\_\_\_  
 Registrar

RETRACEMENT SURVEY & EXISTING CONDITIONS PLAN  
 PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES  
 355 CANCO ROAD  
 PORTLAND, MAINE 04101  
 DATE: AUGUST 22, 2010  
 SCALE: 1" = 20'  
 PROJECT: PORTLAND DRAWING: PORTLAND  
 DRAINED BY: JMR

1:1 SOURCE



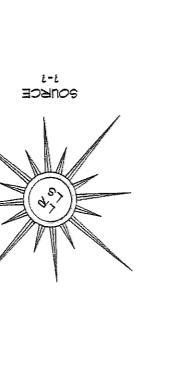
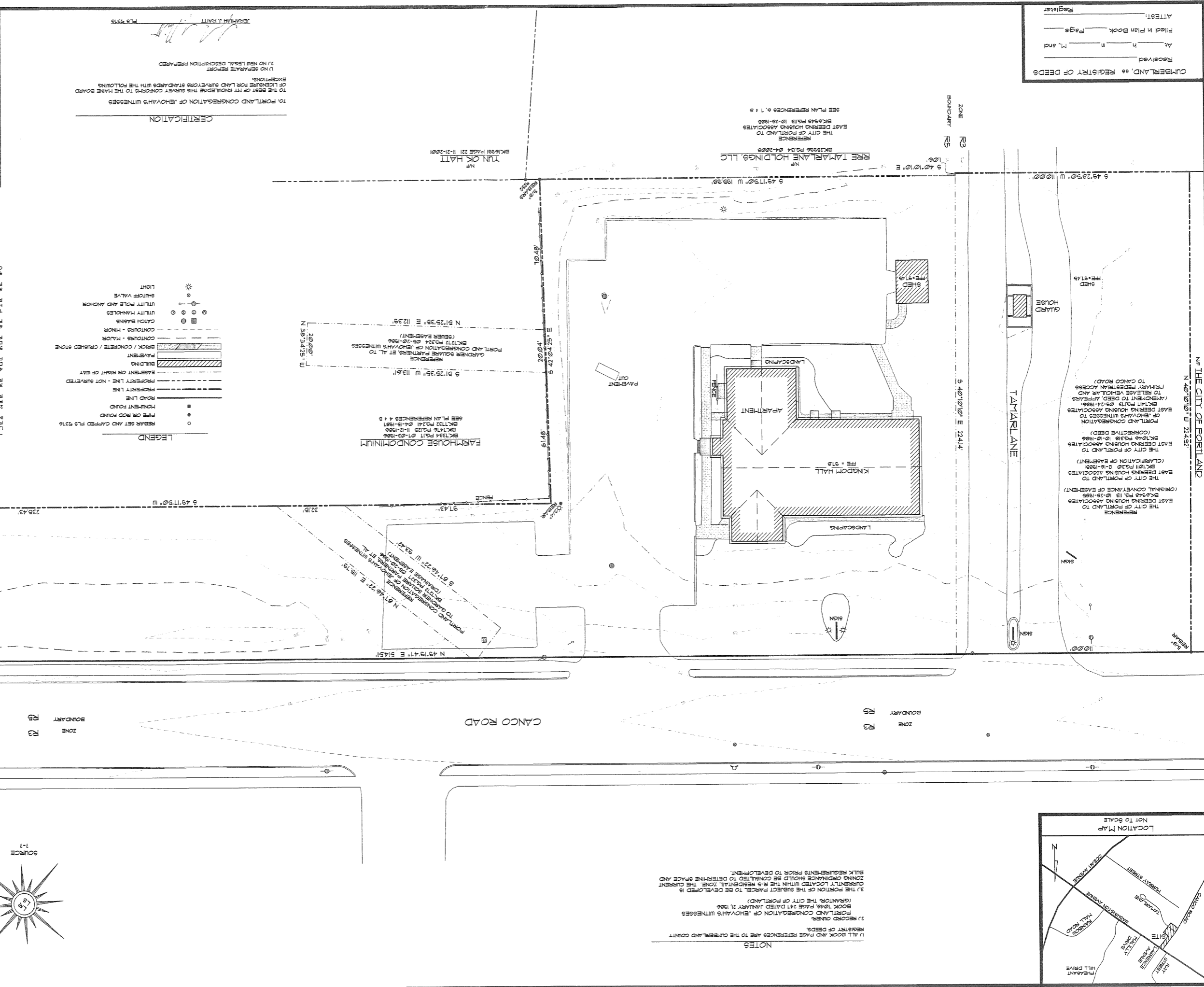
PLAN REFERENCES  
 1) RECORDING PLAT DATED APRIL 26, 1993 BY GARY E. JOHNSON PLS 9376  
 PORTLAND, MAINE DATED APRIL 26, 1993 BY GARY E. JOHNSON PLS 9376  
 IN PLAN BOOK 153, PAGE 207.  
 2) RETRACEMENT SURVEY OF 357 WASHINGTON AVENUE, PORTLAND, MAINE FROM ALVIN GREENE DATED DECEMBER 4, 1997 BY BRADCO TECHNICS, INC. RECORDED IN PLAN BOOK 153, PAGE 64.  
 3) A SUBDIVISION PLAT FOR DONQUITY INC. DATED JUNE 8, 1997 BY SP-RT, RECORDED IN PLAN BOOK 164, PAGE 49.  
 4) FARMHOUSE CONDOMINIUM, 1274 WASHINGTON AVENUE, PORTLAND, MAINE, DATED JULY 14, 1986 BY WELLS ENGINEERING, INC. RECORDED IN PLAN BOOK 162, PAGE 11.  
 5) FARMHOUSE CONDOMINIUM, 1274 WASHINGTON AVENUE, PORTLAND, MAINE, DATED JULY 14, 1986 BY WELLS ENGINEERING, INC. RECORDED IN PLAN BOOK 162, PAGE 24.  
 6) FARMHOUSE CONDOMINIUM, 1274 WASHINGTON AVENUE, PORTLAND, MAINE, DATED JULY 14, 1986 BY WELLS ENGINEERING, INC. RECORDED IN PLAN BOOK 162, PAGE 44.  
 7) PLAN OF LAND STAKEOUT SURVEY ON WASHINGTON AVENUE FOR HOUSING RESOURCES CORP. DATED DECEMBER 21, 1984 BY OWEN HAKKELL, INC. RECORDED IN PLAN BOOK 161, PAGE 19.  
 8) FARMHOUSE CONDOMINIUM, 1274 WASHINGTON AVENUE, PORTLAND, MAINE, DATED MAY 13, 1988 BY HOLDEN ENGINEERING, RECORDED IN PLAN BOOK 159, PAGE 44.  
 9) PLAN FOR UTILITIES, PROPOSED KINGDOM HALL OF JEHOVAH'S WITNESSES, 355 CANCO ROAD, PORTLAND, MAINE NOT DATED, MADE BY JAY SALLEBT, PLS.

