

161-B-43

10-79900026

355 Conco Rd.

Building Addition

Kingdom Hall of Jehovah's  
Witnesses

Prepare for distribution  
on Wednesday

City of Portland  
Development Review Application  
Planning Division Transmittal form

**Application Number:** 10-79900026      **Application Date:** August 23, 2010

**Project Name:** BUILDING ADDITION

**Address:** 355 Canco Road      **CBL:** 161 - B-043-001

**Project Description:** Canco Road - 355; Building Addition-Kingdom Hall; Mark Lawrence (Jehovah's Witnesses), Applicant.

**Zoning:** R5

**Other Reviews Required:**

**Review Type:** MINOR SITE PLAN

**Applicant:**

Mark Lawrence  
421 Alfred Road  
Kennebunk Me 04043

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Kennebunk Me 04043

**Distribution List:**

<input type="checkbox"/> Planner	Barbara Barhydt	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

**Preliminary Comments needed by:**

**Final Comments needed by:**

052030

MORTGAGE DEED

KNOW ALL MEN BY THESE PRESENTS, that PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES, of Portland, Maine, in consideration of One Dollar (\$1.00) and other valuable consideration, paid by WATCH TOWER BIBLE AND TRACT SOCIETY OF PENNSYLVANIA, whose mailing address is 25 Columbia Heights, Brooklyn, New York 11201, the receipt whereof it does hereby acknowledge, does hereby GIVE, GRANT, BARGAIN, SELL AND CONVEY unto the said WATCH TOWER BIBLE AND TRACT SOCIETY OF PENNSYLVANIA, its successors and assigns forever, a certain parcel of land in Portland, Maine, bounded and described as follows:

Beginning at a 5/8" iron rod found on the southeasterly sideline of Canco Road; thence N 49°19'50" E by the southeasterly sideline of Canco Road 624.52 feet; thence northeasterly easterly and southeasterly along a curve to the right having a radius of 40.00 feet by the sideline of Canco Road 61.85 feet to the southwesterly sideline of Washington Avenue; thence S 42°04'25" E by the sideline of Washington Avenue 32.84 feet to a 5/8" iron road to be set at the land of Donald E. Heller and Kimberly A. Washam (see Book 6362, Page 342); thence S 49°17'50" W by the land of Heller and Washam 365.00 feet to a 5/8" iron rod to be set; thence S 42°04'25" E by the land of Heller and Washam 152.00 feet to a 5/8" iron rod to be set at the land of East Deering Housing Associates (Book 6996, Page 196); thence S 49°17'50" W by the land of East Deering Housing Associates 195.98 feet to a 5/8" iron rod found; thence S 40°10'10" W by the land of East Deering Housing Associates 1.06 feet to a 5/8" iron rod found; thence S 49°28'50" W by the land of Deering Housing Associates 110.00 feet to a 5/8" iron rod found; thence N 40°10'10" W by land of the City of Portland 224.92 feet to the point of beginning.

All bearings are deflected 3°54'10" from magnetic 1941 as shown on a Plan of Land, Canco Road, Portland, Maine, prepared by Owen Haskell, Inc., and dated December 13, 1985.

Said parcel consists of 2.15 acres, more or less, and is subject to a 110-foot wide Right-Of-Way Easement from the City of Portland to East Deering Housing Associates by deed dated October 28, 1985 and recorded in the Cumberland County Registry of Deeds at Book 6948, Page 113. It is further subject to a Clarification of Easement from the City of Portland to East Deering Housing Associates dated December 16, 1985 and recorded in Book 6948, Page 113, of said Registry, and a Temporary Easement conveyed by deed of the City of Portland to East Deering Housing Associates dated December 2, 1985, recorded in Book 7004, Page 25, of said Registry all as referenced in a corrective deed dated January 10, 1986 from the City of Portland to said East Deering Housing Associates.

IN WITNESS WHEREOF, said Portland Congregation of Jehovah's Witnesses has caused this instrument to be executed by Frank Sanfino, its President, this \_\_\_\_\_ day of September, 1986.

Signed, Sealed and Delivered in presence of

PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES

Gerald E. Coe

By: Frank Sanfino  
Frank Sanfino  
Its President

Walter B. Barnes  
Walter B. Barnes

State of Maine  
Cumberland, SS.

September 6, 1986

Personally appeared the above-named Frank Sanfino, President of Portland Congregation of Jehovah's Witnesses, and acknowledged the above instrument to be his free act and deed and the free act and deed of Portland Congregation of Jehovah's Witnesses.

Before me,

Louis E. Manter, Jr.  
Notary Public  
LOUIS E. MANTER, JR.  
MY COMMISSION EXPIRES  
FEBRUARY 12, 1990

SEAL

PCJW01/1 ECB9

RECORDED  
RECORDED REGISTRY OF DEEDS  
1987 SEP -1 PM 3:48  
CUMBERLAND COUNTY  
James J. Walsh

Excepting and reserving to the City of Portland, its successors and assigns, for the benefit of its remaining adjacent property, a right-of-way or easement over the same area described in the said Right-Of-Way Easement and Clarification of Easement for all purposes and to the same extent as reserved therein.

Being the same premises conveyed to this Grantor by Quitclaim Deed of the City of Portland dated January 21, 1986 and recorded in said Registry of Deeds at Book 7048, Page 247, to which reference is hereby made.

TO HAVE AND TO HOLD the aforementioned and bargained premises with all the privileges and appurtenances thereof to the said Watch Tower Bible and Tract Society of Pennsylvania, its successors and assigns, to them and their use and behoof forever.

AND IT DOES COVENANT with the said Grantee, its successors and assigns, that it is lawfully seized in fee of the premises; that they are free of all encumbrances; except as aforesaid; that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors shall and will WARRANT AND DEFEND the same to the said Watch Tower Bible and Tract Society of Pennsylvania, its successors and assigns forever, against the lawful claims and demands of all persons.

PROVIDED NEVERTHELESS, that if the said Portland Congregation of Jehovah's Witnesses, its successors or assigns pays to the said Watch Tower Bible and Tract Society of Pennsylvania, its successors or assigns, the sum of Seventy-Five Thousand Dollars (\$75,000.00) in accordance with the terms of a certain promissory note of even date herewith, then this deed as also said certain promissory note bearing even date with these presents, given by the said Portland Congregation of Jehovah's Witnesses to pay the sum and interest at the time aforesaid, shall be void, otherwise shall remain in full force.

Grantor agrees to obtain, and deliver to Grantee, written and unconditional waivers of mechanic's liens upon the real property mortgaged hereunder, for all work labor and services to be performed and materials to be furnished to Grantor in connection with any construction on or renovation of said premises, signed by all contractors, subcontractors, material men and laborers to become involved in any such work. Notwithstanding the foregoing, if any mechanic's lien is filed against the premises mortgaged hereunder, or the building located thereon, for work claimed to have been done for, or materials claimed to have been furnished to Grantor, it shall be discharged by Grantor within five (5) days thereafter, at Grantor's expense, by filing the bond required by law. In the event that any such lien is not so discharged as herein specified, it shall be a default hereunder, and Grantee shall be entitled to all the rights and remedies herein provided in the event of a default hereunder, including but not limited to the right to commence foreclosure proceedings forthwith.



# Development Review Application

PORTLAND, MAINE

Planning and Urban Development Department  
Planning Division and Planning Board

PROJECT NAME: Kingdom Hall of Jehovah's Witnesses

PROPOSED DEVELOPMENT ADDRESS:

355 Canco Rd Portland

PROJECT DESCRIPTION:

16 x 42 (672 sq Ft) addition off Gable (northeast corner)  
and 14 x 24 (336 sq Ft) to Northwest Front, Carport

Book - 7048 PAGE - 241 12/86

CHART/BLOCK/LOT: 7412 - 17392486 PRELIMINARY PLAN   
7272 - 3275286 FINAL PLAN

CONTACT INFORMATION:

## APPLICANT

Name: Mark Lawrence  
Address: 421 Alfred Rd  
Kennebunk Me 04043  
Zip Code: 04043  
Work #: 985-9785  
Cell #: 468-9722  
Fax #: 985-9785  
Home: 985-9785  
E-mail: markjl@proddruner

## PROPERTY OWNER

Name: Portland West Congregation  
Address: 355 Canco Rd  
Portland Me  
Zip Code: 04101  
Work #: 344-4059  
Cell #: 344-4059  
Fax #: -  
Home: 647-2780  
E-mail: clanceykeniston@gmail.com

## BILLING ADDRESS

Name: Clancey Keniston  
Address: 11 Sweden Rd  
Bridgton Me.  
Zip: 04009  
Work #: \_\_\_\_\_  
Cell #: 344-4059  
Fax #: \_\_\_\_\_  
Home: 647-2780  
E-mail: clanceykeniston@gmail.com

~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVE

Name: Mark Lawrence  
Address: 421 Alfred Rd  
Kennebunk Me.  
Zip Code: 04043  
Work #: 985-9785  
Cell #: 468-9722  
Fax #: 985-9785  
Home: " "  
E-mail: markjl@roadrunner.com

ENGINEER

Name: Lou Bruno  
Address: PO Box 264  
Lovell Me  
Zip Code: 04051  
Work #: 776-4439  
Cell #: 776-4439  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: Louisbruno35@yahoo.com

ARCHITECT

Name: Jim Haut  
Address: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Work #: 679-2210  
Cell #: 355-5435  
Fax #: \_\_\_\_\_  
Home: 368-5687  
E-mail: \_\_\_\_\_

CONSULTANT

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

SURVEYOR

Name: Jay Raitt  
Address: 56 Frost Hill Ave  
Lisbon Falls Me  
Zip Code: 04252  
Work #: 841-0056  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: jraitt@lrls.net

ATTORNEY

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

# PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area \* 1.60 Ac (R5 ZONE) sq. ft.  
 Proposed Total Disturbed Area of the Site 0.07 Ac / 3,108 sq. ft.  
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)

## IMPERVIOUS SURFACE AREA

Proposed Total Paved Area 2,100 sq. ft.  
 Existing Total Impervious Area 21,740 sq. ft.  
 Proposed Total Impervious Area (~~23,840~~) 23,840 sq. ft.  
 Proposed Impervious Net Change 2,100 sq. ft.

## BUILDING AREA

Existing Building Footprint 5,641 sq. ft.  
 Proposed Building Footprint 6,649 sq. ft.  
 Proposed Building Footprint Net change 1,008 sq. ft.  
 Existing Total Building Floor Area 5,329 sq. ft.  
 Proposed Total Building Floor Area 6,001 sq. ft.  
 Proposed Building Floor Area Net Change 672 sq. ft.

New Building (yes or no)

## ZONING

Existing R5  
 Proposed, if applicable N/A

## LAND USE

Existing ✓  
 Proposed \_\_\_\_\_

## RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units N/A  
 Proposed Number of Residential Units to be Demolished N/A  
 Existing Number of Residential Units ① EXIST. APT.  
 Proposed Number of Residential Units N/A  
 Subdivision, Proposed Number of Lots N/A

## PARKING SPACES

Existing Number of Parking Spaces 59  
 Proposed Number of Parking Spaces 0  
 Number of Handicapped Parking Spaces 2  
 Proposed Total Parking Spaces 61

## BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces N/A  
 Proposed Number of Bicycle Parking Spaces ↓  
 Total Bicycle Parking Spaces \_\_\_\_\_

## ESTIMATED COST OF PROJECT

\$ 150 K

\* Original Property Area = 2.15 Ac.  
 0.55 Ac. of zone R3 Property was granted to East Deering Housing Assoc. (BK 7417 Pg. 173-09/24/86)



**APPLICATION FEES:**

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p><b>Level II Development</b>  <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)  <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p><b>Plan Amendments</b>  <input type="checkbox"/> Planning Staff Review (\$250)  <input type="checkbox"/> Planning Board Review (\$500)</p> <p><b>Subdivision</b>  <input type="checkbox"/> Subdivision (\$500) + amount of lots _____ (\$25/lot)                  \$ _____ + (applicable + Major site plan fee)</p>
<p><b>Level III Development</b>  <input type="checkbox"/> Under 50,000 sq. ft. (\$500)  <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000)  <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000)  <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000)  <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000)  <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000)  <input type="checkbox"/> Parking lots over 100 spaces (\$1,000)  <input type="checkbox"/> After-the-fact Review (\$1,000 plus applicable application fee)</p>	<p><b>Other Reviews</b>  <input type="checkbox"/> Site Location of Development (\$3,000) (except for residential projects which shall be \$200 per lot _____ )  <input type="checkbox"/> Traffic Movement (\$1,000)  <input type="checkbox"/> Stormwater Quality (\$250)  <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot)  <input type="checkbox"/> Other _____</p>

**LEVEL II AND LEVEL III REVIEW APPLICATION SUBMISSION**

Submissions shall include seven (7) packets with folded plans containing the following materials:

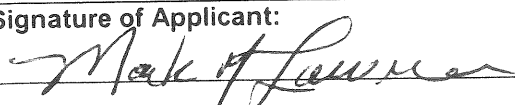
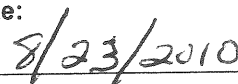
1. **Seven (7) full size site plans** that must be **folded**.
2. Seven (7) copies of all written materials as follows, unless otherwise noted:
  - a. Application form that is completed and signed.
  - b. Cover letter stating the nature of the project.
  - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

**Refer to the application checklist (page 7) for a detailed list of submittal requirements.**

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for a Site Plan review only. A Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.**

<p>Signature of Applicant:  </p>	<p>Date:  </p>
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Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

**City of Portland Planning Division**  
 389 Congress Street  
 Portland, Maine 04101  
 (207) 874-8719  
 www.portlandmaine.gov

**Office Hours:**  
 Unless noted, office hours are  
 Monday thru Friday  
 8:00 a.m. – 4:30 p.m.

**General Submittal Requirements – Level II and Level III Site Plan**

**Preliminary Plan Phase (if elected by applicant)**

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	7	Completed application form
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	1	Application fees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written description of project
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	7	Evidence of right, title and interest.
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Copies of required State and/or Federal permits.
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written assessment of zoning.
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase). - <i>confirm parking numbers - not on plan see application</i>
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written summary of significant natural features located on the site.
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written summary of project's consistency with related city master plans.

**Final Plan Phase (including items listed above if no preliminary plan review)**

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within 1/4 mile of an intersection identified in a previous traffic study as a failing intersection).
<input type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

# Site Plans and Boundary Survey Requirements – Level II and Level III Site Plan



## Preliminary Plan Phase (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	7	Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	7	<b>Preliminary Site Plan Including the following:</b> <i>(*information provided may be preliminary in nature during the preliminary plan phase):</i>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties..
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. <i>- no bicycle</i>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed easements or public or private rights of way. <i>- Copies of documents may be needed at final - extending pavement out - ok?</i>

## Final Plan Phase

<input type="checkbox"/>	<input type="checkbox"/>	7	<b>Final Site Plan Including the following</b>
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed loading and servicing areas, including applicable turning templates for delivery vehicles

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<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Proposed snow storage areas or snow removal plan.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Proposed trash and recycling facilities.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Existing and proposed utilities.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Proposed finish floor elevation (FFE).</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Exterior building elevation(s) (showing all 4 sides).</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Proposed stormwater management and erosion controls.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Exterior lighting plan, including street lighting improvements..</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Proposed signage.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Total area and limits of proposed land disturbance.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Soil type and location of test pits and borings.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Details of proposed pier rehabilitation (Shoreland areas only).</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Proposed snow storage areas or method of snow removal.</li></ul>
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"><li>Existing and proposed easements or public or private rights of way.</li></ul>

# CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,  
55 Portland Street,  
Portland, Maine 04101-2991



Mr. Frank J. Brancely,  
Senior Engineering Technician,  
Phone #: (207) 874-8832,  
Fax #: (207) 874-8852,  
E-mail: fjb@portlandmaine.gov

Date: \_\_\_\_\_

## 1. Please, Submit Utility, Site, and Locus Plans.

Site Address: \_\_\_\_\_  
*(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)*

Proposed Use: \_\_\_\_\_

Previous Use: \_\_\_\_\_

Existing Sanitary Flows: \_\_\_\_\_ GPD

Existing Process Flows: \_\_\_\_\_ GPD

Description and location of City sewer, at proposed building sewer lateral connection: \_\_\_\_\_

Chart Block Lot Number: \_\_\_\_\_

Site Category	Commercial	_____
	Industrial <i>(complete part 4 below)</i>	_____
	Governmental	_____
	Residential	_____
	Other <i>(specify)</i>	_____

Clearly, indicate the proposed connection, on the submitted plans.

## 2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: \_\_\_\_\_ GPD

Peaking Factor/ Peak Times: \_\_\_\_\_

Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)*

**Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.**

## 3. Please, Submit Contact Information.

Owner/Developer Name: \_\_\_\_\_

Owner/Developer Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-mail: \_\_\_\_\_

Engineering Consultant Name: \_\_\_\_\_

Engineering Consultant Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-mail: \_\_\_\_\_

City Planner's Name: \_\_\_\_\_ Phone: \_\_\_\_\_

**Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.**

## 4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: \_\_\_\_\_ GPD

Do you currently hold Federal or State discharge permits? Yes \_\_\_\_\_ No \_\_\_\_\_

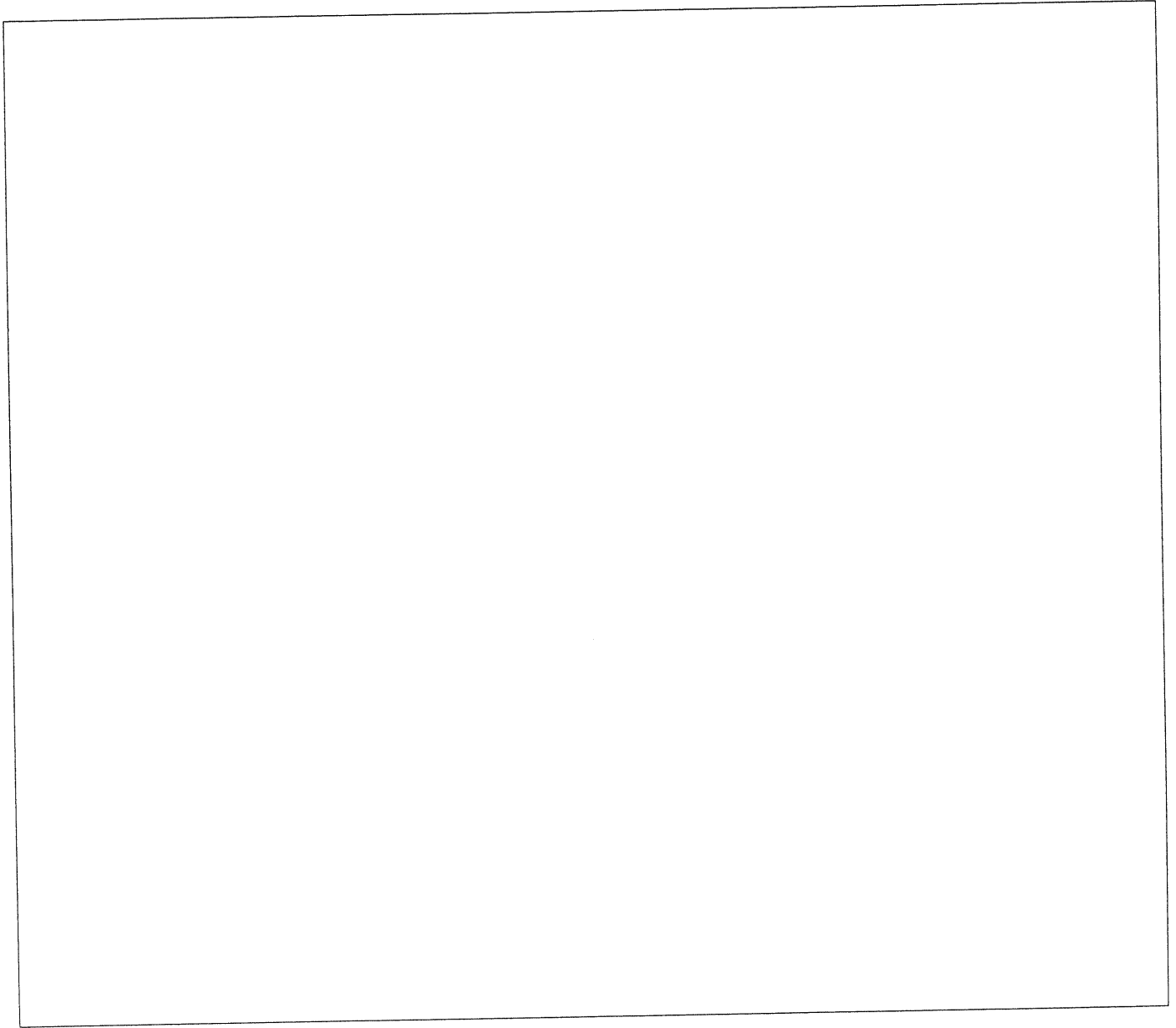
Is the process wastewater termed categorical under CFR 40? Yes \_\_\_\_\_ No \_\_\_\_\_

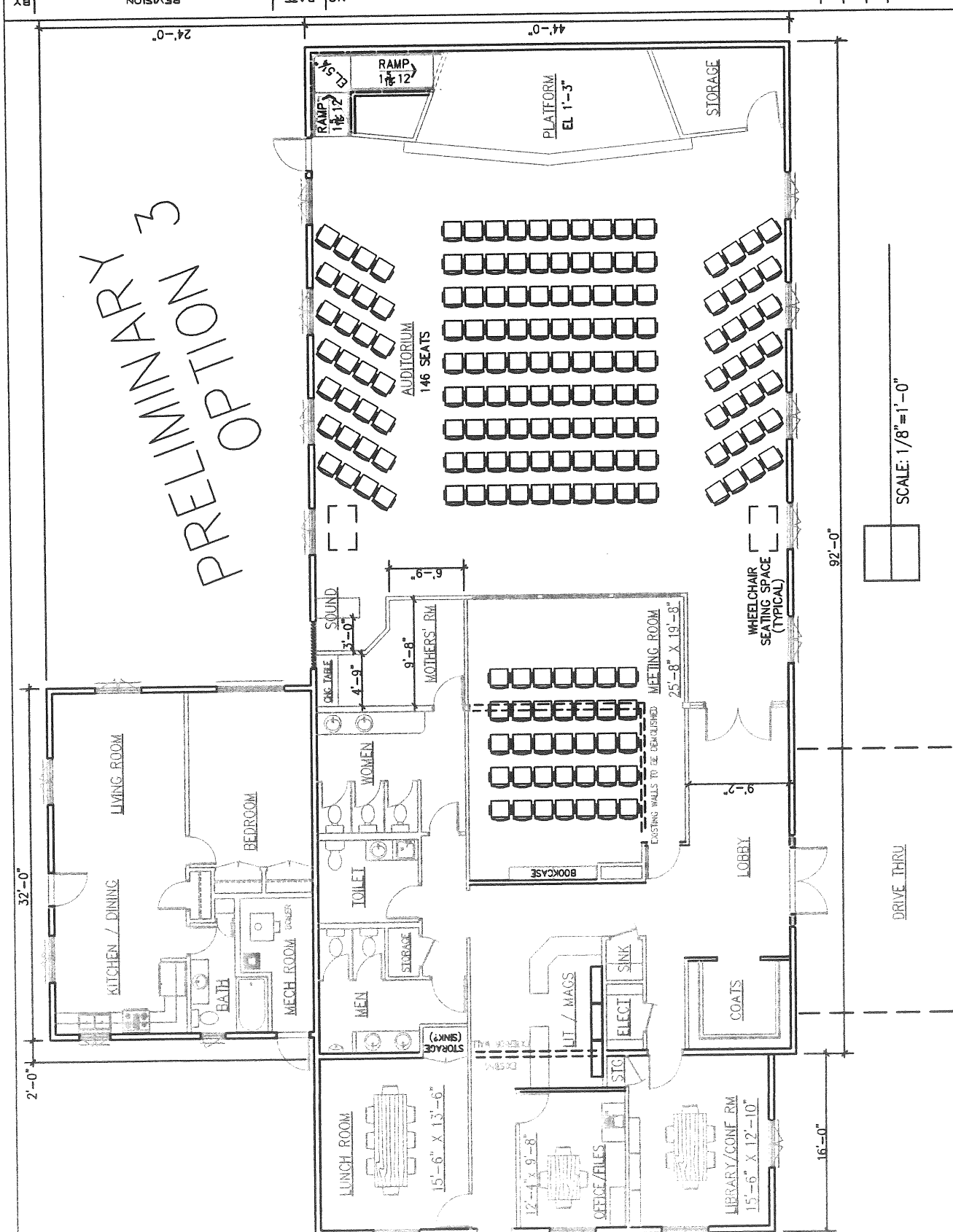
OSHA Standard Industrial Code (SIC): \_\_\_\_\_  
*(http://www.osha.gov/oshstats/sicser.html)*

Peaking Factor/Peak Process Times: \_\_\_\_\_

**Note:** On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

**Notes, Comments, or Calculations:**





NO.	DATE	REVISION	BY
1	7-11-10	PRIMARY ISSUE	MEG

**FLOOR PLAN**  
**OPTION #3**

**PROJECT TITLE**  
PORTLAND, ME. - KINGDOM HALL  
REMODEL OF EXISTING HALL  
UNITED STATES OF AMERICA

**SHEET TITLE**

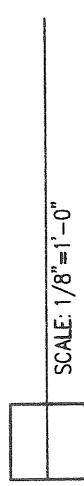
**DWN BY:** WEM/GKD BY:

**SCALE:** 1/8" = 1'-0"

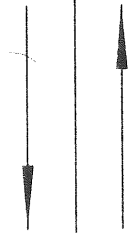
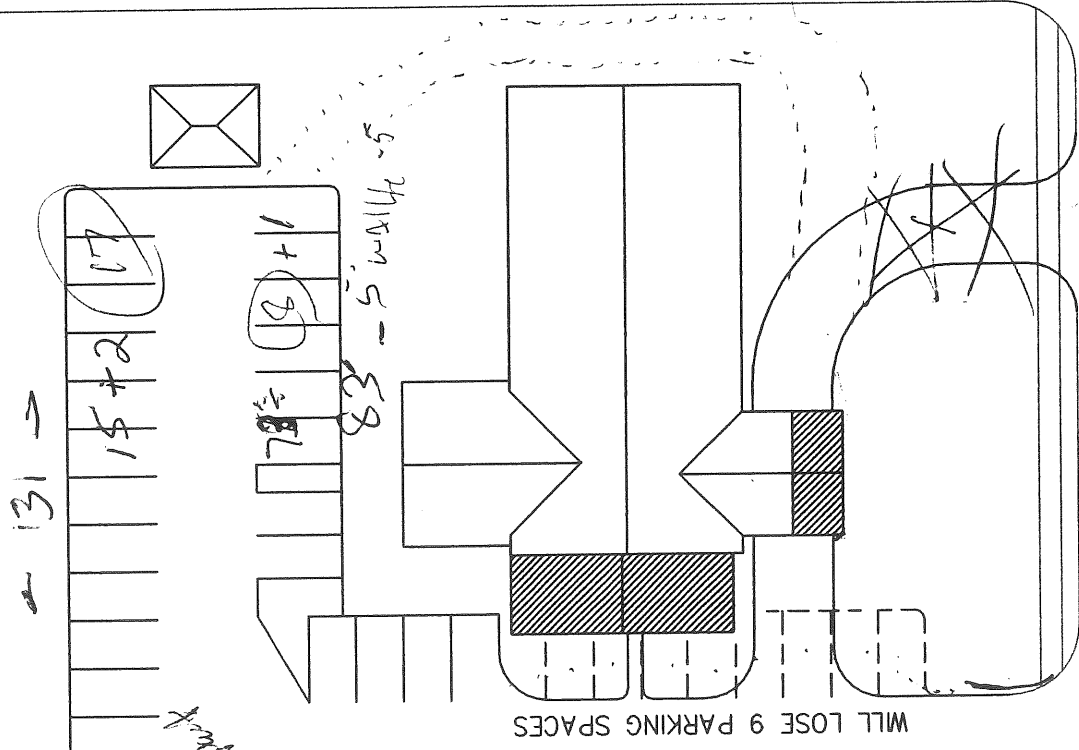
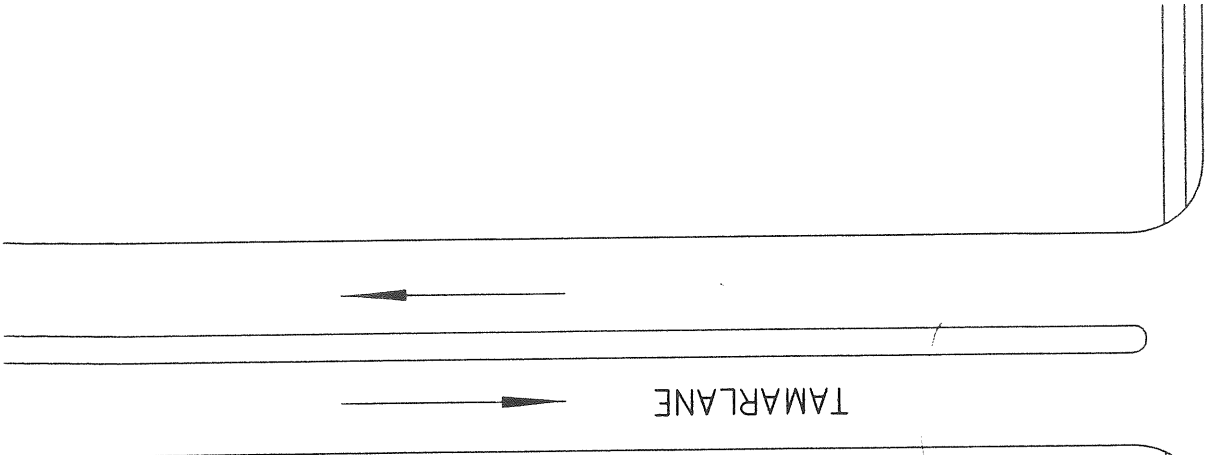
**DATE:** 7-11-10

**CAD #:** RA201

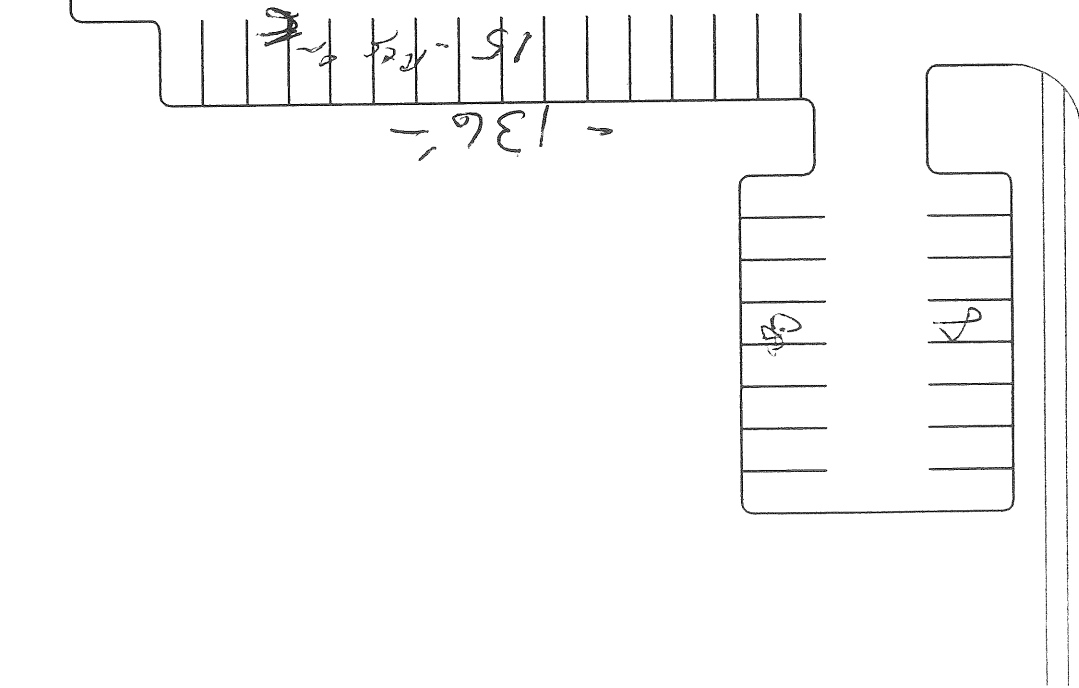
**SHEET NO.:** RA2.1



**SCALE:** 1/8" = 1'-0"



CANCO ROAD





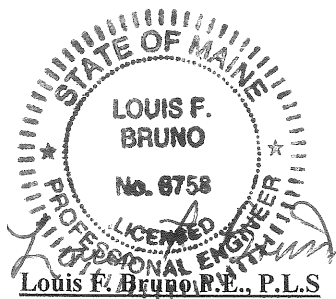
PORTLAND , MAINE KINGDOM HALL  
of  
Jehovah's Witnesses

**EXHIBIT A**

SUPPLEMENTAL INFORMATION

FOR

**Planning & Urban Development Department**



July 11, 2011

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# **Development Review Application**



## Level II – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department  
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level II: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits. General information pertaining to the thresholds of review, public noticing procedures and the fee structure is contained in the Notice to Developer's Packet.

### Level II: Site Plan Development includes:

- New structures with a total floor area of less than 10,000 sf except in Industrial Zones.
- New structures with a total floor area of less than 20,000 sf in Industrial Zones.
- Any new temporary or permanent parking area, paving of an unpaved surface parking area, or creation of other impervious surface area greater than 7,500 sf.
- Building addition(s) with a total floor area of less than 10,000 sf (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of less than 20,000 sf in Industrial Zones.
- Park improvements: New structures or buildings with a total floor area of less than 10,000 sf, facilities encompassing an area of greater than 7,500 sf and less than 20,000 sf (excludes rehabilitation or replacement of existing facilities).
- New piers, docks, wharves, bridges, retaining walls, and other structures within the Shoreland Zone.
- Land disturbance between 1 and 3 acres (includes stripping, grading, grubbing, filling or excavation).
- A change in the use of a total floor area between 10,000 and 20,000 sf in any existing building (cumulatively within a 3 year period).
- Construction of a lodging house, bed and breakfast facility, emergency shelter or special needs independent living unit.
- Signage subject to approval pursuant to Section 14-526 (d) 8.a. (IV) of the Land Use Code.
- Any new major or minor auto service station with less than 10,000 sf of building area that is outside the B-2 or B-5 zones.
- The creation of day care or home babysitting facilities to serve more than 12 children in a residential zone (not permitted as a home occupation under section 14-410) in any principal structure that has not been used as a residence within the 5 years preceding the application.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

**Planning Division**  
Fourth Floor, City Hall  
389 Congress Street  
(207) 874-8721

**Office Hours**  
Monday thru Friday  
8:00 a.m. – 4:30 p.m.

PROJECT NAME: \_\_

Kingdom Hall of Jehovah's Witnesses

PROPOSED DEVELOPMENT ADDRESS:

355 Canco Road

PROJECT DESCRIPTION:

16'x44' Addition plus a 24'x24' carport

CHART/BLOCK/LOT: 161-B-43

PRELIMINARY PLAN \_\_\_\_\_ (date)

FINAL PLAN 7/11/11 \_\_\_\_\_ (date)

CONTACT INFORMATION:

<p><b>Applicant – must be owner, Lessee or Buyer</b></p> <p>Name: <b>William Keniston</b></p> <p>Business Name, if applicable:</p> <p>Address: <b>11 Sweden Road</b></p> <p>City/State : <b>Bridgton,ME</b> Zip Code:<b>04009</b></p>	<p><b>Applicant Contact Information</b></p> <p>Work #</p> <p>Home# <b>(207) 647 2780</b></p> <p>Cell # <b>(207) 462 8661</b> Fax#</p> <p>e-mail: <b>clanceykeniston@msn.com</b></p>
<p><b>Owner – (if different from Applicant)</b></p> <p>Name:</p> <p>Address:</p> <p>City/State : Zip Code:</p>	<p><b>Owner Contact Information</b></p> <p>Work #</p> <p>Home#</p> <p>Cell # Fax#</p> <p>e-mail:</p>
<p><b>Agent/ Representative</b></p> <p>Name: <b>Mark Lawrence</b></p> <p>Address: <b>421 Alfred Road</b></p> <p>City/State : <b>Kennebunk,ME</b> Zip Code : <b>04043</b></p>	<p><b>Agent/Representative Contact information</b></p> <p>Work # <b>(207) 985-9785</b></p> <p>Cell # <b>(207) 468-9722</b></p> <p>e-mail: <b>markjl@roadrunner.com</b></p>
<p><b>Billing Information</b></p> <p>Name: <b>Applicant</b></p> <p>Address:</p> <p>City/State : Zip Code:</p>	<p><b>Billing Information</b></p> <p>Work #</p> <p>Cell # Fax#</p> <p>e-mail:</p>



<b>Engineer</b> Name: <b>Louis F Bruno</b> Address: <b>PO Box 264</b> City/State : <b>Lovell, ME</b> Zip Code: <b>04051</b>	<b>Engineer Contact Information</b> Work # <b>(508) 481 7400</b> Cell # <b>(207) 776 4439</b> Fax# e-mail: <b>louisbruno35@yahoo.com</b>
<b>Surveyor</b> Name: <b>Jay Raitt</b> Address: <b>56 Frost Hill Ave</b> City/State : <b>Lisbon Falls ,ME</b> Zip Code: <b>04252</b>	<b>Surveyor Contact Information</b> Work # <b>(207) 353 3235</b> Cell # <b>(207) 841 0056</b> Fax# e-mail: <b>jraitt@lrls.net</b>
<b>Architect</b> Name: <b>James Haut</b> Address: <b>41 Kathy Street</b> City/State : <b>Palmyra, ME</b> Zip Code: <b>04965</b>	<b>Architect Contact Information</b> Work # <b>(207) 368 5687</b> Cell #      Fax# e-mail: <b>jhaut@midmaine.com</b>
<b>Attorney</b> Name: <b>Ray Roberts</b> Address: <b>41 Mast Road</b> City/State : <b>Saco, ME</b> Zip Code: <b>04072</b>	<b>Attorney Contact Information</b> Work # <b>(207) 282 6422</b> Cell # <b>(207) 590 5651</b> Fax# e-mail: <b>ray-a-roberts@maine.rr.com</b>

**APPLICATION FEES:**

**Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)**

<b>Level II Development (check applicable reviews)</b>	<b>Fees Paid (office use)</b>	<b>Other Reviews (check applicable reviews)</b>	<b>Fees Paid (office use)</b>
<input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots <input type="checkbox"/> x \$25/lot = <input type="checkbox"/>  <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
The City invoices separately for the following: <ul style="list-style-type: none"> <li>• Notices (\$.75 each)</li> <li>• Legal Ad (% of total Ad)</li> <li>• Planning Review (\$40.00 hour)</li> <li>• Legal Review (\$75.00 hour)</li> </ul> Third party review is assessed separately.			

<b>Plan Amendments (check applicable reviews)</b> <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	<b>Fees Paid (office use)</b> <input type="checkbox"/> <input type="checkbox"/>	
---	---	--

## APPLICATION SUBMISSION

**As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.**

**Until December 1, 2010, submissions shall include seven (7) packets with folded plans containing the following materials:**


1. **Seven (7) full size site plans** that must be **folded**.
2. Seven (7) copies of all written materials or as follows, unless otherwise noted:
  - a. Application form that is completed and signed.
  - b. Cover letter stating the nature of the project.
  - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
6. One (1) set of plans reduced to 11 x 17.

**Refer to the application checklist for a detailed list of submittal requirements.**

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.**

<b>Signature of Applicant:</b> 	<b>Date:</b> 7-8-11
---	------------------------



## PROJECT DATA

The following information is required where applicable, in order complete the application

<b>Total Site Area</b>	<b>93,654 sq. ft./2.15 Acres.</b>
<b>Proposed Total Disturbed Area of the Site</b>	<b>19,650 sq. ft./0.45Acres</b>
<b>(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)</b>	
<b>IMPERVIOUS SURFACE AREA</b>	
• Proposed Total Paved Area	<b>23,587 sq. ft.</b>
• Existing Total Impervious Area	<b>27,880 sq. ft.</b>
• Proposed Total Impervious Area	<b>29,983 sq. ft.</b>
• Proposed Total Impervious Area	sq. ft.
• Proposed Impervious Net Change	<b>2,103sq ft.</b>
<b>BUILDING AREA</b>	
• Proposed Building Footprint	<b>6,096 sq. ft.</b>
• Proposed Building Footprint Net change	<b>992 sq. ft.</b>
• Existing Total Building Floor Area	<b>4,626 sq. ft.</b>
• Proposed Total Building Floor Area	<b>5,296 sq. ft.</b>
• Proposed Building Floor Area Net Change	<b>666 sq. ft.</b>
• New Building	<b>Addition (yes or no)</b>
<b>ZONING</b>	
• Existing	<b>R5</b>
• Proposed, if applicable	<b>N/A</b>
<b>LAND USE</b>	
• Existing	
• Proposed	<b>N/A</b>
<b>RESIDENTIAL, IF APPLICABLE</b>	
• Proposed Number of Affordable Housing Units	<b>N/A</b>
• Proposed Number of Residential Units to be Demolished	<b>N/A</b>
• Existing Number of Residential Units	<b>1</b>
• Proposed Number of Residential Units	<b>0</b>
• Subdivision, Proposed Number of Lots	<b>N/A</b>
<b>PARKING SPACES</b>	
• Existing Number of Parking Spaces	<b>63</b>
• Proposed Number of Parking Spaces	<b>62</b>
• Number of Handicapped Parking Spaces	<b>2</b>
• Proposed Total Parking Spaces	<b>64</b>
<b>BICYCLE PARKING SPACES</b>	
• Existing Number of Bicycle Parking Spaces	<b>0</b>
• Existing Number of Bicycle Parking Spaces	
• Proposed Number of Bicycle Parking Spaces	<b>See landscape plans</b>
• Total Bicycle Parking Spaces	
<b>ESTIMATED COST OF PROJECT</b>	<b>\$150,725.</b>

**General Submittal Requirements – Preliminary Plan (Optional)**

**Level II Site Plan**

**Preliminary Plan Phase Check list (if elected by applicant)**

<b>Applicant Checklist</b>	<b>Planner Checklist</b>	<b>Number of Copies</b>	<b>Written Submittal Requirements</b>
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Completed application form
<input type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written description of project
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Evidence of right, title and interest.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Copies of required State and/or Federal permits.
<input type="checkbox"/>	<input type="checkbox"/>	7 ((1 paper copy as of Dec. 1)	Written assessment of zoning.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase).
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written summary of significant natural features located on the site.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written summary of project's consistency with related city master plans.
<b>Applicant Checklist</b>	<b>Planner Checklist</b>	<b>Number of Copies</b>	<b>Site Plan Submittal Requirements</b>
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	<b>Preliminary Site Plan Including the following: (*information provided may be preliminary in nature during preliminary plan phase):</b>
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed alterations to and protection measures for significant natural

*features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).*

- *Existing and proposed easements or public or private rights of way.*

**General Submittal Requirements – Final Plan (Required)**

**Level II Site Plan**

**Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)**

<b>Applicant Checklist</b>	<b>Planner Checklist</b>	<b>Number of Copies</b>	<b>Written Submittal Requirement</b>
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within ¼ mile of an intersection identified in a previous traffic study as a failing intersection).
<input type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

**Final Plan Phase**

<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	<b>Final Site Plan Including the following</b>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Location of adjacent streets and intersections and approximate location of structures on abutting properties.</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Proposed site access and circulation.</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Proposed grading and contours.</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Proposed loading and servicing areas, including applicable turning templates for delivery vehicles</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Proposed snow storage areas or snow removal plan.</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Proposed trash and recycling facilities.</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Existing and proposed utilities.</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ <i>Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility</i>

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	<i>connections, public transit infrastructure, roadway improvements).</i>
	<ul style="list-style-type: none"> <li>▪ <i>Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Proposed finish floor elevation (FFE).</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Exterior building elevation(s) (showing all 4 sides).</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Proposed stormwater management and erosion controls.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Exterior lighting plan, including street lighting improvements..</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Proposed signage.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Total area and limits of proposed land disturbance.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Soil type and location of test pits and borings.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Details of proposed pier rehabilitation (Shoreland areas only).</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ <i>Existing and proposed easements or public or private rights of way.</i></li> </ul>



# **Storm Water Quality Design and Calculations**

## Water Quality Design and Calculations

Total Impervious Existing Area = 27,880 sf /0.64 acres  
 Total Impervious Proposed Area = 29,983 sf / 0.69 acres  
 Total Impervious Area Added = **2,103 sf**  
 Total Impervious Area Treated = **5,235 sf**

WS	IMP (Dev.)	LA (Dev.)	BMP	Storage Vol. (Required)	Bed Area (Required)	Storage Vol. (Provided)	Bed Area (Provided)	Buffer Size (Required)
RG"A"	1,116	975	RG"A"	125	76	250	200	n/a
	93	32						
	5%	2%						
	56	20						
RG"B"	2,551	840	RG"B"	240	144	250	200	n/a
	212	28						
	5%	2%						
	127	17						
RG"C"	1,568	420	RG"C"	144	86	220	150	n/a
	130	14						
	5%	2%						
	78	8						

### Note:

Appendix F, Vegetated Buffers, Sections 3 & 6 (*Chapter 500 Stormwater Management*) were used to size the Meadow Buffers above.

Meadow Buffers have been designed to accommodate a 10 yr (24 hr) storm water event , maximum Peak Discharge of 0.25 cfs

## Stormwater Management for Maine

### Vol. III: BMP's Technical Design Manual

#### 7.1.3 Specific Design Criteria

**Soil Filter Media**, 70-80% Silty Sand, 20-30% by volume shredded bark or wood fiber mulch .The resulting mixture must have no less than 8% passing the 200 sieve and shall have a clay content of less than 2%. The system must be designed to drain the surface storage volume in no less than 24 hours and no more than 48 hours.

12" Crushed Stone(Underdrain), Table 7.1 Maine DOT Specification for Underdrains (MEDOT) #703.22

#### **Underdrain – Type C**

#### **Sieve Size      %by weight**

1"	100
¾"	90-100
3/8"	0-75
#4	0-25
#10	0-5

# **Domestic Water Demand and Usage Evaluation**

**Portland Congregation of Jehovah's Witnesses  
Domestic Water Demand/Usage Evaluation**

**Peak Demand**

The existing Kingdom Hall with the proposed addition will have the following will include the following plumbing fixtures. The number of fixtures will not increase with the proposed addition.

The fixture unit values below include the existing apartment. The fixture unit values are from Table 6-4 in the Maine Internal Plumbing Code.

- 6 Lavatory @ 1.0 fixture units
- 7 Water Closet (tank type 1.6 gpf) @ 3.5 fixture units
- 1 Urinal @ 3.0 fixture units
- 1 Kitchen sink @ 1.5 fixture units
- 1 Shower/tub @ 4.0 fixture units
- 1 Clothes washer @ 4.0 fixture units
- 1 Utility basin @ 3.0 fixture units
- 1 Drinking fountain @ 0.75 fixture units

The total fixture units is 46.75

From the Maine Internal Plumbing Code, this results in a peak demand of approximately  $1.08 \text{ gal/h} \times 0.25 \text{ (demand factor)} = 0.27 \text{ gal/h}$  or  $0.27 \times 24 \times 30 = \underline{194 \text{ gal/month}}$

The Kingdom Hall total water usage for 2010, as per city of Portland records, ( see attached ) was 216 cubic feet, or  $216 / .134 \text{ cf/gal} = 1612 \text{ gallons}$ , approximately 135 gallons / month which is less than the anticipated demand according to code.

The proposed addition will not increase the number of fixture units; also it should be noted that the 2010 water usage includes the recent years of growth.



<b>Date</b>	<b>Water cu/ft</b>	<b>Waste cu/ft</b>	<b>Days</b>
<b>Jan 1, 2011</b>	18	14	29
<b>Dec 1, 2010</b>	17	17	30
<b>Nov 1,2010</b>	18	18	33
<b>Oct 1, 2010</b>	19	19	30
<b>Sept 1,2010</b>	19	19	31
<b>Aug 1,2010</b>	18	18	30
<b>July 1,2010</b>	17	17	33
<b>June 1,2010</b>	13	13	25
<b>May 1,2010</b>	15	15	33
<b>April 1,2010</b>	16	16	29
<b>March 1,2010</b>	18	18	33
<b>Feb 1,2010</b>	13	13	29
<b>Jan 1,2010</b>	15	15	35

# **Building Elevations and Floor Plan**

## **Outside Lighting Catalog Cuts**

# AREA LIGHTING

AL



Friendly Gaurd  
Area Lighting

## PRODUCT INFORMATION

High Pressure Sodium Lamp supplied with fixture	Lamp Base	Ballast
250	ED18 Mogul	CWA-HPF
400	ED18 Mogul	CWA-HPF
175	ED28 Mogul	CWA-HPF QT
200	ED28 Mogul	CWA-HPF QT
250	ED28 Mogul	CWA-HPF QT
300	ED28 Mogul	CWA-HPF QT
350	ED28 Mogul	CWA-HPF QT
400	ED28 Mogul	CWA-HPF QT
400	ED28 Mogul	CWA-HPF QT

**Factory Installed Options**  
Add suffix to catalog number

- **Burton Photocell**
- **Swivel Photocell**
- **Single tuning for 120 and 277 volt**
- **Double tuning for 208 and 240 volt**
- **180 volt ballast (consult factory)**
- **Valvecarbonate Shield**
- **Shield**

## Specifications

**UL Listing**  
Suitable for wet locations. Suitable for mounting within 4' of the ground.

**Mounting:**  
One-piece die cast aluminum with die cast mounting bracket. Mounting holes for removable hinge pins for door removal.

**Reflector:**  
Hydroformed Type 3 reflector.

**Finish:**  
Chip and fade resistant bronze polyester powder coat finish.

**Lenses:**  
Thermal tempered shock resistant glass. 5/32" thick.

**Effective Projected Areas:**  
Maximum EPA  
Fixed Arm = 1  
Slipfitter = 2

New! Type III distribution Area Light "AL" offers performance, quality and value for reliable area lighting. Available in pole top and slipfitter models.

Precision die cast aluminum housing and door with durable bronze polyester powder coat finish

Slack smaller volume design lowers EPA ballast compartment

Fits to disengage heat inside the hydroformed Type III reflector

Die cast door frame held captive when opened

Removable hinge pins for door removal

Capacitor cradles

Stainless steel external hardware

Fixed Arm for pole mounting or Slipfitter mount

Silicone gasket for durable weatherproofing & easy relamping

Lamp supplied



## Catalog Numbers

Input Watts	Lamp ANSI	Lamp Lumens	Lamp Initial Hours	Lamp Life Hours
285	S50	50,000	20,000	24,000
464	S51	80,000	20,000	24,000
210	M67	13,600	10,000	10,000
230	M136	19,000	10,000	15,000
295	M68	21,000	10,000	10,000
298	M138	22,000	12,000	12,000
305	M132	30,000	20,000	20,000
400	M131	33,000	20,000	20,000
459	M69	36,000	20,000	20,000
460	M135	40,000	20,000	20,000

Specify Photocell voltage

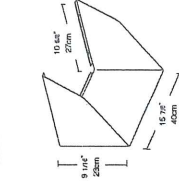
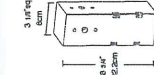
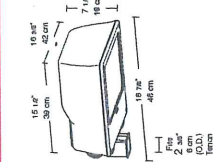
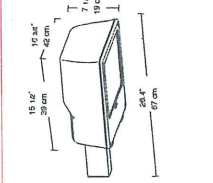
PC	FFCS
F	FF
ABO	FF
GDMEGW	FF
GDMEGP	FF

## Photometrics

See page 174 for photometrics

Replacement Lamps	Replacement Ballasts
LHPS250	BUPH250QT
LHPS400	BUPH400QT
LHPS200PS	BUPH200PS
LHPS250PS	BUPH250PS
LHPS300PS	BUPH300PS
LHPS350PS	BUPH350PS
LHPS400PS	BUPH400PS
LHPS450PS	BUPH450PS
LHPS500PS	BUPH500PS
LHPS550PS	BUPH550PS
LHPS600PS	BUPH600PS
LHPS650PS	BUPH650PS
LHPS700PS	BUPH700PS
LHPS750PS	BUPH750PS
LHPS800PS	BUPH800PS
LHPS850PS	BUPH850PS
LHPS900PS	BUPH900PS
LHPS950PS	BUPH950PS
LHPS1000PS	BUPH1000PS

## Dimensions



New! **AL SlipFitter**

Type III distribution Area light with pole top fixed arm mount. Factory wired with QT CWA-HPF ballast. Mounting can be angled up to widen distribution and locks securely in place. Factory wired for 277V, except 175W. Lamp supplied.