LEGEND

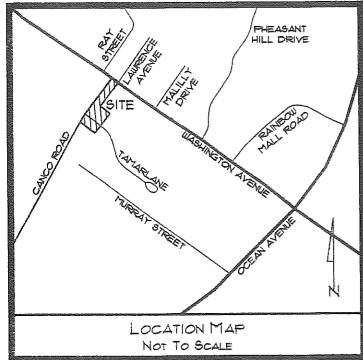
- REBAR SET AND CAPPED PLS 9376
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- CONTIGUOUS - MINOR
- CATCH BASINS
- UTILITY MANHOLES
- UTILITY POLE AND ANCHOR
- SHUTOFF VALVE
- LIGHT

CERTIFICATION  
 I, PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES  
 TO THE BEST OF MY KNOWLEDGE THIS SURVEY CONFORMS TO THE MAINE BOARD  
 OF LICENSURE FOR LAND SURVEYORS STANDARDS WITH THE FOLLOWING  
 EXCEPTIONS:  
 1) NO SEPARATE REPORT  
 2) NO NEW LEGAL DESCRIPTION PREPARED  
 JERAMIAH J. RALITT  
 PLS 9376

NOTES  
 1) ALL BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.  
 2) RECORD OWNERS: PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES, BOOK 104B, PAGE 241 DATED JANUARY 21, 1986 (GRANTEE, THE CITY OF PORTLAND).  
 3) THE PORTION OF THE SUBJECT PARCEL TO BE DEVELOPED IS CURRENTLY LOCATED WITHIN THE R-5 RESIDENTIAL ZONE. THE CURRENT ZONING ORDINANCE SHOULD BE CONSULTED TO DETERMINE SPACE AND BULK REQUIREMENTS PRIOR TO DEVELOPMENT.