Finish: ● Bronze



Finish: ● Bronze

BTM1 - Drilled for 1 fixture  
BTM2 - Mount 2 fixtures @90°  
BTM3 - Mount 3 fixtures @180°  
BTM4 - Universal for 4 fixtures w/keys

New! **House Side Shield**

9\"/>

Finish: ● Bronze



Title : Enter the title here ....

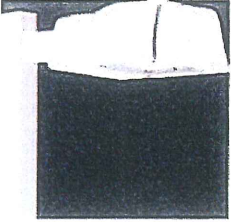
Date : 26 Jan 2010

Description : Enter the description here (3 lines maximum)

For : Client's name or company ....

By : Your name or company ....

## Luminaire



IES Filename : T22828A.IES

Description : TYPE III LUMINAIRE  
AL AREA LIGHT WITH SEMI-SPECULAR REFLECTOR  
AND CLEAR FLAT GLASS LENS

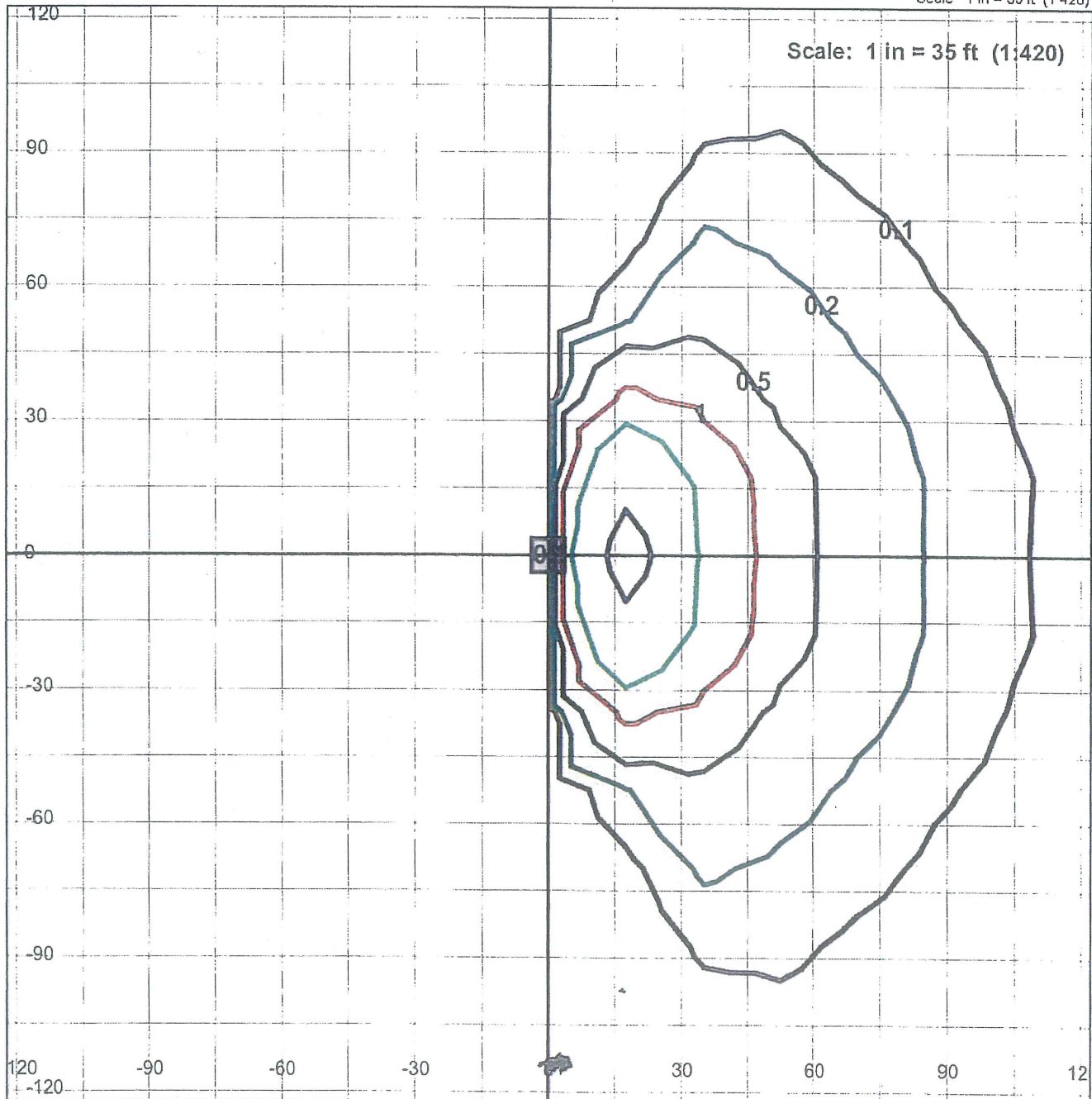
Light Loss Factor (LLF) : 1.00

Number of Lamps : 1  
Lamp Lumens : 50000 lms  
Luminaire Watts : 464 W

## Layout

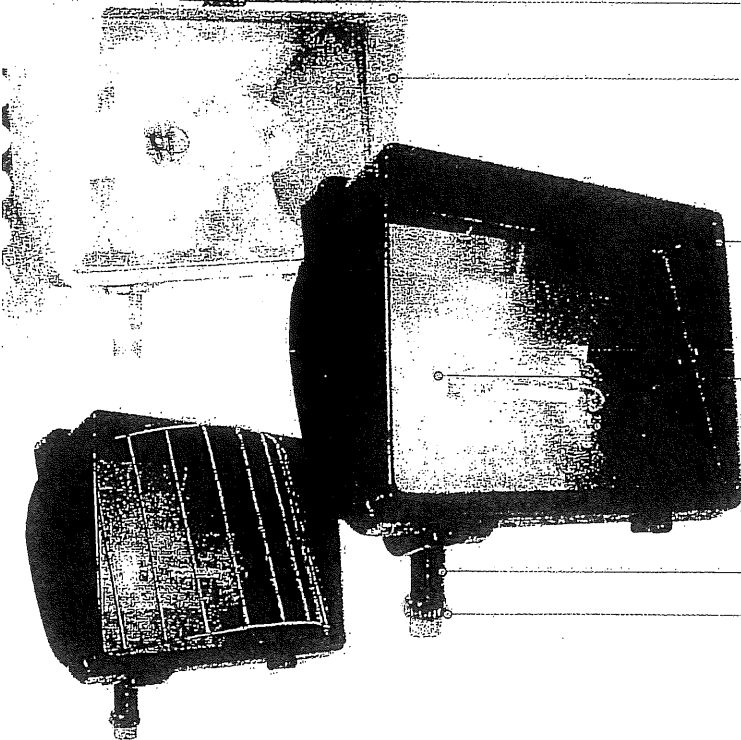
	Cols (X)	Rows (Y)
Layout :	1	1
Spacing :	10	10 ft
Mounting Height :	15 ft	
Orient :	0 deg	
Tilt :	90 deg	

Scale 1 in = 35 ft (1:420)



# FUTURE FLOODS FUTURE FLOODS

Preferred by contractors for reliability, quality features and ease of installation



New!

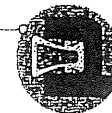
Luminaire B

Easy Clip for tool-less relamping with vandalproof screw capability



Integra Hood Glare Shield for Friendly Lighting when properly aimed

Silicone gasket for durable weatherproofing & easy relamping



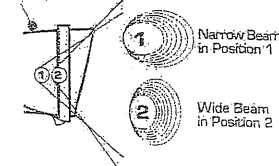
Precision die cast aluminum housing with durable powder coat finish

New!

Variable beam spread with 2 position adjustable socket

Long life lamp included

Fixture protected by U.S. Patent # 420458



New!

Mounting arm with sturdy locking teeth & internal gasket

EZ Grip Locknut matches fixture finish and can be adjusted with fingers, pliers or screwdriver



Patented design # 420428

## Product Information

**High Pressure Sodium**  
Lamp supplied with fixture

**Metal Halide**  
Lamp supplied with fixture

Watts	Lamp			Starting Amps / Operating Amps		Input Watts	Lamp ANSI	Initial Lumens	Life Hours
	Type	Base	Ballast	120V	277V				
35	ED17	Med	R-NPF-120V	1.4 / 0.9		46	S76	2,250	24,000
50	ED17	Med	R-NPF-120V	1.8 / 1.2		62	S68	4,000	24,000
70	ED17	Med	R-NPF-120V	2.1 / 1.6		86	S62	6,400	24,000
100	ED17	Med	R-NPF-120V	3.4 / 2.4		115	S54	9,500	24,000
150	ED17	Med	R-NPF-120V	4.5 / 3.2		170	S55	16,000	24,000
50	ED17	Med	HX-NPF-120V	2 / 1.6		72	M110	3,400	10,000
70	ED17	Med	HX-NPF-120V	2.7 / 2.3		94	M98	5,600	15,000
100	ED17	Med	HX-NPF-277V	Available in 277 volt only	7 / 5	129	M90	9,000	15,000

## Factory Installed Options

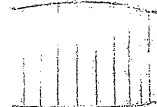
Add suffix to catalog number

Photocontrol for automatic Dusk-to-Dawn.

## Accessories for Field Installation:

Replacement Lens:  
Chrome Plated Wire Guard:

LFF  
GDFF



## Specifications

**UL Listing:**  
Suitable for wet locations

**Housing:**  
Precision die cast aluminum, 1/2" NPS threaded arm with locking swivel fits all standard mounting boxes.

**Reflector:**  
Specular-Alzak

**Lenses:**  
Tempered shock resistant glass

**Lens Gasket:**  
High temperature tubular silicone set in die cast retaining groove to remain in place during relamping.

**Socket:**  
Glazed porcelain 4kv pulse rated with nickel plated screw shell and spring contacts.

**Finish:**  
Chip and fade resistant metallic architectural bronze or bright white epoxy powder coating.

Product info by Fax 24 / 7  
Call RAB Fax Back at 888 722-1236.  
Enter document numbers shown below:

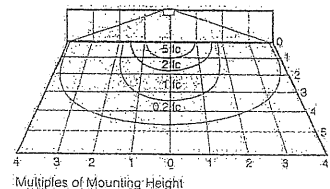
	Catalog Page	Installation Manual
Future Flood	220	222

For more info on RAB FaxBack see p.98.

**Product Info on the Internet:**  
www.rabweb.com, click "support"

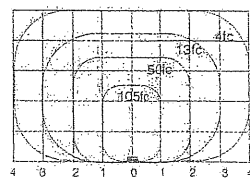
## Photometrics

150W HPS @ 10' Mounting Height  
Aimed 30° below horizontal



Mounting Height	Multiplier	Watts HPS	MH
8'	1.6	175	.9
10'	1.0	150	1
12'	.7	100	.6
16'	.4	70	.4
20'	.25	50	.3

Sign & Wall Lighting 150w HPS @ 6' from wall - 30° above horizontal

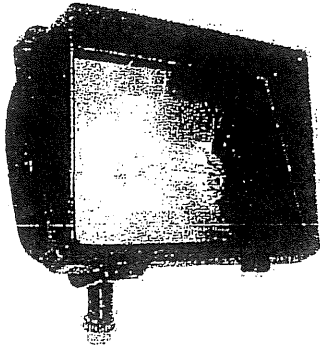


Mounting Distance (2' multiples)	Multiplier	Watts HPS	MH
6'	1	175	.9
9'	.5	150	1
12'	.3	100	.6
		70	.4
		50	.3

### FF HPS

Compact, tough and good looking cast aluminium housing with hinged framed glass lens. Integra Hood glare shield and stainless steel clip. Lamp supplied.

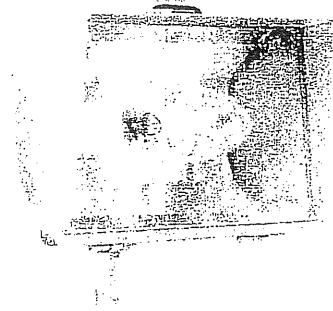
Finish:  Architectural Bronze  
 Bright White



### FF Metal Halide

White light in a compact package. The popular FF with a 50 or 70 watt Metal Halide, 120 volt reactor ballast or a 100 watt, 277 volt NPF ballast. Lamp supplied.

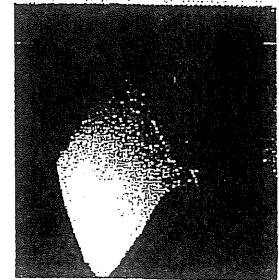
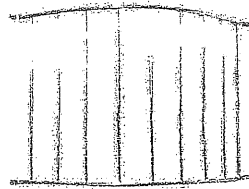
Finish:  Architectural Bronze  
 Bright White



### FF Guard

Heavy duty chrome plated steel wire guard prevents damage and vandalism. Easily field installable. Also fits QF500F Quartz flood.

Finish:  Chrome plated steel



Vincenzo Guercio, Designer.

### Catalog Numbers

Bronze	White
FF35	FF35W
FF50	FF50W
FF70	<b>FF70W</b>
FF100	FF100W
FF150	FF150W

IPC IPC

Bronze	White
FFH50	FFH50W
FFH70	FFH70W
*FFH100/277	*FFH100W/277

\*100 watt Metal Halide is 277 volt only.

IPC IPC

Order fixture  
 + order GDFP guard

Order fixture  
 + order GDFP guard

GDFP



Replacement Lamps

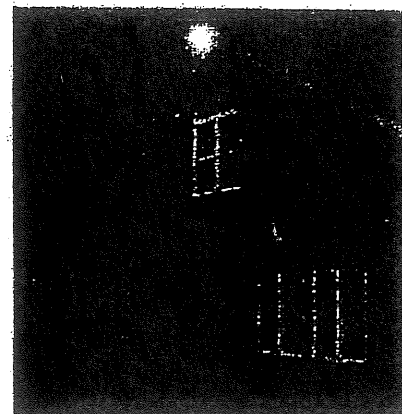
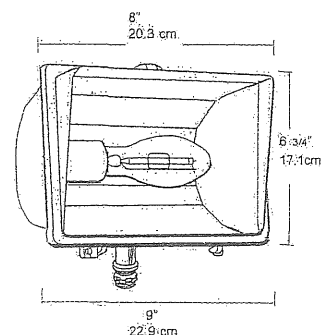
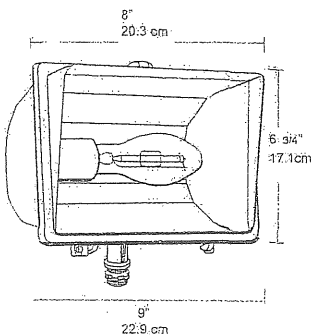
Ballasts

LHPS35	BHPSN35
LHPS50	BHPSN50
LHPS70	BHPSN70
LHPS100	BHPSN100
LHPS150	BHPSN150

LMH50	BMHN50
LMH70	BMHN70
LMH100	*BMHN100

\*100 watt Metal Halide is 277 volt only.

### Dimensions

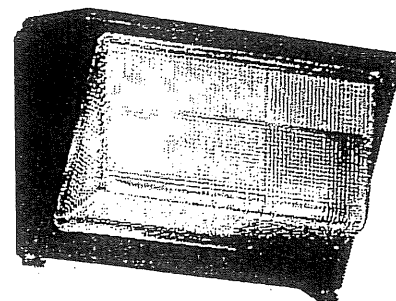


The popular choice for reliable security.

Luminaire C

# WPM Series Wallprism

**QUICK SHIP NUMBERS**  
 WNPM101MAL-6  
 WNPM151NLXL-1  
 WNPM175MA-8



## ORDERING INFORMATION

Catalog Number: Example: WPM101MALFS-1

<b>WPM</b>	<b>101</b>	<b>NLX</b>	<b>L</b>	<b>-</b>	<b>I</b>
<b>FIXTURE</b>	<b>WATTAGE</b>	<b>LAMP SOURCE</b>	<b>LAMP</b>	<b>OPTION</b>	<b>VOLTAGE</b>
WPM-Wallprism  (WNPM is for quick ship items listed above only.)	18-18W* 70-70W mogul 71-70W medium 100-100W mogul 101-100W medium 150-150W mogul 151-150W medium 175-175W** 300-<300***	MA-Metal Halide**** LX-High Pressure Sodium (HX-HPF) NLX-High Pressure Sodium (NPF)***** SX-Low Pressure Sodium (HPF) Incandescent-order without suffix	L-All HID medium base units furnished with lamp. Mogul base fixtures Incandescent and Low Pressure Sodium not furnished with lamp	FS-Single fusing 120V 277V FFS-Double fusing 208V 240V 480V HS-Horizontal socket TP-Tamper-proof construction	1-120V***** 2-208V 3-240V 4-277V 5-480V 8-120V 208V 240V 277V

\*18W Available in Low Pressure Sodium only. \*\*175W Available in Metal Halide mogul only. For medium base lamp order 176. \*\*\*<300 Available in Incandescent only. \*\*\*\*70W and 100W are HX-HPF, 150W and 175W are CWA. \*\*\*\*\* High Power-factor available with 120V only, 101 and 151 High Pressure Sodium. \*\*\*\*\*101-100W HPS and 151-150W HPS available in 120V only.

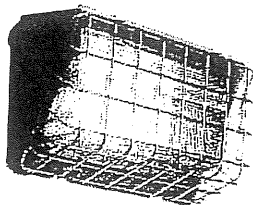
## ACCESSORIES

- P110A**-Pencil photocontrol for 120V.
- P150M**-Light leveler photocontrol for 208V-277V.
- 330S**-Stainless steel wire guard.

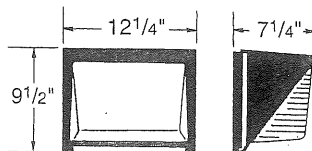
- 335S**-Clear polycarbonate shield for added protection.
- 32352**-Replacement glass, gasket, hardware, door lens kit.

## TECHNICAL INFORMATION

WPM fixtures require a clear, medium or mogul base horizontal burning lamp. Metal Halide units use ED17, except 175W mogul base is BT28. High Pressure Sodium medium base use B17 (100W HPS uses E17). Mogul base High Pressure Sodium use E23-1/2. Low Pressure Sodium use pre-focus T17, not supplied. Incandescent fixtures use medium A/PS, not supplied. Fixture is not suitable for use in carwashes or other areas that may entrap heat. Fixtures to be wall mounted only.



WPM with 330S Guard and 335S Shield



## PRODUCT SPECIFICATIONS

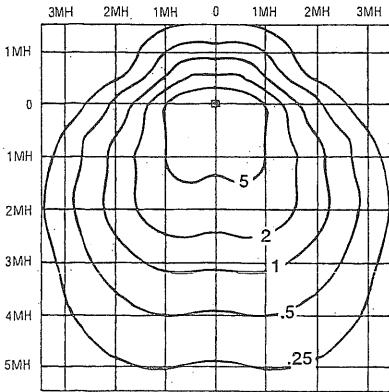
- Stonco's patented Wallprism is ideal for security, accent, and perimeter lighting. Applications include entrance ways, garages, tunnels, overpasses, and alleys.
- Patented catadioptric refractor redirects light to minimize glare, aligns optical center of lens and lamp for symmetrical light distribution.
- Heat and shock resistant borosilicate glass refractor, bonded to lens frame.
- Stainless steel aircraft cable safety retains lens frame to back plate freeing both hands for servicing.
- Integral cast-in aluminum hinges permit complete removal of lens frame assembly without tools.
- Precision die-cast aluminum, Duraplex II bronze finish, back plate with cast-in knockouts for alignment with all standard recessed boxes.
- One-tapped holes (1/2" NPS) on each side and top for conduit or photocontrol, complete with closure plugs.
- Deluxe glazed porcelain socket pulse rated for 4KV.



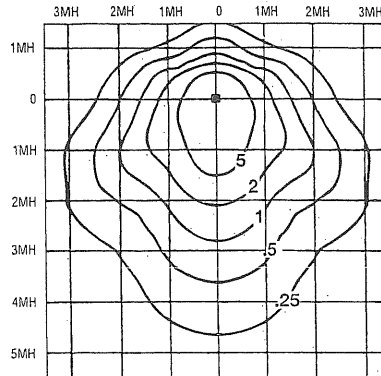
UL Wet Location Listed.  
 UL File Number: E86021



**PHOTOMETRICS**



WNPM151NLXL  
 LUMINAIRE: Cast Metal housing,  
 specular reflector, clear prismatic  
 glass lens, lamp in highest position.  
 LAMP: 150W Clear HPS  
 LUMENS: 16,000  
 MOUNTING HGT: 10'



WNPM175MA  
 LUMINAIRE: Cast Metal housing,  
 specular reflector, clear prismatic  
 glass lens, lamp in middle position.  
 LAMP: 150W Coated MA  
 LUMENS: 12,000  
 MOUNTING HGT: 10'

**FOOTCANDLE CORRECTION**

*Different Lamps/Watts*

Multiply the following factors times the footcandle values for changes in mounting height.

70W HPS	.36
100W HPS	.59
150W HPS	1.0

*Different Mounting Height*

Multiply the following factors times the footcandle values for changes in mounting height.

To Change from 10'							
New Height	8'	10'	12'	14'	16'	18'	20'
Factor	1.56	1.00	.83	.51	.39	.30	.25

**SUGGESTED SPECIFICATIONS**

Fixture shall be all die-cast weatherproof aluminum with specular anodized aluminum reflector and one-piece borosilicate refractor with outside and inside prismatic surfaces.

Fixture profile shall be a sharply defined

12" x 9" rectangle with no external ballast housing or other design element to disturb precise architectural appearance. All external aluminum surfaces shall be finished with architectural dark bronze Duraplex II™ polyester powder.

Fixture shall be able to accept wire guard and/or Lexan® shield for field installation and fixture shall have a variable position socket for field-adjustable beam angle.

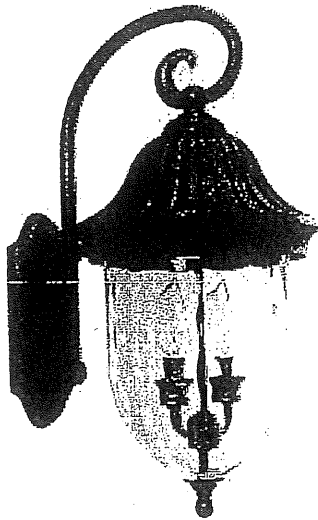
Fixture shall be UL-listed and shall be Stonco Cat. No. (specify).





You can do it. We can help.™

Luminaire D



Zoom View

### Progress Lighting Coventry Collection Textured Black 2-light Wall Lantern

Model P5829-31

\$107.64/EA Each

Quantity: 1

- Check Your Local Store
- Add to My List
- Add to My Registry

<b>Average Customer Rating</b>	> Read Reviews > Write a review
☆☆☆☆ 4 out of 5	

### Description

Classically styled, the Coventry Collection features a fluted dome housing with clear, hammered glass diffuser suspended from a traditional scroll arm.

- Textured Black finish
- Hammered glass
- 9-3/4 In. Width x 20-1/2 In. Height
- Uses (2) 60-watt candelabra bulbs
- MFG Brand Name : Progress Lighting
- MFG Model # : P5829-31
- MFG Part # : P5829-31
- Outdoor Lighting Application : Other

### Specifications

- **ADA Compliant** : False
- **Assembled Depth (In Inches)** : 12.5 In.
- **Assembled Height (In Inches)** : 20.5 In.
- **Assembled Weight (In LBS)** : 9.37
- **Assembled Width (In Inches)** : 9.75 In.
- **CircleEFriendly** : False
- **Energy Star Compliant** : False
- **EnergyPlus** : False
- **Hardwired or Plug-In** : Hardwired
- **Maximum Bulb Wattage** : 60 Watt

- Number of Lights/Bulbs : 2
- Shade/Glass Type : Clear optic
- Width : 9.75 In.

## Product Reviews

Review This Product
<p><b>Overall Rating:</b> ☆☆☆☆ 4 out of 5</p> <p>Beautiful!, November 30, 2007          By Brenda2007 from Henly, Texas (read all my reviews)</p> <p>"The lamps are absolutely beautiful. Although the glass appears fragile, it survived shipping intact. We have not yet hung them--building a new house and it's not quite time for light installation--but look forward to seeing the light interact w/the hammered glass. I will add to this review after it's been up for a while."</p> <p>Was this review helpful to you? Yes No (Report Inappropriate Review)</p>

## Warranty

### Warranty

For warranty information on this product, please call our Internet Customer Service Center at 1-800-435-4654.

## Purchase Information

Internet/Catalog # 100088834

Store SKU# 150853

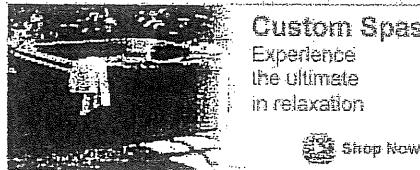
Most orders ship out in 2-3 business days. Allow an additional 3-7 days for Standard Ground Delivery.

Learn More

**blinds.homedepot.com**  
 Design your custom blinds & shades online for quick and easy delivery

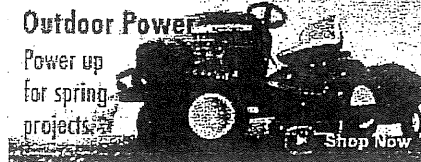


**Custom Spas**  
 Experience the ultimate in relaxation



Shop Now

**Outdoor Power**  
 Power up for spring projects



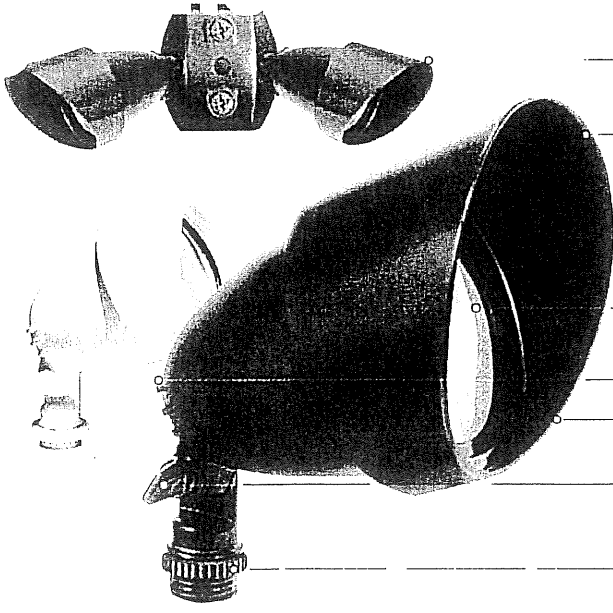
Shop Now

† Local store prices may vary from those displayed. Products shown as available are normally stocked but inventory levels cannot be guaranteed.

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# QUARTZ FLOODS

Luminaire E



Twin 75w Flood Kit pre-assembled on versatile CU4 EZ-Plate for easy installation

Integra Hood Glare Shield minimizes side glare and hood can be rotated to direct the light where you need it

Highest quality 120 volt quartz lamp included

Lamp packed with protective cushion for easy installation

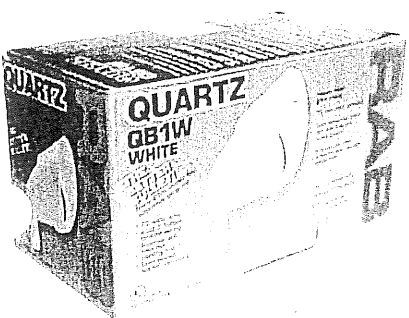
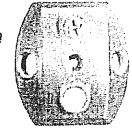
Thick, tempered glass lens with silicone O-ring gasket

External and internal heat dissipating fins

Precision die cast aluminum housing with durable powder coat paint

Arm with locking teeth tightens securely with just finger pressure

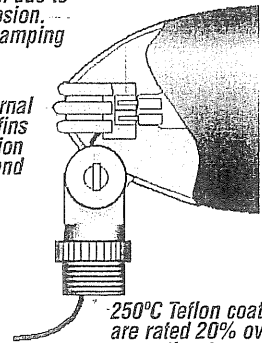
EZ Grip locknut matches fixture finish and can be adjusted with fingers, pliers or a screwdriver



Full color packaging with product features and specifications.

prevent lamp and socket fusion due to electrolytic corrosion. Problem free relamping every time!

Internal and external heat dissipating fins for cooler operation to extend lamp and fixture life



250°C Teflon coated wires are rated 20% over the operating temperature for longer life and greater reliability

Lamp Watts	Lamp Type	Lamp Base	Initial Lumens	Lamp Hours
75	T-4	bi-pin (G8)	1,500	1,500

Quartz Halogen  
Lamp supplied with fixture

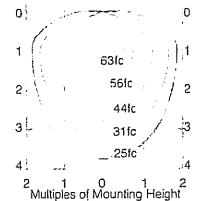


**UL Listing:**  
Suitable for wet locations. Suitable for mounting within 4' of the ground.  
**Housing:**  
Precision die cast aluminum. 1/2" NPS threaded arm with locking swivel and EZ Grip lock nut fits all standard mounting covers.  
**Lens Gasket:**  
High temperature silicone gasket stays in place during relamping.  
**Reflector:**  
Semi-specular anodized aluminum  
**Socket:**  
Aluminum bi-pin G8 base with gold plated contacts and 250°C socket wires.

**Lens:**  
Thick tempered glass  
**Finish:**  
Chip and fade resistant durable powder coat finish.  
**Replacement Lamps:**  
  
Fixture Lamp Cat #  
QB1/2 LQ75-G8

Spec Sheets, Installation Manuals, Wiring Diagrams & Photometrics  
[www.rabweb.com](http://www.rabweb.com) > click "PRODUCTS"

75w Fixture @ 4' Mounting Height Aimed 60° Below Horizontal



Mounting Height	Multiplier
4'	1.0
6'	.44
8'	.25
10'	.16
12'	.11

**QB1**

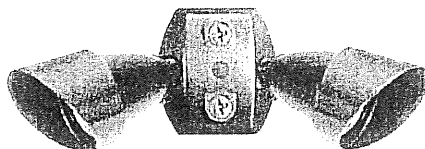
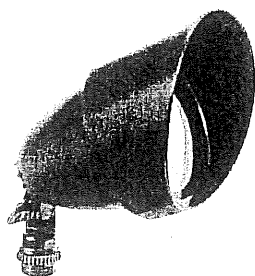
75 watt Quartz Bullet Flood with silicone O-ring gasket, thick tempered glass lens, internal and external cooling fins. Gold plated socket contacts and 250°C Teflon coated wires for extended lamp life. Lamp included.

- Finish: ● Bronze  
 ● Black  
 ○ White  
 ● Verde Green

**QB2 Twin Flood Kit**

Twin 75 watt Quartz Bullet floods come pre-assembled and pre-wired on CU4 Universal Mounting plate. Lamps included.

- Finish: ● Bronze  
 ● Black  
 ○ White  
 ● Verde Green

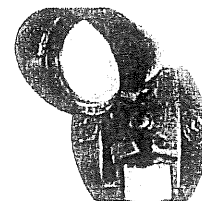


**Completely Assembled**  
 And Pre-Wired  
 For Quick Installation



Tuff Dome Sensor with QB Floods

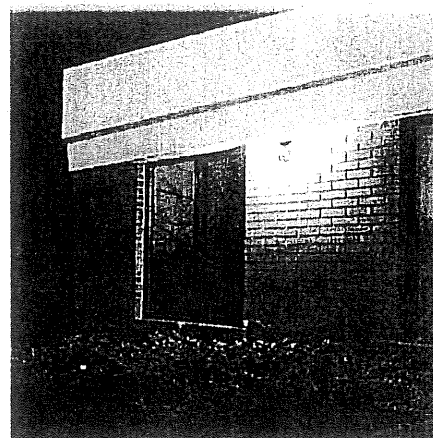
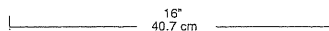
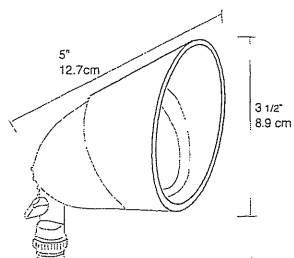
Add motion control with Tuff Dome or Mini Sensors. Lamps included. See pages 34-37.



SNL1

Bronze	White	Black	Verde Green
QB1A	QB1W	QB1B	QB1VG

Bronze	White	Black	Verde Green
QB2A	QB2W	QB2B	QB2VG



## **Catch Basin Grate Protection Catalog Cuts**



## Dandy Drop Inlet Protection

### Flat Grate and Mountable Curb Inlet Protection

#### OUR COMPANY

TenCate develops and produces materials that function to increase performance, reduce costs and deliver measurable results by working with our customers to provide advanced solutions.

Dandy Products exclusively by TenCate Geosynthetics have an engineered design in which suspended solids are allowed to settle out of the slowed flow and are captured prior to entering the inlet.

#### OUR PRODUCTS

##### DANDY BAG®

The patented Dandy Bag® is designed for use with flat grates (including round) and mountable curbs to filter sediment-laden storm water.

The Difference Dandy Bag® Makes:

- Unique patented design keeps silt, sediment and debris out of storm systems.
- Reduces the need to flush/clean inlets.
- Fabricated from orange geotextile.
- Easy to install, inspect, and re-use.
- Reduces outflow turbidity.

#### INSTALLATION GUIDELINES

Remove grate from frame and slip into Dandy Bag®. Tuck the enclosure flap inside to completely enclose the grate. Holding the lifting devices (do not rely on lifting devices to support the entire weight of the grate), place the grate into its frame.

##### DANDY SACK™

The Dandy Sack™ is an open-top bag that is designed to hang underneath a storm grate to filter sediment-laden stormwater.

The Difference Dandy Sack™ Makes:

- Easy installation. No rebar required.
- Internal straps cradle grate for added security when installing & removing.
- 2ft. containment area is very manageable.
- Available in 3 standard sizes.
- Available with optional oil absorbents.
- Available with patented curb blocking technology, Dandy Curb Sack™

#### INSTALLATION GUIDELINES

Remove the grate from catch basin and stand on end. Move the top lifting straps out of the way and place the grate into the Dandy Sack™ so that

the grate is below the top straps and above the lower straps. Holding the lifting straps, insert the grate into the inlet.

##### DANDY POP™

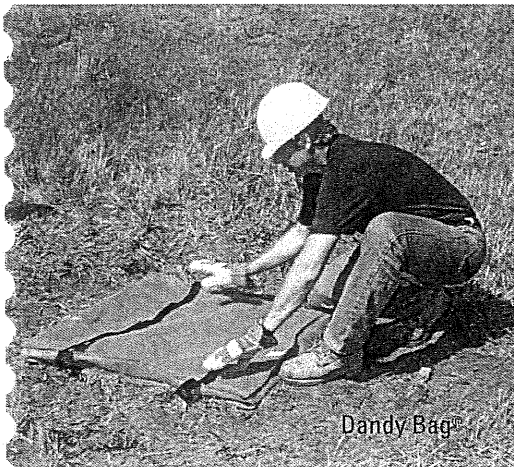
The Dandy Pop™ is designed for use with flat field grates to filter sediment-laden water. The Dandy Pop™ fully encloses the grate, virtually eliminating sediment infiltration.

The Difference Dandy Pop™ Makes:

- Unique patented design keeps silt, sediment and debris out of storm systems.
- Easily visible to machine operators in the field.
- Pops open in a second.
- Dome design provides easy cleaning and maintenance.
- Standard sizes to fit any grate.

#### INSTALLATION GUIDELINES

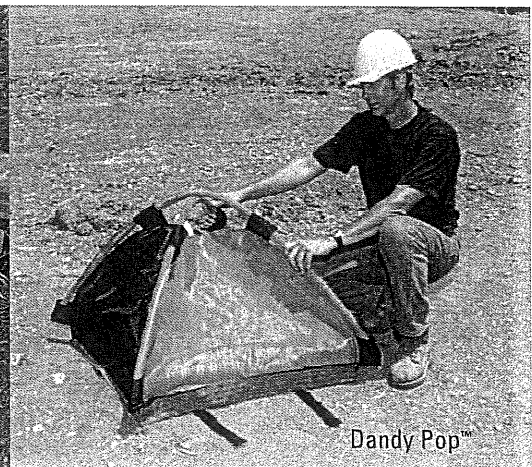
Pop open the Dandy Pop™ near the inlet. Remove grate from frame and place into Dandy Pop™. Pull up slack and seal hook and loop fastener to enclose the grate. Holding the lifting straps, insert the grate into the inlet making sure that the grate seats completely in the frame.



Dandy Bag®



Dandy Sack™



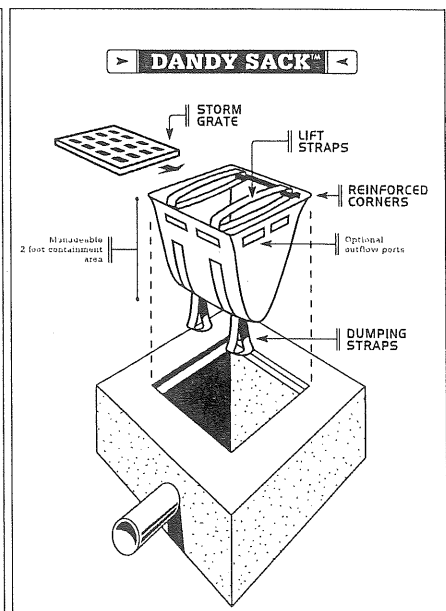
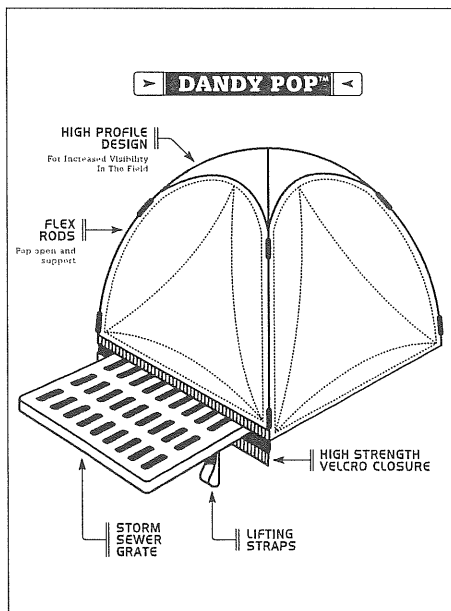
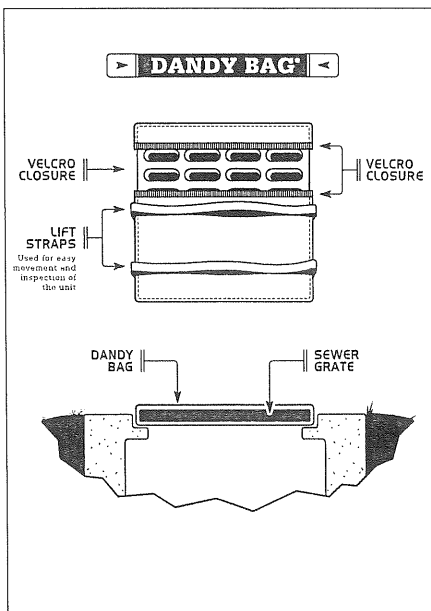
Dandy Pop™

**Dandy Drop Inlet Protection**  
Flat Grate and Mountable Curb Inlet Protection

**Technical Data for FW® 402 Geotextile**

Property	Test Method	Units	Marv
Grab Tensile Strength (MD x CD)	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 x 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength (MD x CD)	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
Percent Open Area (POA)	COE -22125-86	%	10
Apparent Opening Size (AOS)	ASTM D 4751	mm (US Std Sieve)	0.425 (40)
Permittivity	ASTM D 4491	sec <sup>-1</sup>	2.1
Permeability	ASTM D 4491	cm/sec	0.14
Water Flow Rate	ASTM D 4491	l/min/m <sup>2</sup> (gal/min/ft <sup>2</sup> )	5907 (145)
Ultraviolet Resistance	ASTM D 4355	%	90
Color			Orange <sup>1</sup>

<sup>1</sup>The orange color geotextile is a trademark of Dandy Products, Inc. US Patent No. 5,725,782, 6,010,622, & 6,749,366



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Mirafi® is a registered trademark of TenCate™ Geosynthetics North America.

PDS.DROP0508

365 South Holland Drive Tel 800 685 9990  
Pendergrass, GA 30567 Tel 706 693 2226

Fax 706 693 4400  
www.mirafi.com





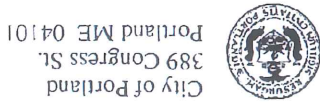
**IMPORTANT NOTICE FROM CITY OF PORTLAND**  
**RE: 355 Canco Road**

To residents and property owners: The Portland Planning Board will hold a public hearing to consider a proposal by Mark Lawrence who is representing Jehovah's Witnesses at 355 Canco Road. The applicant is requesting a 616 sq. ft. building addition for a meeting room at the Kingdom Hall. The proposal is in the R-5 zone and will be reviewed as a site plan and conditional use expansion. Public comments will be taken at this meeting.

The meeting will be held:  
Tuesday, August 23, 2011  
7:00 p.m.

City Hall, Room 209, 2nd Floor

Plans are available in the Portland Planning Division, 4th Floor, City Hall. If you wish to submit written comments, address them to Erick Giles, Planner, Planning Division, City Hall, 4th Floor, 389 Congress Street, Portland, Maine 04101, contact by phone at 874-8723 or e-mail at [egiles@portlandmaine.gov](mailto:egiles@portlandmaine.gov). To access agenda materials on-line, please visit the following web address on or after the Friday preceding the meeting date:  
<http://www.portlandmaine.gov/planning.htm>



CLARK PAULA J  
14 FELICIA LN  
PORTLAND, ME 04101

133 notices were mailed to neigh-  
Within 500 ft. on 8-11-11  
including int. parties by mail/e-mail.  
Postage was needed? Yes  No

CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
	BROCHU ROBERT J & ANNE L BROCHU JTS	1024 WASHINGTON AVE #1 PORTLAND, ME 04103	1024 WASHINGTON AVE UNIT 1	1
	CARIGNAN ROGER P	29 FALL BROOK ST PORTLAND, ME 04103	29 FALL BROOK ST	2
	CLARK PAULA J	14 FELICIA LN PORTLAND, ME 04101	14 FELICIA LN	1
	COONEY RACHEL & WILLIAM M COONEY JTS	1051 WASHINGTON AVE PORTLAND, ME 04103	1051 WASHINGTON AVE	1
	COYLE ESTHER E	24 LAWRENCE AVE PORTLAND, ME 04103	24 LAWRENCE AVE	1
	CRANE THOMAS M	20 BELMONT ST PORTLAND, ME 04101	1024 WASHINGTON AVE UNIT 5	1
	DOHERTY MARY ELLEN	29 RAY ST PORTLAND, ME 04103	29 RAY ST	1
	DYER GLEN D & JANE M DYER JTS	35 FALL BROOK ST PORTLAND, ME 04103	35 FALL BROOK ST	1
	EMC MORTGAGE CORPORATION	909 HIDDEN RIDGE DR STE 200 IRVING, TX 75038	37 FALL BROOK ST	0
	EMMONS SCOTT A	1003 WASHINGTON AVE PORTLAND, ME 04103	1003 WASHINGTON AVE	2
	FIRST BAPTIST CHURCH IN PORTLAND MAINE THE	360 CANCO RD PORTLAND, ME 04103	326 CANCO RD	1
	FLORIDINO MICHAEL & BARBARA J JTS	35 LAWRENCE AVE PORTLAND, ME 04103	35 LAWRENCE AVE	2
	GRAND TRUNK VENTURES LLC	2 SHAW FARM RD CAPE ELIZABETH, ME 04107	1024 WASHINGTON AVE UNIT 8	1
	GULLICK GEORGE	1024 WASHINGTON AVE # 6 PORTLAND, ME 04103	1024 WASHINGTON AVE UNIT 6	1
	HATT YUN OK	3 HOWARD ST APT 3 PORTLAND, ME 04101	1014 WASHINGTON AVE	3
	HEBOLD DAREN & ERICA HEBOLD JTS	411 CHANDLERS WHARF PORTLAND, ME 04101	1024 WASHINGTON AVE UNIT 2	1
	HOPE SETH R	PO BOX 6823 SCARBOROUGH, ME 04070	173 MURRAY ST	1
	HUBER FREDERICK G & JENNIFER L JTS	1000 WASHINGTON AVE PORTLAND, ME 04103	1000 WASHINGTON AVE	1
	INGRAHAM DAVID A B & DEBORAH R JTS	11 RAY ST PORTLAND, ME 04103	9 RAY ST	3
	JOHNS PATRICK T & HEIDI R JOHNS JTS	20 FELICIA LN PORTLAND, ME 04103	20 FELICIA LN	1
	KERR CATHERINE W	1024 WASHINGTON AVE # 3 PORTLAND, ME 04103	1024 WASHINGTON AVE UNIT 3	1
	KILMARTIN LAURA C	1066 WASHINGTON AVE PORTLAND, ME 04103	1066 WASHINGTON AVE	1
	LEVINE ELLEN E	1024 WASHINGTON AVE #9 PORTLAND, ME 04103	1024 WASHINGTON AVE UNIT 9	1
	LITCHER ANDREW E & SANDRA A JTS	35 RAY ST PORTLAND, ME 04103	35 RAY ST	1
	LOCKHART CHRISTY L	12 LAWRENCE AVE PORTLAND, ME 04103	12 LAWRENCE AVE	1
	MACDONALD DARREN D	15 FELICIA LN PORTLAND, ME 04103	15 FELICIA LN	1

CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
	MAJOR LINDA VASSALLO & BROCK MAJOR JTS	1064 WASHINGTON AVE PORTLAND, ME 04103	1064 WASHINGTON AVE	1
	MARTIN CATHERINE A	1024 WASHINGTON AVE #4 PORTLAND, ME 04103	1024 WASHINGTON AVE UNIT 4	1
	MCCABE JACOB D & KATHLEEN A MCCABE JTS	17 RAY ST PORTLAND, ME 04103	17 RAY ST	1
	MCPHEE ANN M	24 RAY ST PORTLAND, ME 04103	24 RAY ST	1
	MURPHY JAMES R & JANE M MURPHY JTS	1 SAWYER RD WESTBROOK, ME 04092	1023 WASHINGTON AVE UNIT 1	1
	MURPHY JAMES R & JANE M MURPHY JTS	1 SAWYER ST WESTBROOK, ME 04092	1023 WASHINGTON AVE UNIT 3	1
	MURPHY JANICE E	1023 WASHINGTON AVE # 2 PORTLAND, ME 04103	1023 WASHINGTON AVE UNIT 2	1
	NAIGLE ELMER A III & JOAN E JTS	38 RAY ST PORTLAND, ME 04103	38 RAY ST	1
	NICHOLS EMILY J & SUZANNE B NICHOLS &	1061 WASHINGTON AVE PORTLAND, ME 04103	1061 WASHINGTON AVE	1
	NOILES SYLVIA L	23 RAY ST PORTLAND, ME 04103	23 RAY ST	1
	O'DONNELL LORI A	13 LAWRENCE AVE PORTLAND, ME 04103	13 LAWRENCE AVE	1
	O'REGAN PATRICIA	14 LAWRENCE AVE PORTLAND, ME 04103	14 LAWRENCE AVE	1
	PAPPS JENNIFER A & GELSON SIMEI DA SILVA JTS	PO BOX 1296 SCARBOROUGH, ME 04070	23 LAWRENCE AVE	1
	PAUL FRANK J JR & ZITA M JTS	1058 WASHINGTON AVE PORTLAND, ME 04103	1058 WASHINGTON AVE	1
	POMERLEAU RAYMOND E & RENA M OR SURV	985 WASHINGTON AVE PORTLAND, ME 04103	985 WASHINGTON AVE	1
	PORT RESOURCES INC	P O BOX 2832 SO PORTLAND, ME 04106	1008 WASHINGTON AVE	2
	PORTLAND CONGREGATION OF JEHOVAN'S WITNESSES	355 CANCO RD PORTLAND, ME 04103	355 CANCO RD	1
	PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES	355 CANCO RD PORTLAND, ME 04103	355 CANCO RD	1
	PORTLAND RETIREMENT RESIDENCE LLC	PO BOX 700 SISTERS, OR 97759	257 CANCO RD	124
	RODNEY ROBERT J II & CHRISTINE A RODNEY JTS	27 FELICIA LN PORTLAND, ME 04103	27 FELICIA LN	1
	RONQUILLO JUANA & CONG NGUYEN JTS	1072 WASHINGTON AVE PORTLAND, ME 04103	1072 WASHINGTON AVE	1
	RRE TAMARLANE HOLDINGS LLC	ONE CRESCENT DR STE 203 PHILADELPHIA, PA 19112	988 WASHINGTON AVE	91
	RUSLEY JACK & ERIKA BLAUCH JTS	1024 WASHINGTON AVE # 10 PORTLAND, ME 04103	1024 WASHINGTON AVE UNIT 10	1
	SAINT JOSEPH'S MANOR	1133 WASHINGTON AVE PORTLAND, ME 04103	1073 WASHINGTON AVE	0
	SCARKS MICHAEL	120 EXCHANGE ST PORTLAND, ME 04101	997 WASHINGTON AVE	13
	SELBERG PHILIP J & KELLIE A SELBERG	12 JOSEPH AVE PORTLAND, ME 04103	12 JOSEPH AVE	1

CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
	SELBERG ROBERT E	14 RAY ST PORTLAND, ME 04103	14 RAY ST	1
	SMITH J DAVID W & JENNIFER A JTS	21 FELICIA LN PORTLAND, ME 04103	21 FELICIA LN	1
	ST PETER LYNNE M	19 LAWRENCE AVE PORTLAND, ME 04103	19 LAWRENCE AVE	1
	ST PIERRE MARC & LORI L BIRKEMOSE JTS	36 FELICIA LN PORTLAND, ME 04103	36 FELICIA LN	1
	STACEY BERLA A	187 MURRAY ST PORTLAND, ME 04103	187 MURRAY ST	1
	STARRETT ALAN N & DARCY W	1024 WASHINGTON AVE UNIT #7 PORTLAND, ME 04103	1024 WASHINGTON AVE UNIT 7	1
	TABUN FANIA	24 LAWRENCE AVE PORTLAND, ME 04103	24 LAWRENCE AVE	0
	TAYLOR JENNIFER & SHAWN M	33 FELICIA LN PORTLAND, ME 04103	33 FELICIA LN	1
	TEVANIAN GREGORY S	4 ROLFE RD WINDHAM, ME 04062	1029 WASHINGTON AVE	1
	TIMM REAL ESTATE LLC	5 DEPOT ST STE 24 FREEPORT, ME 04032	298 CANCO RD	1
	TOPPI ROCCO III & MARY M JTS	17 FALLBROOK ST PORTLAND, ME 04103	17 FALL BROOK ST	1
	TSENG RICHARD W & LI-FANG YING JTS	343 BLACKSTRAP RD FALMOUTH, ME 04105	1009 WASHINGTON AVE	2
	WARDWELL DOROTHY B	25 RAY ST PORTLAND, ME 04103	25 RAY ST	1
	WASHINGTON AVENUE REALTY	1039 WASHINGTON AVE PORTLAND, ME 04103	1033 WASHINGTON AVE	0
	WASHINGTON AVENUE REALTY	1039 WASHINGTON AVE PORTLAND, ME 04103	1039 WASHINGTON AVE	1
	WATTS KATHIE M	27 PEAVEY AVE WINDHAM, ME 04062	1063 WASHINGTON AVE	1
	WHITE THOMAS T & COLLEEN WHITE	36 LAWRENCE AVE PORTLAND, ME 04103	36 LAWRENCE AVE	1
	WHITE THOMAS T & COLLEEN A WHITE	36 LAWRENCE AVE PORTLAND, ME 04103	36 LAWRENCE AVE	0
	WRIGHT-RYAN REAL ESTATE LLC	10 DANFORTH ST PORTLAND, ME 04101	276 CANCO RD	1
	YOUNGLESS LAWRENCE JOHN TRUSTEE	181 MURRAY ST PORTLAND, ME 04103	185 MURRAY ST	1