SCALE IN FEET  
 0 10 20 30 40 50

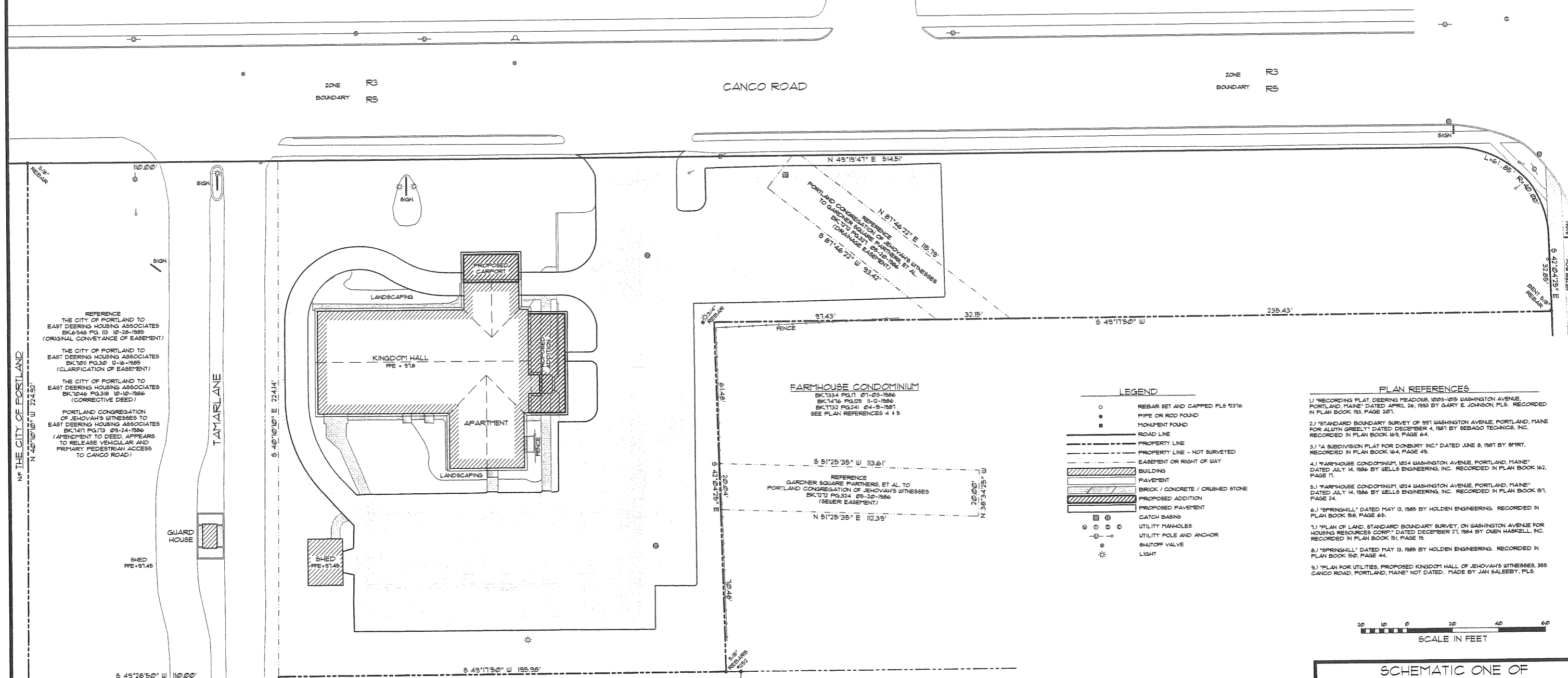
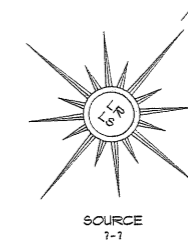


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1) ALL BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

2) RECORD OWNER:  
 PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES  
 BOOK 1048, PAGE 241 DATED JANUARY 21, 1986  
 (GRANTOR: THE CITY OF PORTLAND)

3) THE PORTION OF THE SUBJECT PARCEL TO BE DEVELOPED IS CURRENTLY LOCATED WITHIN THE R-5 RESIDENTIAL ZONE. THE PORTION OF THE PROPERTY SUBJECT TO THE EASEMENT BENEFITTING RRE TAMARLANE HOLDINGS, LLC IS LOCATED WITHIN THE R-3 RESIDENTIAL ZONE. THE CURRENT ZONING ORDINANCE SHOULD BE CONSULTED TO DETERMINE SPACE AND BULK REQUIREMENTS PRIOR TO DEVELOPMENT.