08/11/2011

355 CANCO RD. - PB NOTICE 8-23-11

10:52 AM

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CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
Total Listed:	72			301

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08/11/2011

## Citizen's Mailing List

10:52 AM

Alan Fishman	Fishman Realty	470 Forest Ave., Suite 203	Portland, ME 04101-2009
Alfred Waxler		PO Box 6681	Portland, ME 04103
Anne Weigel		92 Hamblet Avenue	Portland, ME 04103
Anthony Donovan		27 Riverview Street	Portland, ME 04102
Barb Wood		125 Emery Street	Portland, ME 04102
Brian Bisema		400 Trade Center, Suite 400	Woburn, MA 01801
Chris Busby		64 Montreal Street	Portland, ME 04101
Chris Castelsky	Fairpoint Communications	521 East Morehead Street	Charlotte, NC 28202
David Nowlin		215 Oxford Street	Portland, ME 04102
Dawn Carrigan, Principal	Longfellow School	432 Stevens Avenue	Portland, ME 04101
Deb Keenan		28 Dorothy Street	Portland, ME 04103
Devon and Pamela Platte		26 North Street, #3	Portland, ME 04101
Ed Democracy		PO Box 4189	Portland, ME 04101-0398
Edward Suslovic	District 3	46 Kenwood St.	Portland, Me 04103
Ethan Strimling		211 Spring Street	Portland, ME 04102
Frank Schoenthaler	Coldwell Broker	1601 Trapelo Rd., Suite 24	Waltham, MA 02451
Greater Portland Council of Governments		68 Marginal Way	Portland, ME 04101
Henry Leclair		209 Range Road	Windham, ME 03087
Janice Carpenter		9 West Commonwealth Drive	Portland, ME 04103
Jennifer Dorr	City of Portland	389 Congress Street	Portland, ME 04101
Jesse Thompson, RA, LEED AP	Kaplan Thompson Architects	424 Fore Street	Portland, ME 04101
John Leavitt	NE Regional Council of Carpenters	68 Bishop Street, Unit 1	Portland, ME 04103
Kathleen Spahn	Boulevard Park Assoc.	95 Deerfield Road	Portland, ME 04103
Kerry Anderson		5 Frederick Thompson Drive	Scarborough, ME 04074
Len Anderson		543 Allen Avenue	Portland, ME 04103
Liz Holton		18 Victoria Street	Portland, ME 04103
Lynn Clarkson		145 Marlborough Road	Portland, ME 04103
Marc Foster		29 Taylor Street, #1	Portland, ME 04102
Mary Griffith		6 E. Promenade, Unit #2	Portland, ME 04101
Michael Pizzo		88 Christy Road	Portland, ME 04103
Nancy Bartlett		PO Box 7965	Portland, ME 04112
Pam Burnside		64 Lester Drive	Portland, ME 04103
Paul Dubois	Kimberly Dubois	1915 Congress Street	Portland, Me 04102
Paul Leblond		55 Stevens Avenue	Portland, ME 04102
Peaks Island Land Preserve		PO Box 99	Peaks Island, ME 04108
Peggy Morin		66 Farnham Street	Portland, ME 04101
Philip Haughey		1660 Soldiers Field Road	Boston, MA 02135
Portland Society of Architects	c/o James Sterling, AIA	PO Box 7305	Portland, ME 04112
Priscilla D. LaVallee		55 Watson Street	Portland,, ME 04103

08/11/2011

Citizen's Mailing List

10:52 AM

Raymond Penfold		129-137 Fox Street	Portland, ME 04101
Rebecca Halla	Waste Management	2000 Forest Avenue	Portland, ME 04103
REP Benjamin Dudley III	District 30	9 Ponce Street	Portland, ME 04101
REP Boyd Marley	District 36	11 Maplewood Street	Portland, ME 04103
REP Glenn Cummings	District 37	24 Nevens Street	Portland, ME 04103
REP Herb Adams	District 33	231 State Street	Portland, ME 04101-2361
REP Joseph Brannigan	District 35	168 Concord Street	Portland, ME 04103
Robert Hains		250 Holm Avenue	Portland, ME 04102
Robert O'Brien		267 York Street	Portland, ME 04102
Seren Huus		41 Cumberland Ave	Portland, Me 04101
Stephen Parazone		47 Bolton Street	Portland, ME 04102
Steve Rose		44 Federal Street	Portland, ME 04102
William Meridian		105 Stonecrest Drive	Portland, ME 04103

Listed: 52



# PORTLAND MAINE

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**Director of Planning and Urban Development**  
Penny St. Louis

**Planning Division Director**  
Alexander Jaegerman

September 14, 2011

**Mark Lawrence**  
421 Alfred Road  
Kennebunk, ME 04103

**Louis Bruno**  
PO Box 264  
Lovell, ME 04051

**Project Name:** Kingdom Hall  
**Address:** 355 Canco Rd.  
**Applicant:** Mark Lawrence  
**Planner:** Eric Giles

**Project ID:** 10-79900026  
**CBL:** 161-B-043-001

Dear Mr. Lawrence:

On August 23, 2011, the Planning Board considered the Level III site plan and Conditional Use permit for the Kingdom Hall of Jehovah's Witnesses redevelopment project. The Planning Board reviewed the proposal for conformance with the standards of the Conditional Use Review and Site Plan Ordinance. The Planning Board voted 5-2 to approve the application with the following motions, waivers and conditions as presented below:

#### **CONDITIONAL USE**

The Planning Board voted 7-0 that the proposed plans are in conformance with the R-5 Conditional Use Standards and Sec. 14-474 of the Land Use Code.

#### **WAIVERS**

The Planning Board voted 7-0 to waive the Technical Standard, Section 1.7.1.2 Minimum Driveway Width (one-way) to allow a 9' wide drive-thru lane to minimize impervious surface and to allow for proper stormwater management treatment.

#### **FINDING**

The Planning Board voted 6-1 to find that due to the fact the applicant does not have site control of 110' portion of the Tamarlane Easement that no waiver is required and the applicant is not required to construct a sidewalk or curbing on that portion.

#### **SITE PLAN REVIEW**

The Planning Board voted 5-2 that the plan is in conformance with the site plan standards of the Land Use Code, subject to the following conditions of approval:

1. The applicant and all assigns, must comply with the conditions of Chapter 32 Storm Water including Article III. Post-Construction Storm Water Management, which specifies the annual inspections and reporting requirements. The developer/contractor/subcontractor must

Basic - covered construction - not separate  
- Anticorrosion - cleaned - before after construction



comply with conditions of the construction storm water management plan and sediment & erosion control plan based on City of Portland standards and state guidelines.

2. Prior to issuance of a Building Permit the applicant shall submit a revised site plan that shows sidewalks and curb in compliance with the City's Technical Guidelines.
3. The applicant shall install a pedestrian connection from the main entrance to Canco Road that is a sidewalk type and a location separated from vehicular traffic to be reviewed and approved by the Planning Authority prior to the issuance of a Building Permit.
4. The applicant shall install a fence to extend and match the existing fence line beyond the new parking lot paved area. The applicant shall consult with the City Arborist regarding potential tree saves to the extent possible prior to any tree removal and any installation of the arborvitae shall be a mature species. The City Arborist shall be notified prior to any cutting.
5. Prior to issuance of a Building Permit the applicant shall revise the Grading, Drainage, and Erosion Control plan to meet the review memo of the Stormwater Engineer dated 8.17.2011.
6. Prior to issuance of a Building Permit the applicant shall submit a revised site plan that designates areas for snow storage and are not located on any proposed stormwater infrastructure and is consistent with the landscape plan as approved by the City Arborist to minimize impacts upon the neighbors.

The approval is based on the submitted plans and the findings related to site plan and subdivision review standards as contained in Planning Report for application 10-79900026 which is attached.

#### **STANDARD CONDITIONS OF APPROVAL**

Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.

4. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. **Preconstruction Meeting** Prior to construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.

*Phil DiPierro*  
The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Barbara Barhydt at (207) 874-8699 or BAB@portlandmaine.gov

Sincerely,

Joe Lewis, Chair  
Portland Planning Board

Attachments:

- . Planning Board Report
- . City Code: Chapter 32
- . Performance Guarantee Packet

**Electronic Distribution:**

Benjamin St. Louis Littell, Director of Planning and Urban Development Department  
Alexander Jaegerman, Division Director, Planning  
Barbara Barhydt, Development Review Services Manager, Planning  
Philip DiPierro, Development Review Coordinator, Planning  
Laraine Schmuckal, Zoning Administrator, Inspections Division  
Sammy Munson, Plan Reviewer, Inspections Division  
Annie Dobson, Administration, Inspections Division  
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Catherine Earley, Engineering Services Manager, Public Services  
Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services  
Jane Ward, Administration, Public Services  
Capt. Keith Gautreau, Fire Department  
Jeff Tarling, City Arborist, Public Services  
Tom Errico, P.E., T.Y. Lin Associates  
Dan Goyette, P.E., Woodard & Curran  
Assessor's Office  
Approval Letter File

(5-2) silk, Manisette opposed

**IX. STAFF RECOMMENDATION**

The Planning Division recommends that the Planning Board adopt the staff report as findings of fact and with the imposition conditions approve the proposed Conditional Use and Site Plan at 355 Canco Rd. Staff further recommends denial of all waiver requests.

**X. SITE PLAN/CONDITIONAL USE MOTIONS FOR THE PLANNING BOARD**

**Conditional Use:**

7-0 1. carrol  
2

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report relevant to the conditional use application and other regulations, and the testimony presented at the Planning Board hearing, the Planning Board finds the conditional use for 355 Canco Rd. (is/is not) in conformance with the conditional use standards for institutional expansion in the R-5 zone and with the conditional use standards of Section 14-474 of the Land Use Code.

**Waivers:**

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations, contained in the Planning Board Report relevant to Portland's Technical and Design Standards and other regulations, and the testimony presented at the Planning Board hearing:

7-0

The Planning Board (waives/ does not waive) Section 1.7.1.2 Minimum Driveway Width (one-way) to allow a 9' wide drive-thru lane, provided that the trees can be preserved. *to allow for proper stormwater drainage*

The Planning Board (waives/ does not waive) Section 14-526.a.2.c. Sidewalks to not require construction of new curbing and sidewalks along the property frontage. *a long 110' ROW frontage*

**Site Plan Review:**

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report relevant to the Site Plan and Stormwater standards and other regulations, and the testimony presented at the Planning Board hearing, the Planning Board finds that the plan (is/is not) in conformance with the site plan standards of the Land Use Code subject to the following conditions:

1. The applicant and all <sup>successors and</sup> assigns, must comply with the conditions of Chapter 32 Storm Water including Article III. Post-Construction Storm Water Management, which specifies the annual inspections and reporting requirements. The developer/contractor/subcontractor must comply with conditions of the construction storm water management plan and sediment & erosion control plan based on City of Portland standards and state guidelines.
2. Prior to issuance of a Building Permit the applicant shall submit a revised site plan that shows sidewalks and curb ~~along the remaining vacant property frontage and at the intersection of Tamarlane~~ in compliance with the City's Technical Guidelines.
3. The pedestrian connection <sup>from the main entrance</sup> to Canco Road shall be a sidewalk type that is separated from vehicular traffic to be reviewed and approved by the Planning Authority prior to the issuance of a building permit.

*the applicant shall install a*

4. At the pre-construction meeting, the City Arborist shall inspect the potential tree saves along the proposed driveway, including the limits of clearing and proper preservation measures. The City Arborist shall be notified prior to any cutting. During construction, the site shall be reviewed by the City Arborist ~~and Traffic Engineer~~ for the final driveway width and planting of proposed trees and buffers. *to the extent possible. The fence shall be extended along the parking lot extension.*
5. ~~Prior to issuance of a Building Permit the applicant shall submit a revised site plan that shows the Drive-Thru aisle width to meet the minimum 12' if preservation of the trees cannot be achieved.~~
5. ~~Prior to issuance of a Building Permit the applicant shall revise the Grading, Drainage, and Erosion Control plan to meet the review memo of the Stormwater Engineer dated 8.17.2011.~~
6. ~~Prior to issuance of a Building Permit the applicant shall submit a revised site plan that designates areas for snow storage and are not located on any proposed stormwater infrastructure.~~ *and is approved consistent by the City Arborist w/ The landscape plan as approved by City Arborist.*

Attachments:

Planning Board Report Attachments

1. Drainage and Access Easements
2. 8.17.2011 – Stormwater Engineer Memo

Applicant's Submittal

- A. Development Application
- B. Stormwater Management Report
- C. Domestic Water Demand
- D. Outside Lighting Catalog Cuts
- E. Site Plans
  - i. Title Page
  - ii. Existing Conditions Plan
  - iii. Site Plan
  - iv. Grading, Drainage, and Erosion Control Plan
  - v. Utility and Parking Plan
  - vi. Photometric Plan
  - vii. Construction Details
  - viii. Construction Details
  - ix. Landscaping Plan
  - x. Landscaping Plan Details
  - xi. Landscaping Plan Tree Removal
- F. Building Elevations/Floor Plan



# PLANNING BOARD REPORT PORTLAND, MAINE

**Kingdom Hall Jehovah's Witnesses**  
**355 Canco Rd.**  
**Conditional Use Level II Site Plan**  
**Mark Lawrence**  
**Louis Bruno, P.E.**

Submitted to: Portland Planning Board: 8/19/11 Public Hearing Date: 8/23/11	Prepared by: Eric Giles Date: 8/19/11
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## I. INTRODUCTION

The Jehovah's Witnesses are requesting conditional use and final site plan review by the Planning Board for an expansion of the Kingdom Hall at 355 Canco Road. The proposal will add 2,103 sq.ft. of new impervious area, including an addition of 670 square feet onto the existing place of assembly, a new driveway and covered canopy for passenger loading and unloading, and an expansion to the existing parking lot area. The site is approximately 2.15 acres zoned R-5 and R-3 Residential and located within the Urban Impaired Fall Brook Watershed at 355 Canco Rd. This proposal is being reviewed for compliance with Conditional Use Standards, Portland's Site Plan Ordinance, and Stormwater Management Standards. A Traffic Movement Permit or Site Location of Development Permit is not applicable.

### A. Public Notice:

123 notices were sent to property owners within 500 ft. of the site and to the interested citizen list. A legal advertisement appeared in the Portland Press Herald on August 15<sup>th</sup> and 16<sup>th</sup>.

### B. Site Location:

The project is located at 355 Canco Road at the intersection of Washington Ave. Canco Rd. is a two-lane collector road, about .75 miles in length, intersecting with Washington Ave. to the north and Read St. to the south. The applicant's site has frontage along Canco Road along its westerly boundary. It is important to note that their site includes Tamarlane, which is located within an easement and serves the multi-family residential project located behind this property. Adjacent multi-family residential uses exist on the east and northeast border of the property.

*-ADA Compliance*  
*x Bathroom*  
*x Handicap Spaces 3 required - 1 Van accessible*

**Map 1: Vicinity Map**



**II. PROJECT DATA**

<b>Existing Zoning:</b>	R-5 Residential Medium Density
<b>Proposed Use:</b>	Place of Assembly
<b>Parcel Size:</b>	2.15 acres (93,654 sq.ft.)
<b>Impervious Surface Area:</b>	
<i>Existing:</i>	27,880 sq.ft.
<i>Proposed:</i>	29,983 sq.ft.
<i>Net Change:</i>	2,103 sq.ft.
<b>Total Disturbed Area:</b>	19,650 sq.ft. (.45 acres)
<b>Building Area:</b>	
<i>Existing Building Area:</i>	4,626 sq.ft.
<i>Proposed Building Area:</i>	5,296 sq.ft.
<i>Proposed Building Net Change:</i>	670 sq.ft.
<i>Existing Building Footprint:</i>	5,234 sq.ft.
<i>Proposed Building Footprint:</i>	6,052 sq.ft.
<b>Parking Spaces:</b>	
<i>Existing:</i>	63
<i>Proposed:</i>	62 (restriping existing parking lot)
<i>Number of Handicapped Spaces:</i>	2
<i>Proposed Total Parking</i>	64
<b>Bicycle Parking Spaces:</b>	
<i>Existing:</i>	0
<i>Proposed:</i>	2

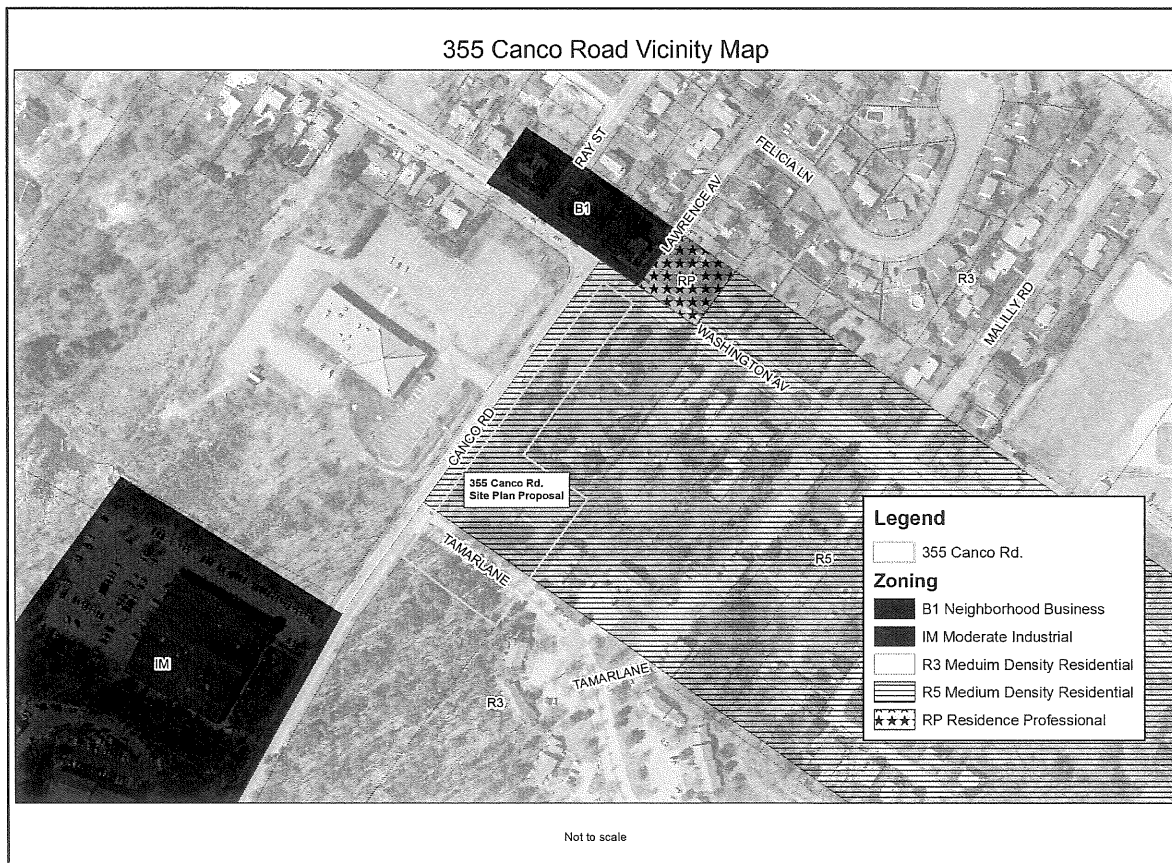
<b>Estimated Cost of Project:</b>	\$150,725
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**III. EXISTING CONDITIONS**

**A. Land Use:** The current primary use of the property is a place of religious assembly with an accessory apartment use that was built in 1987. The site consists of one single-story structure with 63 parking spaces. Traversing the property is Tamarlane a private access road for a residential multi-family development built in 1986, see Map 2 on next page.

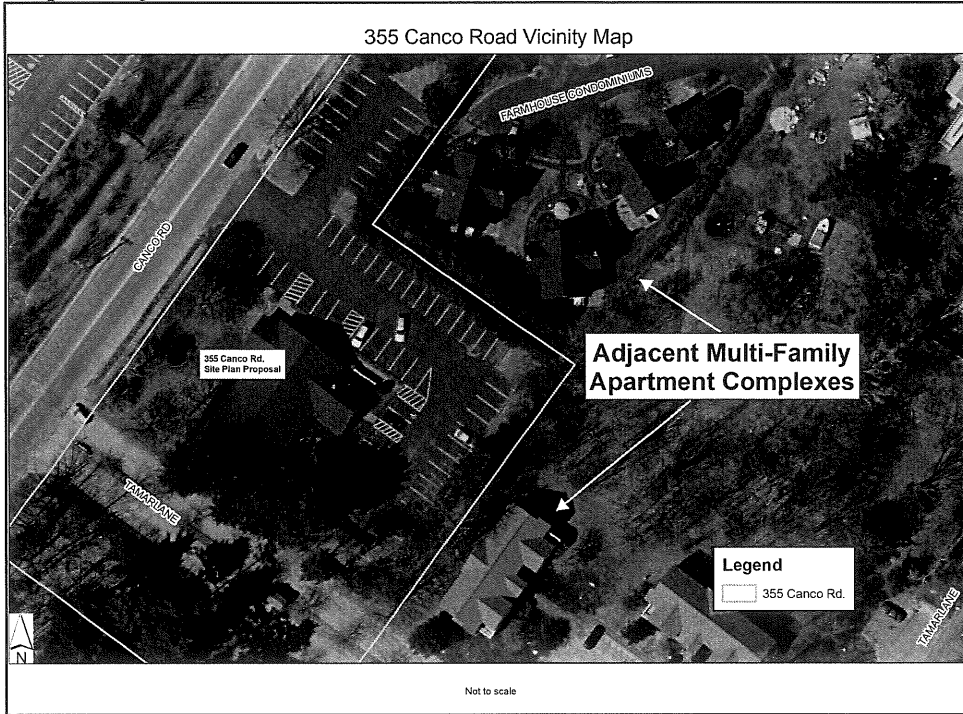
**B. Adjacent land uses to the site are comprised of multi-family residential units. Apartment unit complexes are in close proximity to the existing parking lot see Map 3 on the next page. Undeveloped open space currently exists directly south of the site. Other land uses along the Canco Rd. corridor include another place of religious assembly – directly across Canco Rd. from the site, government and institutional uses, and light manufacturing. Single family residential uses exist toward the Read St. intersection.**

**Map 2: Zoning Map**





### Map 3: Adjacent Residential Uses



#### C. Site Layout:

*Lot Dimensions:* The property is a flag lot configuration approximately 2.15 acres with 624' of frontage along Canco Rd. from the intersection with Washington Ave. The lot has an average depth of 154'. All impervious surfaces from parking areas are setback at least 7' from rear and side property lines.

*Existing Building:* The current structure was built in 1987 and is a one-story brick building approximately 4,626 sq.ft. in floor area. The applicant's floor plan identifies an auditorium with a capacity to hold 146 seats, a front lobby with a meeting room and bathroom, and a one-bedroom apartment. The building is setback about 64' with trees and landscaping buffering from Canco Rd., see Figures 1 and 2.

**Figure 1: Existing Structure Lobby Entrance**

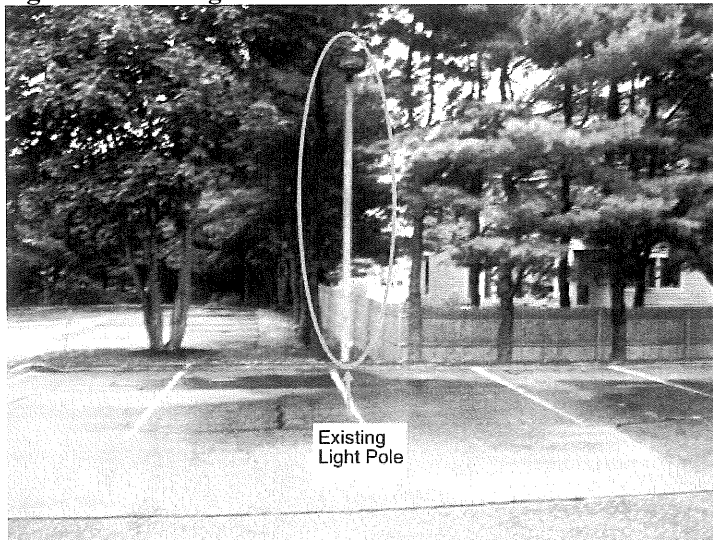


**Figure 2: Existing Structure Side Entrance**

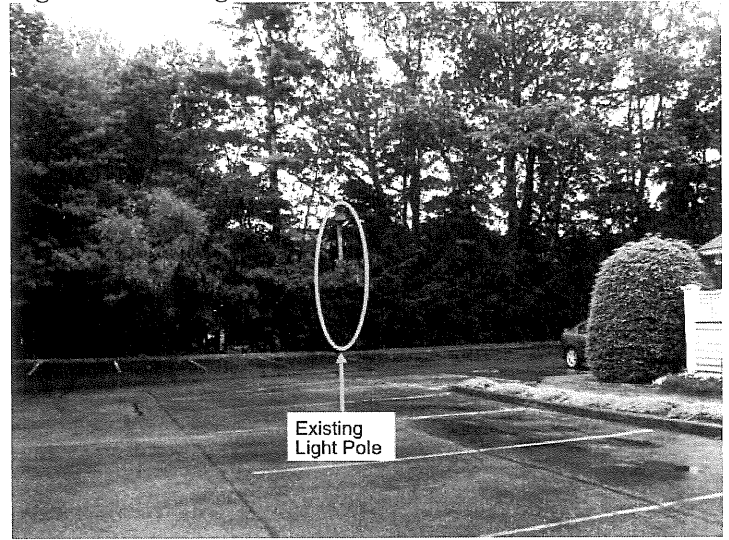


*Landscaping and Lighting:* The site has existing trees and fencing bordering the perimeter of the property see Figures 3 and 4, and is heavily vegetated toward the Washington Ave. intersection. This portion of the property from Washington Ave. to the existing parking lot is about 20,000 sq.ft. and encompasses swamp/wetlands, see Map 4. This area has not been identified as a wetland of special significance by either the Maine Department of Environmental Protection or Army Corps of Engineers National Wetland Inventory. Upon site inspection only two (2) pole-mounted non-cutoff lighting fixtures were located along the perimeter of the parking lot. These fixtures are to be removed in the proposed site plan and replaced with LED cut-off lighting.