**REFERENCE**

THE CITY OF PORTLAND TO EAST DEERING HOUSING ASSOCIATES BK6340 PG.13 10-28-1985 (ORIGINAL CONVEYANCE OF EASEMENT)

THE CITY OF PORTLAND TO EAST DEERING HOUSING ASSOCIATES BK1201 PG.30 12-16-1985 (CLARIFICATION OF EASEMENT)

THE CITY OF PORTLAND TO EAST DEERING HOUSING ASSOCIATES BK1246 PG.318 10-10-1986 (CORRECTIVE DEED)

PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES TO EAST DEERING HOUSING ASSOCIATES BK1741 PG.113 09-24-1986 (AMENDMENT TO DEED, APPEARS TO RELEASE VEHICULAR AND PRIMARY PEDESTRIAN ACCESS TO CANCO ROAD)

**REFERENCE**

PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES TO GARONER SQUARE PARTNERS, ET AL. BK1712 PG.241 04-15-1981 (ORDINANCE EASEMENT)

**REFERENCE**

GARONER SQUARE PARTNERS, ET AL. TO PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES BK1712 PG.241 04-15-1981 (SEWER EASEMENT)

**REFERENCE**

RRE TAMARLANE HOLDINGS, LLC BK25936 PG.134 04-12-2008

THE CITY OF PORTLAND TO EAST DEERING HOUSING ASSOCIATES BK6340 PG.13 10-28-1985

SEE PLAN REFERENCES 6, 7 & 8

**REFERENCE**

YUN OK HATT BK16991 PAGE 221 11-21-2001

**CERTIFICATION**

TO: PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES

TO THE BEST OF MY KNOWLEDGE THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR LAND SURVEYORS STANDARDS WITH THE FOLLOWING EXCEPTIONS:

1) NO SEPARATE REPORT  
 2) NO NEW LEGAL DESCRIPTION PREPARED

JERAMIAH J. RAITT  
 PLS 92316



CUMBERLAND, 66 REGISTRY OF DEEDS

Received \_\_\_\_\_

At \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ M, and

Filed in Plan Book \_\_\_\_\_ Page \_\_\_\_\_

ATTEST: \_\_\_\_\_ Register

**SCHEMATIC ONE OF PROPOSED DEVELOPMENT**

**LAND OF PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES**

355 CANCO ROAD  
 PORTLAND, MAINE 04101

**LITTLE RIVER LAND SURVEYING**

JERAMIAH J. RAITT  
 ME PLS 92316 NH LLS 9257  
 56 FROST HILL AVENUE  
 LISBON FALLS, MAINE 04252  
 (207) 841-0256

DATE: AUGUST 22, 2010

SCALE: 1" = 20'

PROJECT: PORTLAND DRAWING # PORTLAND

DRAWN BY: JJR

CUMBERLAND, ss REGISTRY OF DEEDS  
 Received \_\_\_\_\_  
 At \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ s  
 Filed in Plan Book \_\_\_\_\_ Page \_\_\_\_\_  
 ATTEST: \_\_\_\_\_  
 Registrar

**SCHEMATIC TWO OF PROPOSED DEVELOPMENT OF JEHOVAH'S WITNESSES OF PORTLAND CONGREGATION**  
 355 CANCO ROAD  
 PORTLAND, MAINE 04101  
 DATE: AUGUST 22, 2008  
 SCALE: 1" = 20'  
 PROJECT: PORTLAND DRAWING: PORTLAND  
 DRAIN BY: JUNE