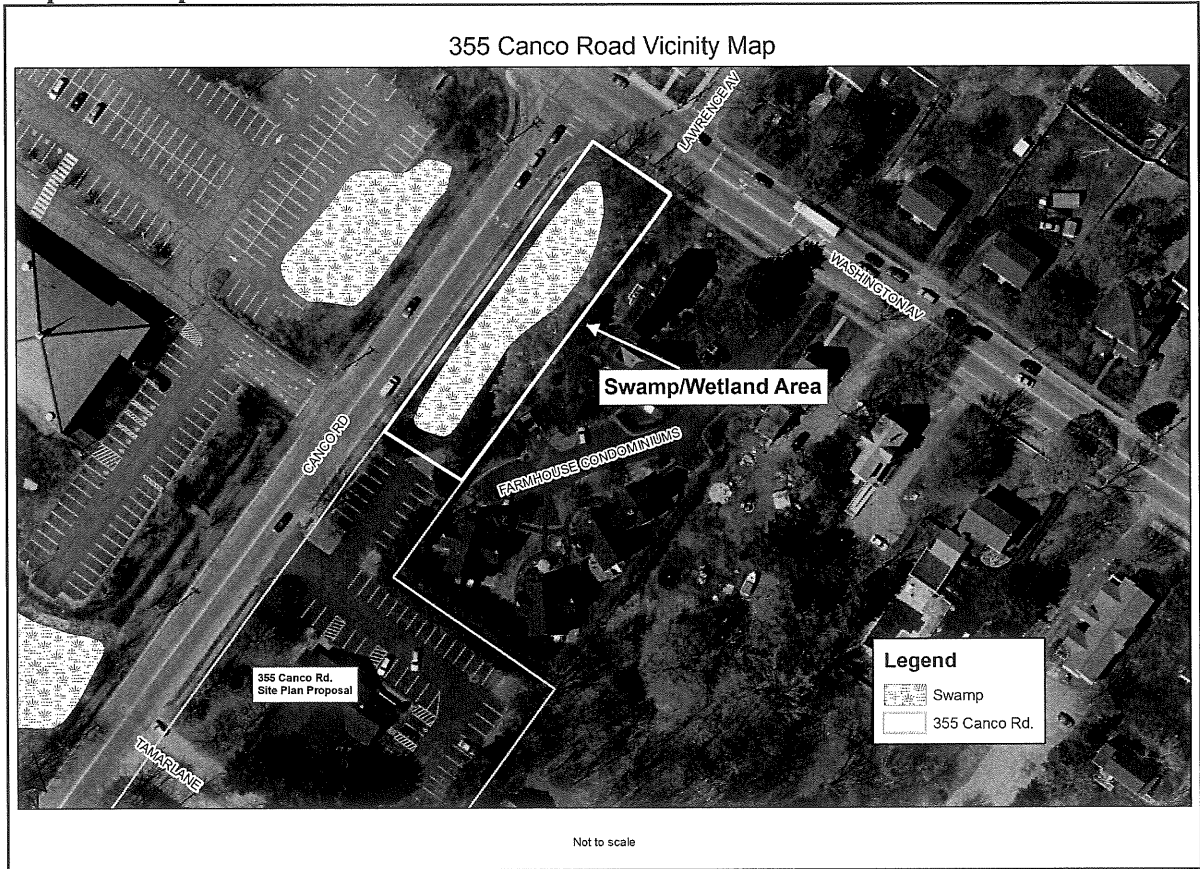
**Figure 3: Parking Lot Perimeter**



**Figure 4: Parking Lot Perimeter**



#### Map 4: Swamp/Wetland Area



*Pedestrian Access:* Curbing and sidewalks exist along both sides of Canco Rd. however; there are gaps where no sidewalks exist. Five (5) foot sidewalks with three and a half (3.5) foot esplanades exist along the property boundary terminating at Tamarlane,. This leaves approximately 60' of the applicant's property frontage with no sidewalk see Figure 5 and Map 5. No pedestrian connection from the church to Canco Rd. currently exists.

**Figure 5: Existing sidewalk condition at Tamarlane**

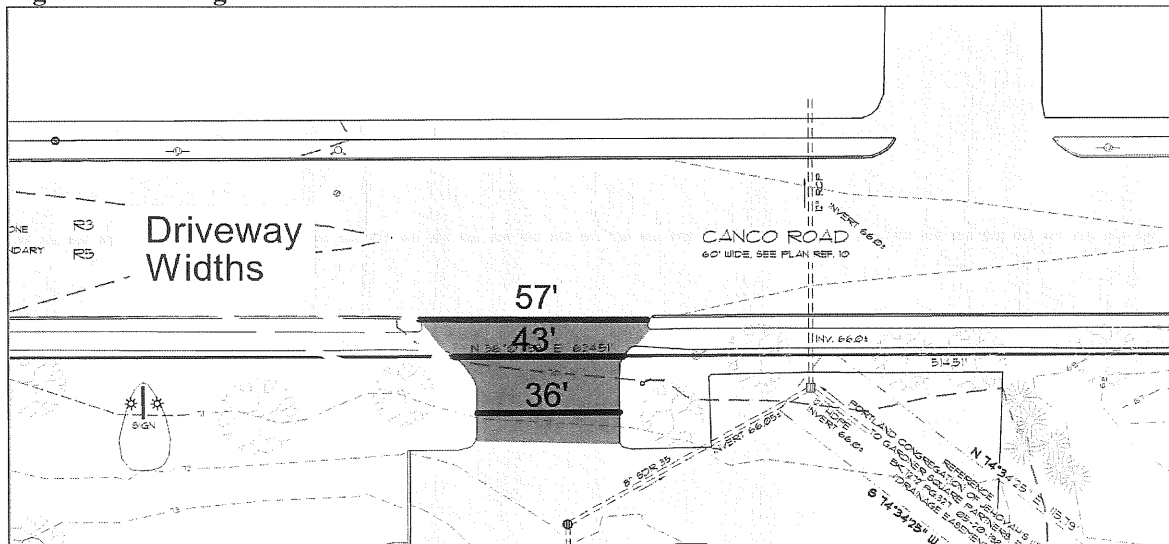


**Map 5: No Sidewalk**



*Vehicular Access:* The site has one access drive from Canco Rd., approximately 36' wide accommodating both ingress and egress movements to and from the site, see Figure 6. The site currently, accommodates 63 off-street parking spaces including ADA compliant spaces see Map 6.

**Figure 6: Existing Vehicular Access from Canco Rd.**



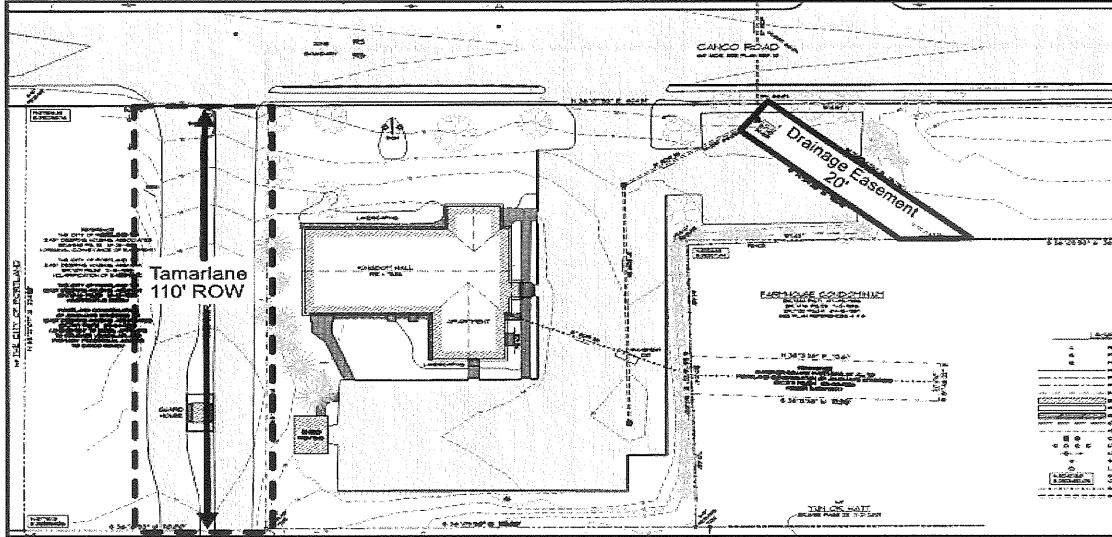
## Map 6: Existing Parking Lot Layout



### D. Easements and Encumbrances: [Both easements included as Attachments 1.]

1. Tamarlane Right-of-Way Easement – The property is bisected by a 110' wide Right-of-Way easement to the East Deering Housing Associates. This easement encompasses the existing Tamarlane access road developed in 1986. Registered as Bk 7417 Pg.173 See Map 7 below.
2. Drainage Easement – A 20' wide drainage easement for the benefit of the adjacent Farmhouse Condominiums is located on the northern portion of the parking lot with an existing catch basin. Registered as Bk 7272 Pg.327 See Map 7 below.

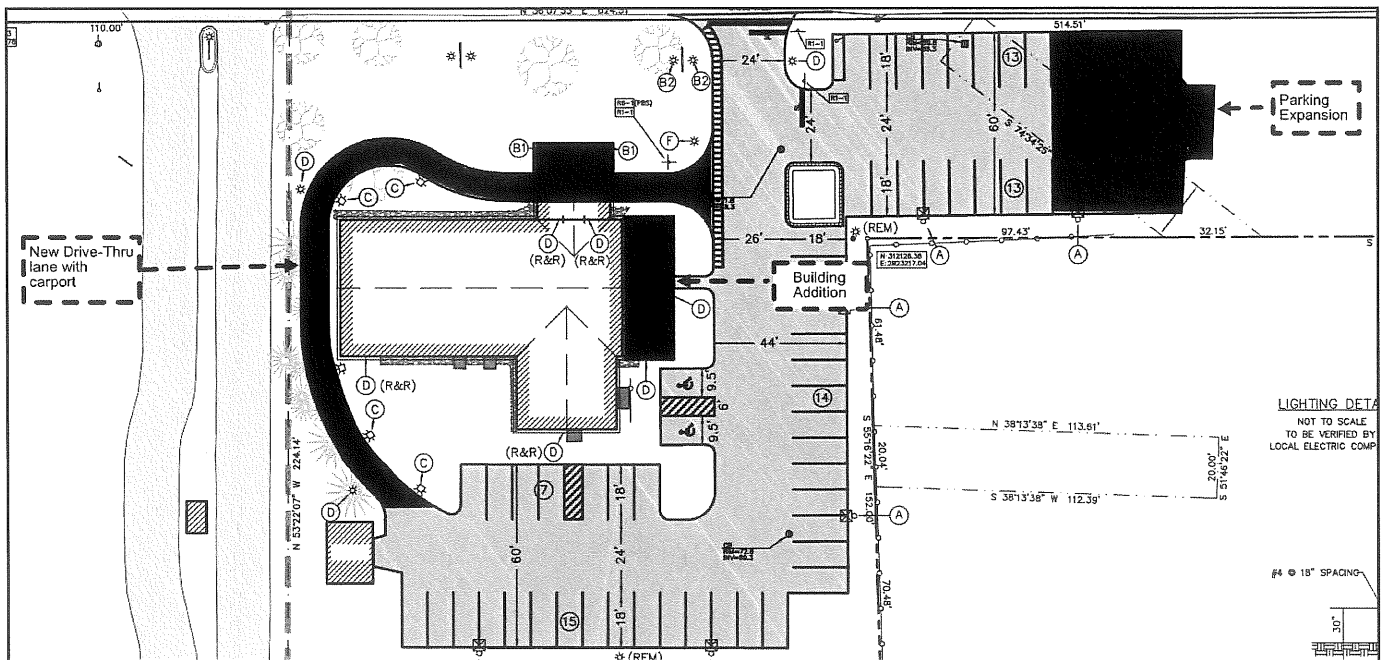
**Map 7: Easements**



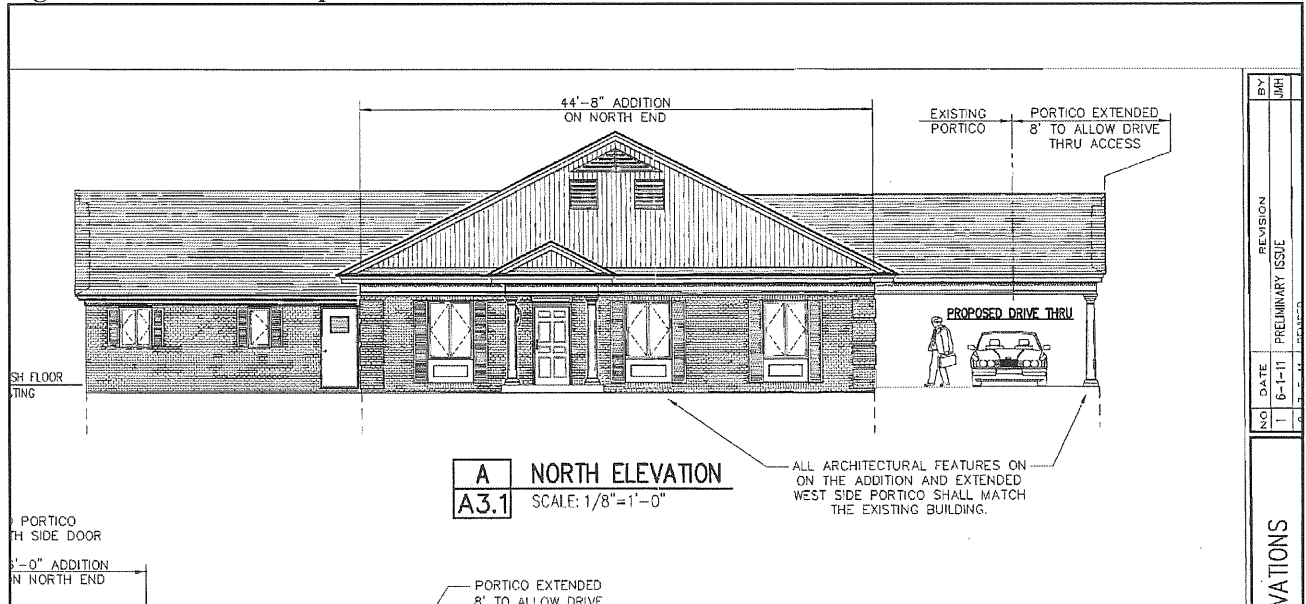
**IV. PROPOSED DEVELOPMENT**

The applicant's site plan proposes three changes, a 16'x44' addition onto the north end of the existing place of worship, construction of an internal drive nine (9) feet wide with a drop-off or carport at a building entrance, and realignment of the parking lot including an expansion of about 53'x60' toward the Washington Ave. intersection. The building addition will add a new meeting room to the facility, but does not expand the central auditorium. The parking lot expansion will also include regrading certain portions of the site and implementing new landscaping and lighting fixtures. See Map 8 and Figure 7.

**Map 8: Proposed Site Plan**



**Figure 7: Drive-thru Carport**



**V. CONDITIONAL USE STANDARDS**

This place of religious assembly is subject to the following conditions and standards in addition to the provisions of section 14-474:

- a. In the case of expansion of existing such uses onto land other than the lot on which the principal use is located, it shall be demonstrated that the proposed use cannot reasonably be accommodated on the existing site through more efficient utilization of land or buildings, and will not cause significant physical encroachment into established residential areas; and
- b. The proposed use will not cause significant displacement or conversion of residential uses existing as of June 1, 1983, or thereafter; and
- c. In the case of a use or use expansion which constitutes a combination of the above-listed uses with capacity for concurrent operations, the applicable minimum lot sizes shall be cumulative; and
- d. Article V (site plan) sections 14-522 and 14-523 notwithstanding, in the case of places of assembly (including places of religious assembly, community halls and private club or fraternal organizations) the proposed use shall be subject to the requirements of article V (site plan) of this chapter;

Staff Comment: The proposed site plan does not encroach onto adjacent land other than the lot on which the principal use is located and does not displace existing residential units. Additionally, the site plan has been reviewed subject to the requirements of Article V.

Upon a showing that a proposed use is a conditional use under this article, a conditional use permit shall be granted unless the board determines that:

- a. There are unique or distinctive characteristics or effects associated with the proposed conditional use;

- b. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area; and
- c. Such impact differs substantially from the impact which would normally occur from such a use in that zone.

Staff Comment: There are no distinctive characteristics with the proposed use and it will not be an adverse impact nor differ substantially from uses that normally occur this zoning district.

#### **VI. SITE PLAN SUBMISSION REQUIREMENTS (Section 14-525)**

The application does not include a snow removal plan and does not designate areas for snow storage on the site plan; this requirement can be included as a condition of approval and shown on the final plans..

##### Review Timeline

1. The application was initially submitted on August 23, 2010 as a preliminary plan.
2. The applicants received a review comment letter on September 3, 2010.
3. A revised plan was submitted on July 11, 2011.
4. A second review comment letter was sent on July 26, 2011.
5. A revised plan was submitted on August 4, 2011.
6. A revised stormwater plan was submitted on August 15, 2011.

#### **VII. PUBLIC COMMENT AND WORKSHOP SUMMARY**

As of the writing of this report no public comment has been received. The Planning Board has not conducted a workshop on this item and the application does not require a neighborhood meeting because it is not a Level III Site Plan.

#### **VIII. STAFF REVIEW OF FINAL SITE PLAN**

##### **A. ZONING ASSESSMENT**

**Marge Schmuckal Zoning Administrator**

July 22, 2011

This existing place of assembly is located within the R-5 Zone. The applicant is proposing 2 additions, one of which is a canopy by the entrance to protect church goers. The applicant is also expanding a parking area to allow a better turn around.

Because places of assembly are an institutional use in this zone and are also a conditional use, the expansion additions require a conditional use appeal to the Planning Board.

All R-5 zone setbacks are being met on these proposals. The new minimum parking requirements are being met.

##### **B. SITE PLAN STANDARDS**

The proposed development has been reviewed by staff for conformance with the relevant review standards of Portland's site plan ordinance and applicable regulations. Staff comments are listed below.



a) Transportation Standards

1. *Impact on Surrounding Street Systems:*

Traffic movements will enter and exit from the site from the existing driveway that connects to Canco Road, a two lane collector road. Canco Rd. has portions that are deteriorating and in need of maintenance. Tom Errico, Consulting Traffic Engineer, reviewed the plans and he states in his August 12<sup>th</sup> comment the following:

In regards to traffic impacts on the surrounding area, the project is not expected to increase traffic levels significantly as compared to existing conditions. Therefore, it is my professional opinion that the project will have little or no impact to traffic conditions on Canco Road.

Based on the Traffic Engineer's comments the proposal will not create or aggravate any significant hazard to safety at or to and including intersections in any direction where traffic could be expected to be impacted.

2. *Access and Circulation:*

a. Site Access and Circulation.

The proposed plan utilizes the existing driveway entrance and proposes extending a 9 foot wide drive around the building to provide a carport area for member drop-off. The original concept presented by the applicant included two curb-cuts and a u-shaped driveway between the building and Canco Road. The staff did not support the two curb cuts and recommended that the applicant seek an access easement from Tamarlane from the abutting residential complex. The Jehovah's Witnesses were unable to obtain rights of access from Tamaralane, so the final plan has the one-way access to the carport coming from the rear parking area and leading to the driveway.

Tom Errico Consulting Traffic Engineer, reviewed the plan (Attachment 2) and recommends that the aisle widths be reduced unless this is an existing condition and that the proposed sidewalk leading from Canco Road to the facility be separated from the driveway. His comments are as follows:

I would suggest that the 26 foot parking aisle be reduced to 24 feet (I would support a waiver for exceeding our standard if this is an existing condition – otherwise it should be 24 feet). Additionally, the plan now depicts a painted area for pedestrians. The pedestrian connection to Canco Road shall be a sidewalk type facility separated from vehicular traffic. Striping a crosswalk at the entrance is not required.

A site assessment indicates that the 26' aisle width in the parking lot is an existing condition. The proposed development will provide safe and reasonable access and internal circulation with the imposition of a proposed condition to construct a sidewalk facility for a pedestrian connection from Canco Rd. to the building entrance.

i. *Points of access and egress shall be located to avoid conflicts with existing turning movements and traffic flows.*

As noted above, the applicant is unable to obtain access to their site from Tamarlane.

Tom Errico reviewed (Attachment 2) the site plan and stated:

The existing driveway is acceptable given the easement constraint for using the Tamarlane Driveway.

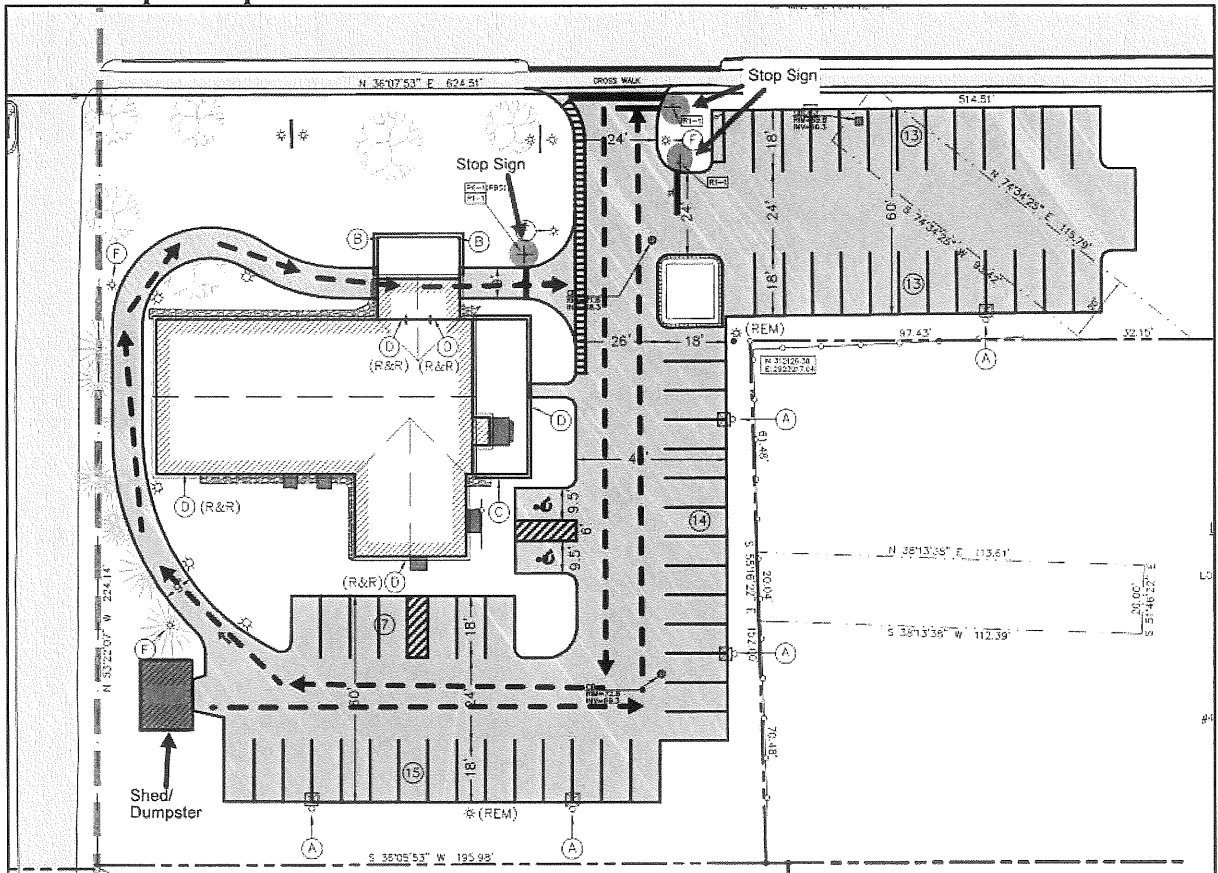
Based upon the Traffic Engineer's comment the existing point of access and egress onto Canco Rd. avoids conflicts with turning movements and traffic flows.

b. Loading and Servicing.

- i. *All developments served by delivery or other service vehicles shall provide a clear route and travel way geometric design that permits safe turning and backing for the maximum vehicle length that would service the development and does not impede site access, vehicle circulation, pedestrian movements or parking.*

The proposed travel route as shown below, permits safe turning and backing up and does not impede site access, vehicle circulation, pedestrian movement or parking.

**Map 9: Proposed Travel Route**



c. Sidewalks.

- i. *All proposed developments shall provide sidewalks along all frontages in accordance with Sections 14-498 and 14-499 of the City Code, installed to City specifications as*

*described in Section 1 of the Technical Manual. An applicant may request a waiver from curb and sidewalk installation requirements if they meet applicable waiver criteria listed in Section 14-506 (b) of the City Code.*

- ii. *Continuous internal walkways shall be provided between existing or planned public sidewalks adjacent to the site, transit stops and street crossings and primary building entrances on the site.*

The applicant has requested a waiver from the requirement of installing a sidewalk along the frontage that is within the easement for Tamaralane. The site plan shows a painted area along the edge of the driveway intended for pedestrian access from Canco Road to the Kingdom Hall. Tom Errico's review of the plan for pedestrian access and the sidewalk waiver follows.