JEREMIAH J. RAITT  
 56 ROBERT HILL AVENUE  
 LIBCON FALLS, MAINE 04252  
 (207) 841-0256

SCALE IN FEET  
 0 10 20 30 40 50

**PLAN REFERENCES**

- 1) RECORDING PLAT, DEERING HEADQUARTERS, 1823-1828 WASHINGTON AVENUE, PORTLAND, MAINE, DATED APRIL 26, 1933 BY GARY E. JOHNSON, P.L.S., RECORDED IN PLAN BOOK 133, PAGE 207.
- 2) STANDARD BOUNDARY SURVEY OF 997 WASHINGTON AVENUE, PORTLAND, MAINE, FOR ALVIN GREEN, DATED DECEMBER 4, 1907 BY SEBAGO TECHNICAL, INC., RECORDED IN PLAN BOOK 163, PAGE 64.
- 3) A SUBDIVISION PLAT FOR CONCRETE, DATED JUNE 8, 1931 BY S.M.T., RECORDED IN PLAN BOOK 164, PAGE 43.
- 4) FARMHOUSE CONDOMINIUM, 1024 WASHINGTON AVENUE, PORTLAND, MAINE, DATED JULY 14, 1986 BY BELLS ENGINEERING, INC., RECORDED IN PLAN BOOK 162, PAGE 71.
- 5) FARMHOUSE CONDOMINIUM, 1024 WASHINGTON AVENUE, PORTLAND, MAINE, DATED JULY 14, 1986 BY BELLS ENGINEERING, INC., RECORDED IN PLAN BOOK 161, PAGE 74.
- 6) "SPRINGHILL," DATED MAY 19, 1939 BY HOLDEN ENGINEERING, RECORDED IN PLAN BOOK 88, PAGE 65.
- 7) PLAN OF LAND, STANDARD BOUNDARY SURVEY, ON WASHINGTON AVENUE FOR HOUSING RESOURCES COMPANY, DATED DECEMBER 27, 1944 BY OWEN HAYKELL, INC., RECORDED IN PLAN BOOK 91, PAGE 13.
- 8) "SPRINGHILL," DATED MAY 13, 1939 BY HOLDEN ENGINEERING, RECORDED IN PLAN BOOK 150, PAGE 44.
- 9) PLAN FOR UTILITIES, PROPOSED KINGDOM HALL OF JEHOVAH'S WITNESSES, 355 CANCO ROAD, PORTLAND, MAINE, NOT DATED, MADE BY JAY SALLEBY, P.L.S.

**LEGEND**

- REBAR SET AND CAPPED PLS 7316
- PIPE OR ROAD FOUND
- FOUNDATION
- PROPERTY LINE
- PROPERTY LINE - NOT SURVEYED
- EASEMENT OR RIGHT OF WAY
- BUILDING
- PAVEMENT
- BRICK / CONCRETE / CRUSHED STONE
- PROPOSED PAVEMENT
- CATCH BASINS
- UTILITY TANKS
- UTILITY POLE AND ANCHORS
- SHUTOFF VALVE
- LIGHT

**CERTIFICATION**

TO: PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES  
 OF LICENSURE FOR LAND SURVEYORS STANDARDS WITH THE FOLLOWING EXCEPTIONS:  
 1) NO SEPARATE REPORT  
 2) NO NEW LEGAL DESCRIPTION PREPARED

JEREMIAH J. RAITT  
 PLS 7316

SEE PLAN REFERENCES 6, 7 & 8  
 REFERENCE  
 BK13556 PG.134 04-12-08  
 THE CITY OF PORTLAND TO  
 EAST DEERING HOUSING ASSOCIATES  
 BK16948 PG.113 07-28-1986

SEE PLAN REFERENCES 4 & 5  
 REFERENCE  
 BK1734 PG.121 04-19-1987  
 BK1716 PG.125 11-12-1986  
 PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES  
 TO GARDEN SQUARE EASEMENT, ET AL.  
 (SEWER EASEMENT)  
 BK1772 PG.324 09-20-1986

SEE PLAN REFERENCES 1 & 2  
 REFERENCE  
 BK1334 PG.101 07-03-1986  
 BK1732 PG.121 04-19-1987  
 BK1716 PG.125 11-12-1986  
 PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES  
 TO GARDEN SQUARE EASEMENT, ET AL.  
 (SEWER EASEMENT)  
 BK1772 PG.324 09-20-1986