The plan now depicts a painted area for pedestrians. The pedestrian connection to Canco Road shall be a sidewalk type facility separated from vehicular traffic.

I do not support a waiver for construction of the subject sidewalk along the frontage of Canco Road.

As mentioned previously in the Existing Conditions section of this report there are two areas along the property's frontage where new curb and sidewalk is required and rehabilitation of existing curb and sidewalk is required at the intersection of the sidewalk with Tamarlane. The applicant has been advised to address the sidewalk waiver criteria at the public hearing. Additionally, safe pedestrian accommodation requires the construction of an internal sidewalk from the building entrance to Canco Road. A condition of approval is proposed for the Board's consideration.

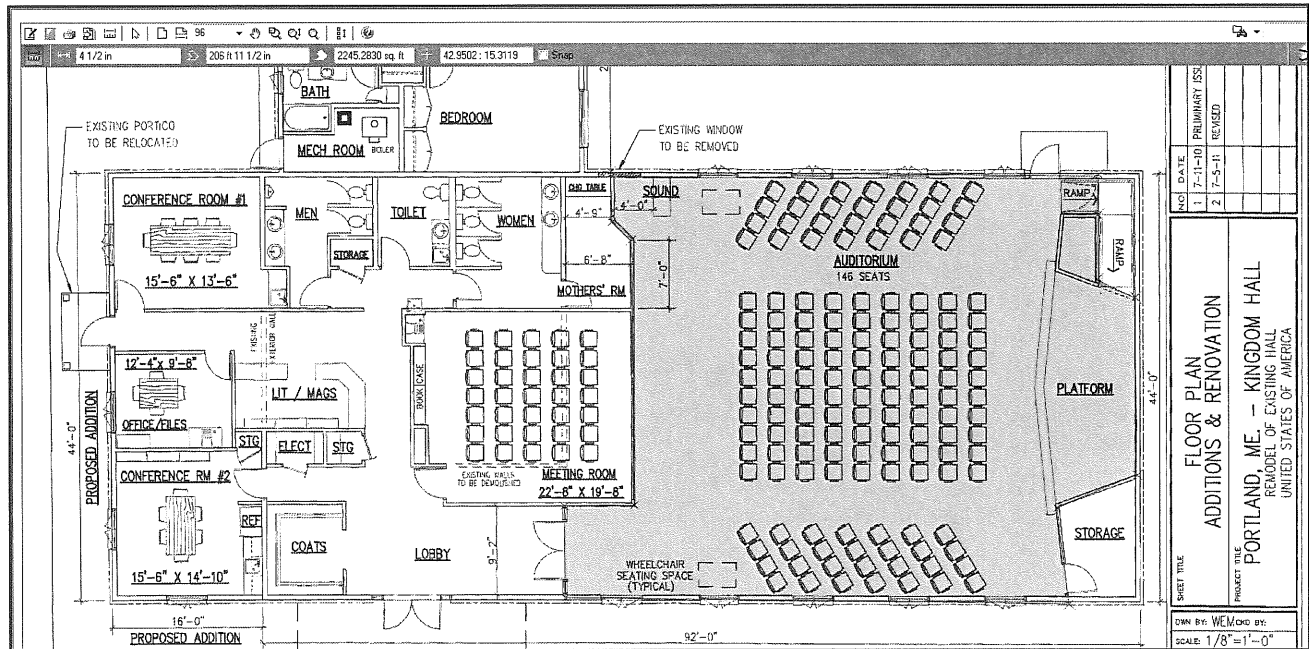
- 3. *Public Transit Access:*
  - a. *For any residential development consisting of twenty (20) or more dwelling units or commercial or institutional development of at least 20,000 square feet gross floor area, a transit facility shall be constructed*

This project does not meet the transit access applicability thresholds because it will be an institutional development less than 20,000 square feet.

- 4. *Parking:*
  - a. Location and Required Number of Vehicle Parking Spaces:
    - i. *Off-street parking shall meet the applicable zoning requirements.*

Vehicle Parking – According to Division 20 Off-Street Loading, a place of religious assembly is required to provide one (1) parking space for every 125 sq.ft. of floor area used for assembly area not including bathrooms, bulk storage, stairways, closets or other non-assembly areas. The applicant's Floor Plan, shown below measures the main assembly area to be approximately 2,245 sq.ft. This requires the applicant to provide at least 18 off-street parking spaces. The site plan proposes to create one (1) new parking space and realign the existing 63 spaces. The existing parking supply and the addition of one new space exceed the minimum parking requirements.

**Map 10: Floor Plan**



- ii. *Where a parking study is required, the City encourages Transportation Demand Management (TDM) strategies to be employed.*

A parking study is not required for this project.

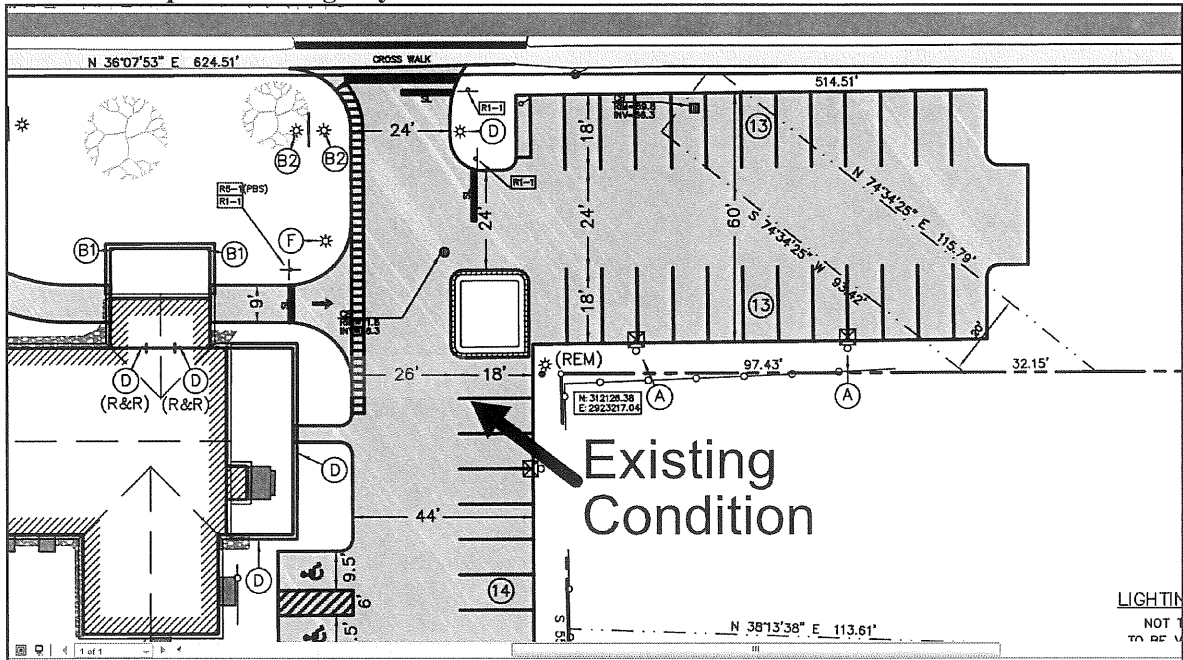
- iii. *Developments proposing to exceed minimum parking requirements by 10% or more must demonstrate through a parking analysis that the amount of parking is appropriate for the proposed use of the site.*

While the expanded parking lot will provide 64 spaces, only 1 new space will be added. The applicant has indicated the existing parking supply is required to meet demand during worship services on weekends.

- iv. *Parking spaces and aisles shall meet applicable dimensional standards as detailed in Section 1 of the Technical Manual.*

All parking stalls are meeting the minimum 9'x18' standard parking stall size. The driveway aisle width of 26' which does not meet the minimum 24' standard appears to be an existing condition. Therefore a waiver is required for the parking aisle width size, which is supported by Tom Errico since it is an existing situation (Attachment 2)

**Map 11: Parking Layout**



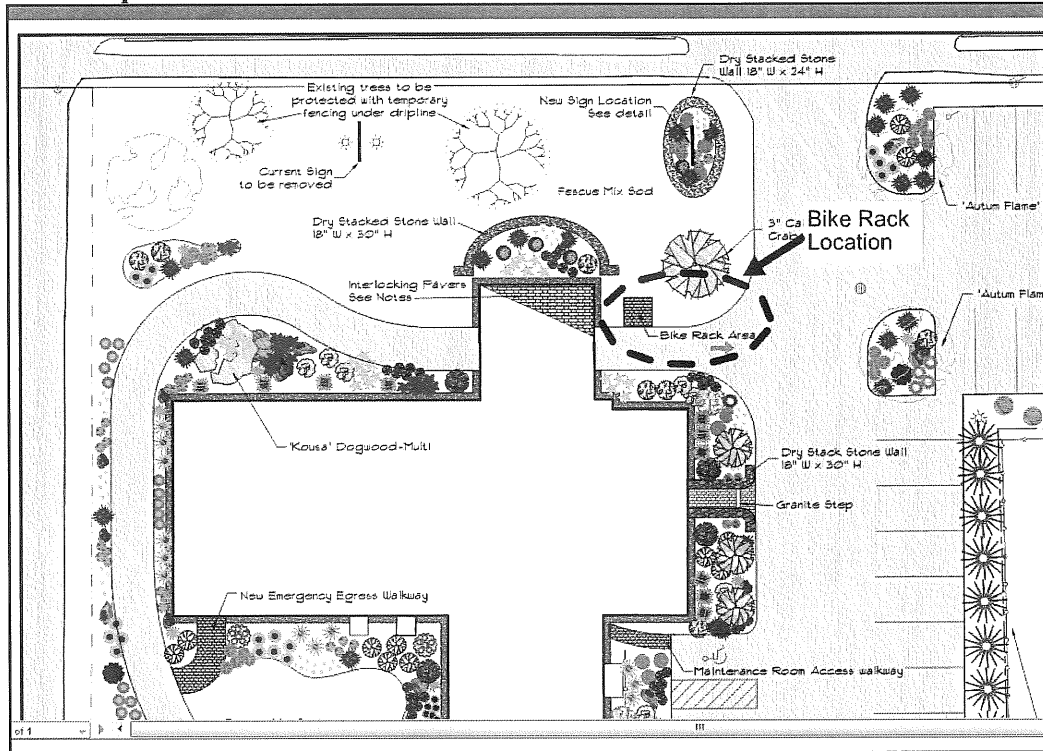
- v. *Parking lots, except for temporary lots to be used for less than one year, shall be constructed of a permanent and durable hard surface that is not subject to ponding or erosion.*

The construction details in the plan set show the parking lot will be made of asphalt on crushed gravel sub-base.

- b. **Location and Required Number of Bicycle Parking Spaces:**
  - i. *The site plan shall provide secure bicycle parking in conformance with Section 1 of the Technical Manual and shall meet the following requirements:*
    - b. Nonresidential structures. Two (2) bicycle parking spaces for every ten (10) vehicle parking spaces for the first one hundred (100) required vehicle parking spaces, plus one (1) bicycle parking space for every twenty (20) required motor vehicle parking space over one hundred (100) required vehicle parking spaces.

The required number of vehicle parking spaces is 18 under the Zoning Code, thus four bicycle parking spaces are required for this project. The landscape plan shows a bike rack location but does not specify the number of racks proposed to be installed. Upon final plan submission the bike rack area shall show enough racks to accommodate 4 bicycles.

**Map 12: Bike Rack Location**



c. Motorcycle and Scooter Parking:

- i. *The site plan shall accommodate access and parking for two-wheeled motorized vehicles such as motorcycles and scooters.*

The proposed parking layout will accommodate both standard vehicles and two-wheeled motorized vehicles because the owners will not prohibit motorcycles and scooters from parking in the standard 9x18 parking spaces. The applicant has indicated some users of the site drive two-wheeled vehicles and are able to park in the existing parking stalls. Additional signage may be placed on specific parking stalls that identify the space as accommodating two-wheeled and standard vehicle parking.

d. Snow Storage

The site plan does not indicate areas for snow storage nor does it include a snow removal plan. A proposed condition of approval shall require the applicant to develop a snow storage plan and show areas on the site plan for snow storage that do encroach onto stormwater management systems prior to a building permit.

5. *Transportation Demand Management Plan (TDM):*

- a. *The following types of development shall design and implement a Transportation Demand Management (TDM) plan:*
  - i. *All Level III development in the B7 zone;*
  - ii. *All commercial or institutional uses of 50,000 sf or more total floor area*
  - iii. *All commercial or institutional uses designed to accommodate 100 or more employees and, for educational institutions, 100 or more students.*

This application does not meet the applicability thresholds for a TDM and is not required to develop a TDM.

b) Environmental Quality Standards

1. *Preservation of Significant Natural Features:*

- a. *The site plan shall preserve and protect significant natural features by incorporating them into site design.*

The proposed landscape plan preserves a natural buffer along the front of the site adjoining Canco Road. Additionally, the parking lot expansion will not significantly impact the adjacent wetland/swamp area.

2. *Landscaping and Landscape Preservation*

a. Landscape Preservation.

- i. *Site development shall be designed to incorporate, and limit disturbance to or removal of existing trees, as specified below. Preserved trees may be counted towards site landscaping requirements.*

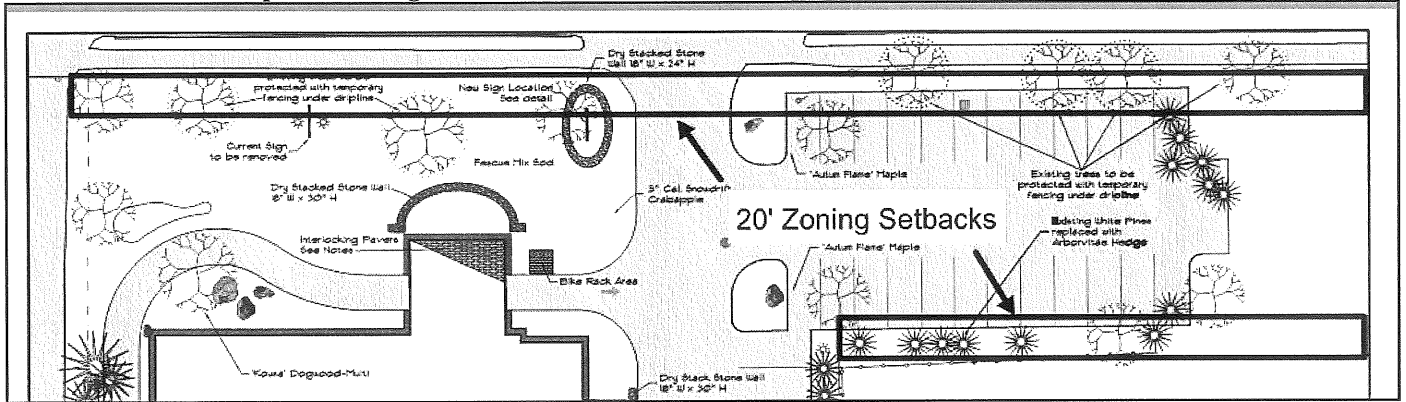
The Tree Removal plan shows about 40 white pines, dogwoods, and maple trees to be removed. 6 of the 9 existing maples along the property frontage will be preserved. Jeff Tarling, City Arborist has reviewed the plan and has the following comments:

I have reviewed the proposed landscape changes to the Jehovah's Witnesses site on Canco Road. Overall the landscape improvements improve the site from the existing conditions, trees have been added to the parking lot to meet city standards. The new driveway around the building will impact existing large White Pine trees, precaution should be used in this work zone around the root system.

- ii. *All development subject to zoning setbacks shall preserve a minimum of 30% of existing trees ten (10) inches DBH or greater within the required setback area unless trees are non-native invasive species, as identified in Section 4 of the Technical Manual, or are deemed unsalvageable by the Portland City Arborist or their designee.*

The site plan is located entirely in the R-5 zone even though the property is partially zoned R-3. The front and rear yard setback requirements for the R-5 is 20'. Within the front and rear yard setback the Tree Removal plan shows 12 maple trees, six (6) of which are to be removed. The proposed Tree Removal plan preserves 50% of the existing trees within the zoning setbacks.

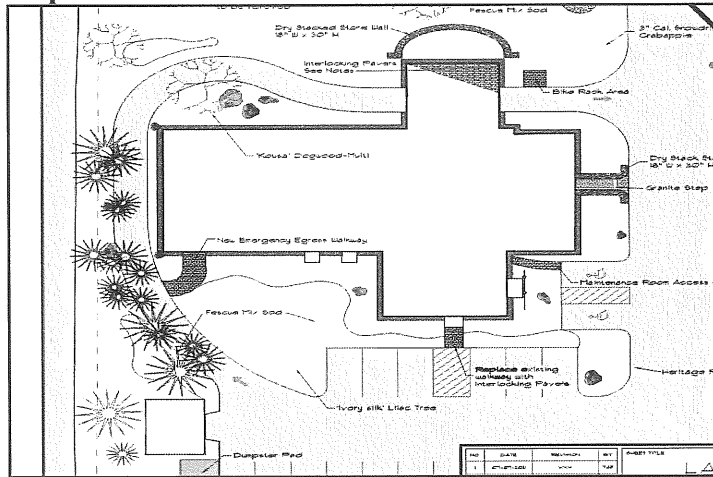
**Map 13: Zoning Setback Tree Removal Plan**



- iii. *Protection during Construction: The site plan shall include adequate measures to protect vegetation to be preserved from construction impacts, in accordance with the tree preservation standards listed in Section 4 of the Technical Manual.*

The City Arborist has identified the white pines around the drive-thru roadway will be impacted from construction. The City Arborist supports efforts to retain the trees with the reduced driveway width and protection during construction. It should be noted that the Tree Removal plan shows this area of white pines will be cleared entirely see Map 14.

**Map 14: Drive-thru Tree Removal**



If this entire area is to be cleared then the Tom Errico, Traffic Engineer, will require the roadway to be built with a minimum 12' wide aisle width rather than the 9 feet. Mr. Errico's comments (Attachment 2) are as follows:

I support a 9-foot drop-off roadway if widening it to 12 feet results in the loss of trees. If existing trees can't be saved under a 9-foot width scenario, I would request that the applicant provide a 12-foot wide roadway.

- b. Site Landscaping.

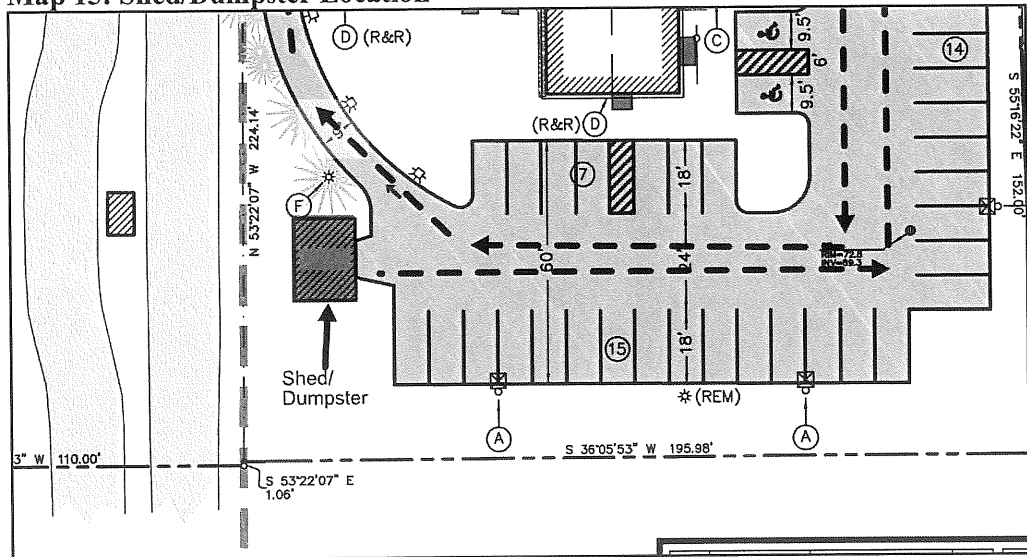


i. *Landscaped Buffers:*

- a. *Screening. Loading and servicing areas, dumpsters, storage areas and utility structures, except for renewable energy systems, shall be screened from view from public sidewalks, streets and adjacent properties by dense evergreen landscaping, fencing, masonry wall building walls, or a combination thereof.*

The site plan and site visit confirms the dumpster locations are adequately screened from public view by landscaping and the existing building. See Map 15.

**Map 15: Shed/Dumpster Location**



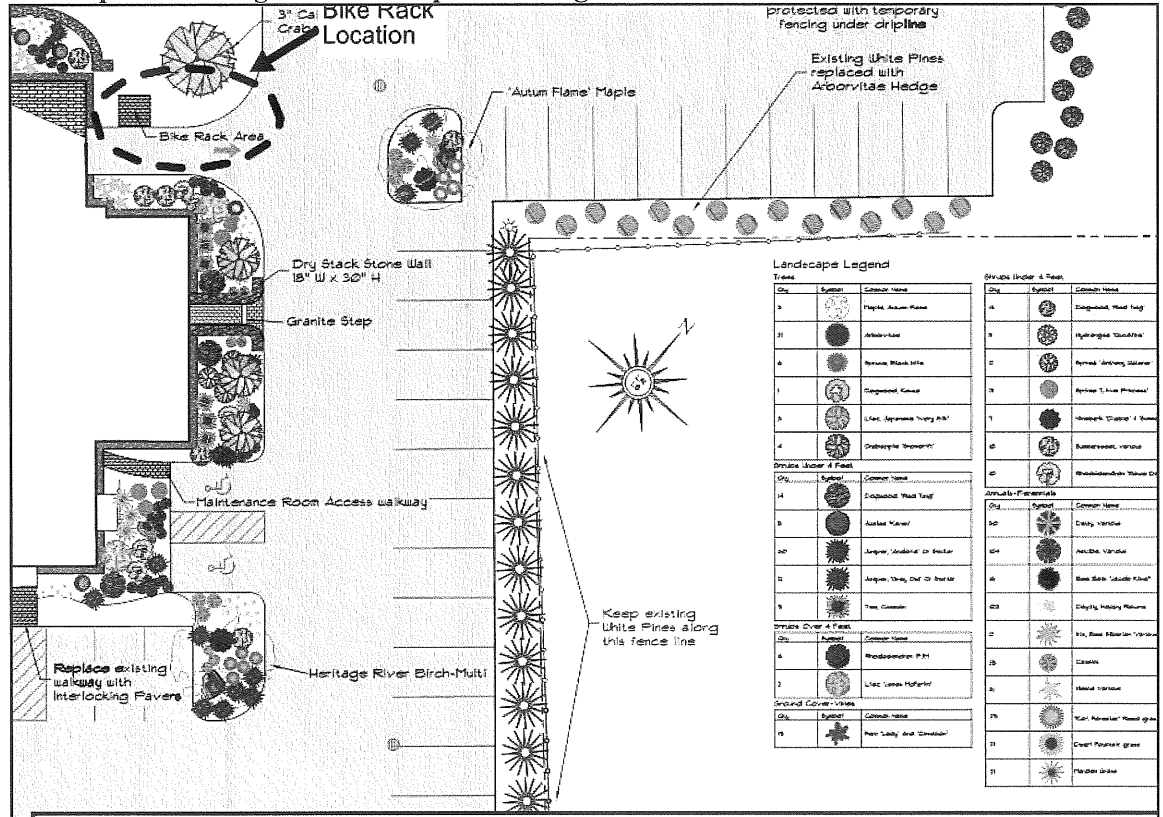
- b. *Understory Plantings. All development subject to required zoning setbacks shall include a minimum of six (6) shrubs per forty five (45) linear feet of all frontages as measured along the property line. A shrub shall be defined as one shrub, one ornamental grass, and/or 3 perennials. Required shrubs may be installed anywhere on the site, including a green roof, if proposed, and may be planted in any arrangement. Existing vegetation to be preserved on the site may be counted towards this requirement as detailed in Section 4 of the Technical Manual.*

The lot has 624 linear feet of frontage and is required to install 83 shrubs. The Landscape plan shows the installation of 149 shrubs throughout the site.

- c. *Buffer from Surrounding Development. All residential development shall provide and/or preserve evergreen vegetated buffers where necessary to buffer the development from detrimental impacts of existing surrounding development.*

The Landscape plan shows dense abrovitaes and white pines buffering the parking lot from the adjacent multi-family homes.

**Map 16: Parking Lot Landscape Buffering**



- ii. Parking Lot Landscaping:
  - a. Developments with five (5) or more parking spaces shall include at least two (2) trees (or one (1) tree and three (3) shrubs) per five (5) parking spaces planted in landscaped islands to screen shade and break up parking. Trees and shrubs in parking lots may be in informal groups, straight rows, or concentrated in clusters as detailed in Section 4 of the Technical Manual.

Jeff Tarling City Arborist, reviewed the landscape plan and his comments from August 12, 2011 are as follows:

I have reviewed the proposed landscape changes to the Jehovah's Witnesses site on Canco Road. Overall the landscape improvements improve the site from the existing conditions, trees have been added to the parking lot to meet city standards. The new driveway around the building will impact existing large White Pine trees, precaution should be used in this work zone around the root system.

Based on the comments provided by the City Arborist the applicants' landscape plan will meet the parking lot landscaping standards. The development proposes 64 parking spaces and is required to install 25 trees. The Landscape plan shows 38 trees are to be installed with an additional 149 shrubs, exceeding the required amount. A proposed condition of approval is to have the tree preservation measures identified and confirmed by Jeff Tarling at the pre-construction meeting.