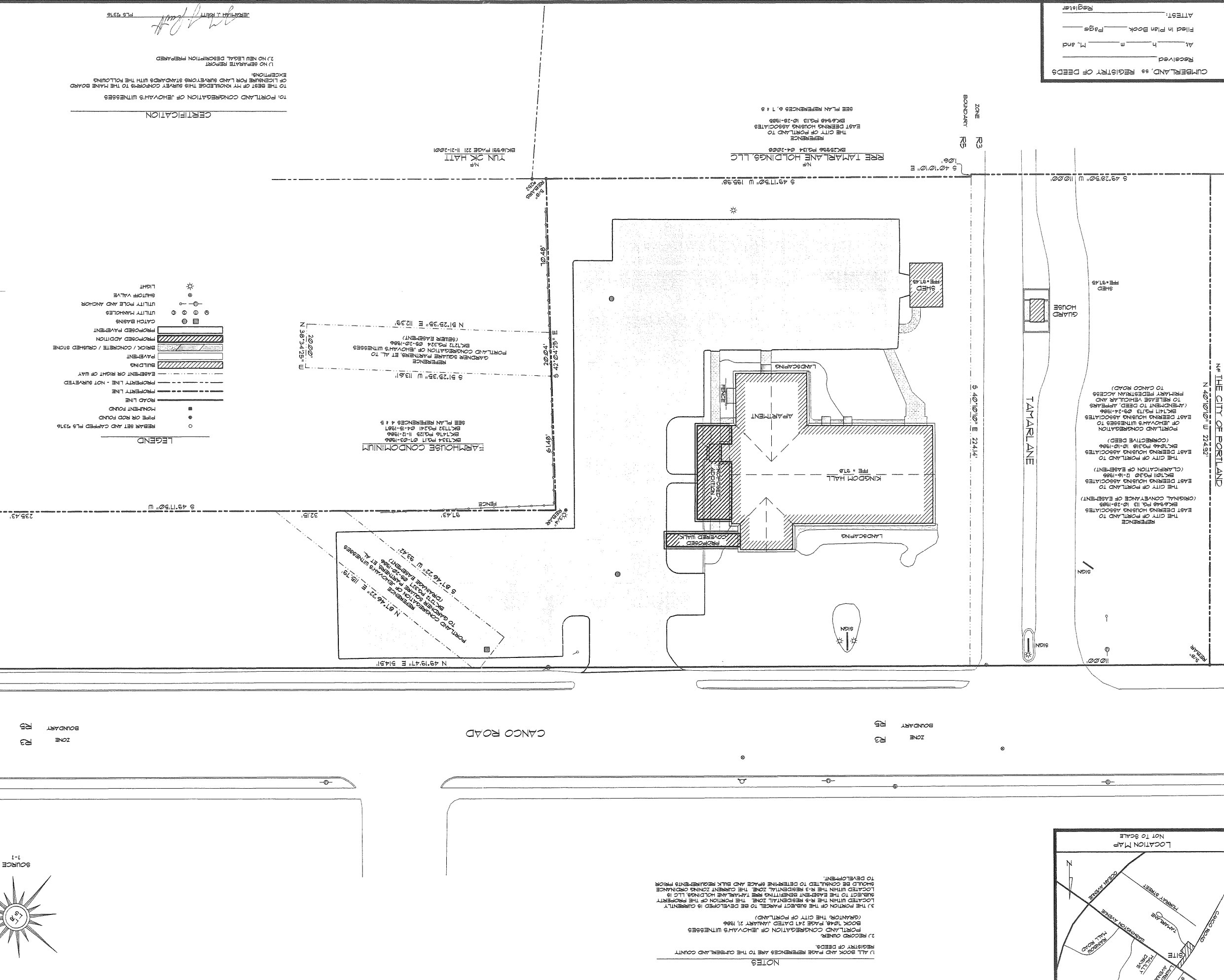
SEE PLAN REFERENCES 3 & 4  
 REFERENCE  
 BK1772 PG.324 09-20-1986  
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 (SEWER EASEMENT)  
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 THE CITY OF PORTLAND TO  
 EAST DEERING HOUSING ASSOCIATES  
 BK16948 PG.113 07-28-1986

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SEE PLAN REFERENCES 6, 7 & 8  
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SEE PLAN REFERENCES 6, 7 & 8  
 REFERENCE  
 BK13556 PG.134 04-12-08  
 THE CITY OF PORTLAND TO  
 EAST DEERING HOUSING ASSOCIATES  
 BK16948 PG.113 07-28-1986



1-1



LOCATION MAP  
 NOT TO SCALE

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