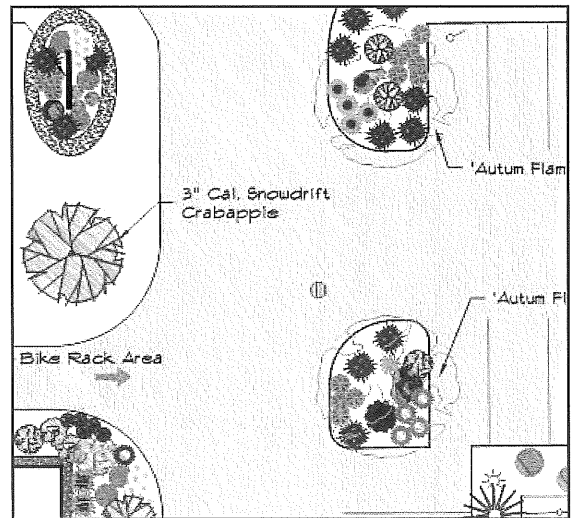
- b. *Landscaped islands shall be distributed so that uninterrupted pavement does not exceed forty (40) parking spaces.*

The parking lot does not include uninterrupted pavement in excess of 40 spaces or more and therefore does not require landscaped islands to be built.

- c. *Landscaped islands shall be curbed and a minimum of eight (8) feet in width, not including curbing. The incorporation of bioretention into landscaped islands is strongly encouraged.*

One island is shown in the parking lot that will include landscaping. The Parking and Utility plan appears to show this island with curbing.

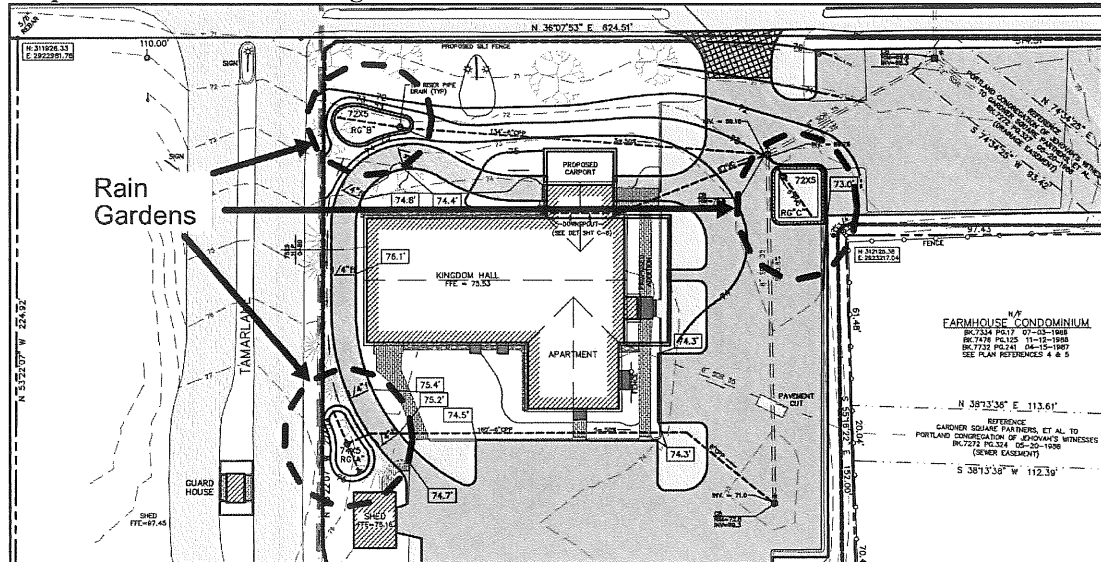
**Map 17: Landscaped Island in Parking Lot**



- 3. *Water Quality, Stormwater Management and Erosion Control:*
  - a. *All development must demonstrate that the proposed site improvements are designed to minimize the amount of stormwater leaving the site.*
  - b. *All development shall comply with the standards of Section 5 of the Technical manual standards including basic, general, and flooding standards.*
  - c. *All developments that are located within the watershed of the Urban Impaired Stream shall comply with the Urban Impaired Stream standards.*

The proposed site plan is located within the Fall Brook Watershed Urban Impaired Stream. The stormwater management plan must also comply with the basic, general, and flooding standards of Section 5 of the Technical manual. The Grading, Drainage, and Erosion Control plan shows three (3) new rain gardens to be installed on the site to accommodate increased stormwater flows and water quality treatment meeting the Urban Impaired Stream Standards.

**Map 18: Stormwater Management Plan**



According to David Senus Stormwater Engineer, the proposed stormwater system will meet the technical requirements of Section 5, with adjustments to the underdrain soil filter in Rain Garden A. As a condition of approval the applicant should revise the construction detail prior to issuance of a building permit.

David Senus' review from August 17, 2011 is as follows:

The post-development HydroCAD model for rain garden "A" indicates that the secondary outlet is at the same elevation as the surface of the filter. The secondary outlet should be 6" higher than the filter surface, per the design shown on the plans; however, we do not anticipate that this modification to the HydroCAD model would change the outflow results for the storms being analyzed. Therefore, no additional submittal is required.

Per Chapter 7.2 of Volume III of the MaineDEP Stormwater BMP Manual, the Applicant should verify that there is sufficient clearance (minimum 1') between the bottom of the underdrained soil filter and groundwater and bedrock depths. Based on the stormwater report narrative, it appears that there may not be enough space between the bottom of the underdrain layer in Rain Garden A and bedrock. If there is insufficient depth, the basin must be lined with an impermeable geomembrane (not clay). If more detailed information is not available at this time on the depth to bedrock, a note should be added to the plans to verify the depth to bedrock during construction, and to install an impermeable geomembrane liner if necessary.

c) Public Infrastructure and Community Safety Standards

1. *Consistency with City Master Plans*

The proposal is in compliance with the goals of Regulation of Institutional Uses in Residential Zones – 1983

- Institutional uses, where they are to be allowed in residential zones, should be designated conditional uses with review before the Planning Board.
- Any new institutional use should be required to have a lot size of sufficient area to

accommodate all activities, including parking and to absorb impacts and growth needs of the institution.

- Reasonable expansion of existing institutions should be accommodated, but effective use of existing lot area should be required.
- For both new development and expansion of existing institutions, the displacement or conversion of existing dwellings should be avoided, and that an institutional development proposal that causes significant residential displacement should be denied because of denial of conditional use approval.

2. *Public Safety and Fire Prevention*

Captain Keith Gatreay had approved the site layout for fire access in 2010 and has confirmed that no changes have occurred to impact the existing fire access from Canco Rd.

3. *Availability and Adequate Capacity of Public Utilities*

**Frank Brancely Senior Engineering Technician**

March 14, 2011

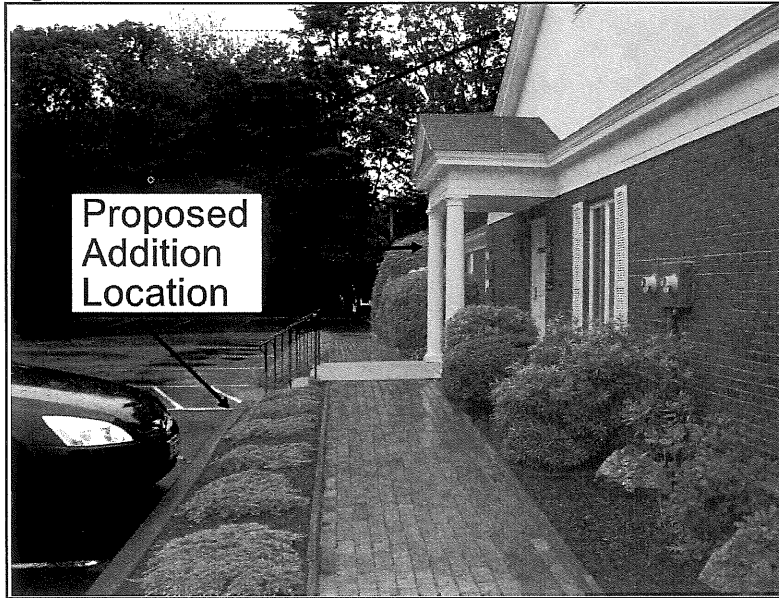
The City of Portland has **adequate capacity to transport 91 G.P.D.**, from the proposed addition, at the Kingdom Hall of Jehovah's Witnesses, while The Portland Water District sewage treatment facilities, located off Marginal Way, have **adequate capacity to treat** the total anticipated increase in wastewater flows of **91 GPD**, from the proposed addition.

d) Site Design Standards

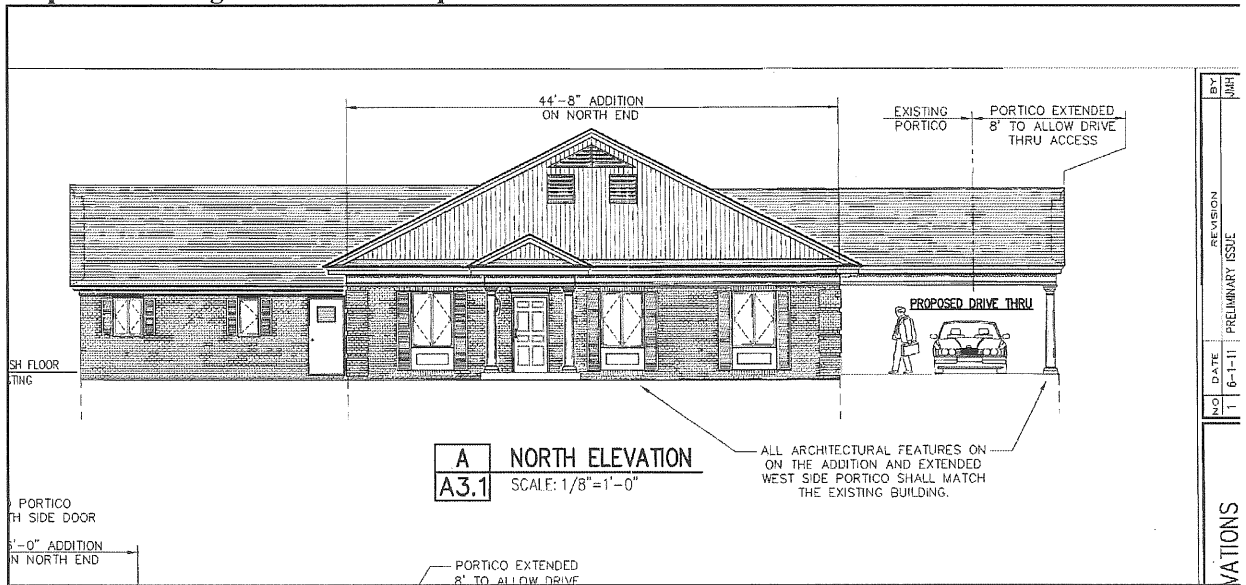
1. *Massing, Ventilation, and Wind Impact*

The bulk, location and height of the proposed addition will not result in health or safety problems and minimize any disturbance to adjacent structures.

**Figure 10: Addition Location**



**Map 19: Building addition and carport**



2. *Shadows*

Due to the low building height and its distance from adjacent buildings no impacts from shadows will occur.

3. *Snow and Ice Loading*

Based on the location of the existing building and its distance from adjacent properties impact upon adjacent properties from snow and ice will occur.

4. *View Corridors*

The site is not located in a designated view corridor.

5. *Historic Resources*

The site is not located in the Historic District and has no known historic resources.

6. *Exterior Lighting*

a. *Site Lighting*

The Photometric Plan shows installation of new lighting fixtures to be full-cutoff types. The footcandle requirements are being met and they show no trespass of light onto the adjacent properties. In particular, the adjacent multi-family complexes will not be infringed upon by light trespass and additional landscape buffering is proposed.

7. *Noise and Vibration*

No new HVAC or noise impacts are proposed.

8. *Signage and Wayfinding*

On site directional traffic signage is proposed that will adequately enable users to safely navigate the site. Stop signs are proposed at the main access intersection within the parking lot.

9. *Zoning Related Design Standards*

No zoning related design standards apply to this site.

e) Waiver Requests

The applicant has requested the following waivers to the site plan ordinance and technical manual.

1. Section 1.7.1.2 Minimum Driveway Width (one-way): Any site with driveway access to a street shall have a minimum 12 foot wide driveway. The site plan proposes a 9 foot wide driveway. The Traffic Engineer supports the waiver request if the trees can be preserved, but if not then he recommends the waiver request be denied.
2. Section 14-526.a.2.c.Sidewalks: All proposed developments shall provide sidewalks along property frontages and where sidewalks are in substandard conditions they shall be repaired. The applicant is requesting a waiver based on the fact that a new sidewalk along the property frontage would not provide any interconnectivity and there is a sidewalk in existence across the street. All waiver requests for sidewalks must be evaluated on the following criteria and can be waived if two or more of the conditions exist. The waiver request is not supported by Tom Errico, Consulting Traffic Engineer and the Department of Public Services.

Sidewalks-

1. There is no reasonable expectation for pedestrian usage coming from, going to and traversing the site.

2. There is no sidewalk in existence or expected within 1000 feet and the construction of sidewalks does not contribute to the development of a pedestrian oriented infrastructure.
3. A safe alternative-walking route is reasonably and safely available, for example, by way of a sidewalk on the other side of the street that is lightly traveled.
4. The reconstruction of the street is specifically identified and approved in the first or second year of the current Capital Improvement Program or has been funded through an earlier CIP or through other sources.
5. The street has been constructed or reconstructed without sidewalks within the last 24 months.
6. Strict adherence to the sidewalk requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.

Curbing-

1. The cost to construct the curbing, including any applicable street opening fees, is in excess of 5% of the overall project cost.
2. The reconstruction of the street is specifically identified and approved in the first or second year of the current Capital Improvement Program or has been funded through an earlier CIP or through other sources.
3. The street has been rehabilitated without curbing in the last 60 months.
4. Strict adherence to the curb requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.
5. Runoff from the development site or within the street does not require curbing for stormwater management.

**IX. STAFF RECOMMENDATION**

The Planning Division recommends that the Planning Board adopt the staff report as findings of fact and with the imposition conditions approve the proposed Conditional Use and Site Plan at 355 Canco Rd. Staff further recommends denial of all waiver requests.

**X. SITE PLAN/CONDITIONAL USE MOTIONS FOR THE PLANNING BOARD**

**Conditional Use:**

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report relevant to the conditional use application and other regulations, and the testimony presented at the Planning Board hearing, the Planning Board finds the conditional use for 355 Canco Rd. (is/is not) in conformance with the conditional use standards for institutional expansion in the R-5 zone and with the conditional use standards of Section 14-474 of the Land Use Code.



**Waivers:**

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations, contained in the Planning Board Report relevant to Portland's Technical and Design Standards and other regulations, and the testimony presented at the Planning Board hearing:

The Planning Board (waives/ does not waive) Section 1.7.1.2 Minimum Driveway Width (one-way) to allow a 9' wide drive-thru lane provided that the trees can be preserved.

The Planning Board (waives/ does not waive) Section 14-526.a.2.c.Sidewalks to not require construction of new curbing and sidewalks along the property frontage.

**Site Plan Review:**

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report relevant to the Site Plan and Stormwater standards and other regulations, and the testimony presented at the Planning Board hearing, the Planning Board finds that the plan (is/is not) in conformance with the site plan standards of the Land Use Code subject to the following conditions:

1. The applicant and all assigns, must comply with the conditions of Chapter 32 Storm Water including Article III. Post-Construction Storm Water Management, which specifies the annual inspections and reporting requirements. The developer/contractor/subcontractor must comply with conditions of the construction storm water management plan and sediment & erosion control plan based on City of Portland standards and state guidelines.
2. Prior to issuance of a Building Permit the applicant shall submit a revised site plan that shows sidewalks and curb along the remaining vacant property frontage and at the intersection of Tamarlane in compliance with the City's Technical Guidelines.
3. The pedestrian connection to Canco Road shall be a sidewalk type that is separated from vehicular traffic to be reviewed and approved by the Planning Authority prior to the issuance of a building permit.
4. At the pre-construction meeting, the City Arborist shall inspect the potential tree saves along the proposed driveway, including the limits of clearing and proper preservation measures. The City Arborist shall be notified prior to any cutting. During construction, the site shall be reviewed by the City Arborist and Traffic Engineer for the final driveway width and planting of proposed trees and buffers
5. Prior to issuance of a Building Permit the applicant shall submit a revised site plan that shows the Drive-Thru aisle width to meet the minimum 12' if preservation of the trees cannot be achieved.
6. Prior to issuance of a Building Permit the applicant shall revise the Grading, Drainage, and Erosion Control plan to meet the review memo of the Stormwater Engineer dated 8.17.2011.

Attachments:

Planning Board Report Attachments

1. Drainage and Access Easements
2. 8.17.2011 – Stormwater Engineer Memo

Applicant's Submittal

- A. Development Application
- B. Stormwater Management Report
- C. Domestic Water Demand
- D. Outside Lighting Catalog Cuts
- E. Site Plans
  - i. Title Page
  - ii. Existing Conditions Plan
  - iii. Site Plan
  - iv. Grading, Drainage, and Erosion Control Plan
  - v. Utility and Parking Plan
  - vi. Photometric Plan
  - vii. Construction Details
  - viii. Construction Details
  - ix. Landscaping Plan
  - x. Landscaping Plan Details
  - xi. Landscaping Plan Tree Removal
- F. Building Elevations/Floor Plan

## MORTGAGE DEED

KNOW ALL MEN BY THESE PRESENTS, that PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES, of Portland, Maine, in consideration of One Dollar (\$1.00) and other valuable consideration, paid by WATCH TOWER BIBLE AND TRACT SOCIETY OF PENNSYLVANIA, whose mailing address is 25 Columbia Heights, Brooklyn, New York 11201, the receipt whereof it does hereby acknowledge, does hereby GIVE, GRANT, BARGAIN, SELL AND CONVEY unto the said WATCH TOWER BIBLE AND TRACT SOCIETY OF PENNSYLVANIA, its successors and assigns forever, a certain parcel of land in Portland, Maine, bounded and described as follows:

Beginning at a 5/8" iron rod found on the southeasterly sideline of Canco Road; thence N 49°19'50" E by the southeasterly sideline of Canco Road 624.52 feet; thence northeasterly easterly and southeasterly along a curve to the right having a radius of 40.00 feet by the sideline of Canco Road 61.85 feet to the southwesterly sideline of Washington Avenue; thence S 42°04'25" E by the sideline of Washington Avenue 32.84 feet to a 5/8" iron rod to be set at the land of Donald E. Heller and Kimberly A. Washam (see Book 6362, Page 342); thence S 49°17'50" W by the land of Heller and Washam 365.00 feet to a 5/8" iron rod to be set; thence S 42°04'25" E by the land of Heller and Washam 152.00 feet to a 5/8" iron rod to be set at the land of East Deering Housing Associates (Book 6996, Page 196); thence S 49°17'50" W by the land of East Deering Housing Associates 195.98 feet to a 5/8" iron rod found; thence S 40°10'10" W by the land of East Deering Housing Associates 1.06 feet to a 5/8" iron rod found; thence S 49°28'50" W by the land of Deering Housing Associates 110.00 feet to a 5/8" iron rod found; thence N 40°10'10" W by land of the City of Portland 224.92 feet to the point of beginning.

All bearings are deflected 3°54'10" from magnetic 1941 as shown on a Plan of Land, Canco Road, Portland, Maine, prepared by Owen Haskell, Inc., and dated December 13, 1985.

Said parcel consists of 2.15 acres, more or less, and is subject to a 110-foot wide Right-Of-Way Easement from the City of Portland to East Deering Housing Associates by deed dated October 28, 1985 and recorded in the Cumberland County Registry of Deeds at Book 6948, Page 113. It is further subject to a Clarification of Easement from the City of Portland to East Deering Housing Associates dated December 16, 1985 and recorded in Book 6948, Page 113, of said Registry, and a Temporary Easement conveyed by deed of the City of Portland to East Deering Housing Associates dated December 2, 1985, recorded in Book 7004, Page 25, of said Registry all as referenced in a corrective deed dated January 10, 1986 from the City of Portland to said East Deering Housing Associates.

Excepting and reserving to the City of Portland, its successors and assigns, for the benefit of its remaining adjacent property, a right-of-way or easement over the same area described in the said Right-Of-Way Easement and Clarification of Easement for all purposes and to the same extent as reserved therein.

Being the same premises conveyed to this Grantor by Quitclaim Deed of the City of Portland dated January 21, 1986 and recorded in said Registry of Deeds at Book 7048, Page 247, to which reference is hereby made.

TO HAVE AND TO HOLD the aforementioned and bargained premises with all the privileges and appurtenances thereof to the said Watch Tower Bible and Tract Society of Pennsylvania, its successors and assigns, to them and their use and behoof forever.

AND IT DOES COVENANT with the said Grantee, its successors and assigns, that it is lawfully seized in fee of the premises; that they are free of all encumbrances; except as aforesaid; that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors shall and will WARRANT AND DEFEND the same to the said Watch Tower Bible and Tract Society of Pennsylvania, its successors and assigns forever, against the lawful claims and demands of all persons.

PROVIDED NEVERTHELESS, that if the said Portland Congregation of Jehovah's Witnesses, its successors or assigns pays to the said Watch Tower Bible and Tract Society of Pennsylvania, its successors or assigns, the sum of Seventy-Five Thousand Dollars (\$75,000.00) in accordance with the terms of a certain promissory note of even date herewith, then this deed as also said certain promissory note bearing even date with these presents, given by the said Portland Congregation of Jehovah's Witnesses to pay the sum and interest at the time aforesaid, shall be void, otherwise shall remain in full force.

Grantor agrees to obtain, and deliver to Grantee, written and unconditional waivers of mechanic's liens upon the real property mortgaged hereunder, for all work labor and services to be performed and materials to be furnished to Grantor in connection with any construction on or renovation of said premises, signed by all contractors, subcontractors, material men and laborers to become involved in any such work. Notwithstanding the foregoing, if any mechanic's lien is filed against the premises mortgaged hereunder, or the building located thereon, for work claimed to have been done for, or materials claimed to have been furnished to Grantor, it shall be discharged by Grantor within five (5) days thereafter, at Grantor's expense, by filing the bond required by law. In the event that any such lien is not so discharged as herein specified, it shall be a default hereunder, and Grantee shall be entitled to all the rights and remedies herein provided in the event of a default hereunder, including but not limited to the right to commence foreclosure proceedings forthwith.

IN WITNESS WHEREOF, said Portland Congregation of Jehovah's Witnesses has caused this instrument to be executed by Frank Sanfino, its President, this \_\_\_\_\_ day of September, 1986.

Signed, Sealed and Delivered  
in presence of

PORTLAND CONGREGATION OF  
JEHOVAH'S WITNESSES

Gerald E. Coe

By: Frank Sanfino

Frank Sanfino  
Its President

Walter B. Barnes  
Artist B. Barnes

State of Maine  
Cumberland, SS.

September 6, 1986

Personally appeared the above-named Frank Sanfino, President of Portland Congregation of Jehovah's Witnesses, and acknowledged the above instrument to be his free act and deed and the free act and deed of Portland Congregation of Jehovah's Witnesses.

Before me,

Louis E. Manter, Jr.

Notary Public  
LOUIS E. MANTER, JR.

MY COMMISSION EXPIRES  
FEBRUARY 12, 1990

SEAL

PCJW01/1 ECB9

RECEIVED  
RECORDED REGISTRY OF DEEDS

1987 SEP -1 PM 3:48

CUMBERLAND COUNTY  
James J. Walsh

BK 7272 PG 0329

Exhibit A to Easement Deed  
from  
Portland Congregation of Jehovah's Witnesses  
to  
Gardner Square Partners, et al.

A twenty (20) foot wide drainage easement along a centerline described as follows:

Beginning at a point located in the northwesterly boundary between land of Portland Congregation of Jehovah's Witnesses and land of Gardner Square Partners, et al., which point is located S  $49^{\circ}17'50''$  W two hundred fifty-one and five tenths (251.50) feet from the iron rod marking the intersection of said boundary and the sideline of Washington Avenue and the northerly corner of said property of Gardner Square Partners, et al.; thence N  $87^{\circ}46'21.8''$  E one hundred six (106.00) feet to a point.

RECEIVED  
RECORDED REGISTRY OF DEEDS

1986 JUL 16 PM 1:24

CUMBERLAND COUNTY

*James G. Walsh*

## MEMORANDUM



TO: Erick Giles, Planner  
FROM: Ashley Auger, E.I.T. & David Senus, P.E.  
DATE: August 17, 2011  
RE: Kingdom Hall of Jehovah's Witnesses – 355 Canco Road

Woodard & Curran has reviewed the Response to Comments to the Final Level II Site Plan Application for the Kingdom Hall of Jehovah's Witnesses project located at 355 Canco Road in Portland, Maine. The project proposes to construct a 16'x44' building addition and a 24'x24' carport. Associated site improvements will include modifications to the existing parking lot. The project will ultimately result in a net increase of 2,103 SF of impervious area to the site.

### Documents Provided (*Documents in italics reviewed by Woodard & Curran*)

- *Exhibit A – Supplemental Information and Attachments, dated July 11, 2011, prepared by Louis F. Bruno on behalf of applicant William Keniston.*
- *Retracement Survey & Existing Conditions Plan, Sheet C-1, dated January 22, 2010 (revised July 25, 2011), prepared by Jeramiah J. Raitt, on behalf of William Keniston.*
- *Engineering Plans, Sheets C-2-C-7, dated June 15, 2011 (REV July 30, 2011), prepared by Louis F. Bruno, on behalf of William Keniston.*
- Landscaping Plans, Sheets L-1, L-1A and L-1B, dated July 7, 2011, prepared by TAF, on behalf of William Keniston.

### Comments

- The final plans should be stamped and signed by a professional engineer licensed in the State of Maine.
- Proposed topography lines should be shown on the Grading, Drainage, & Erosion Control Plan for all areas to be regraded, included all areas of pavement expansion. Proposed topography lines have not been shown for the northeastern parking lot expansion or for the modified perimeter of the existing parking lot.
- The post-development HydroCAD model for rain garden "A" indicates that the secondary outlet is at the same elevation as the surface of the filter. The secondary outlet should be 6" higher than the filter surface, per the design shown on the plans; however, we do not anticipate that this modification to the HydroCAD model would change the outflow results for the storms being analyzed. Therefore, no additional submittal is required.
- Per Chapter 7.2 of Volume III of the MaineDEP Stormwater BMP Manual, the Applicant should verify that there is sufficient clearance (minimum 1') between the bottom of the underdrained soil filter and groundwater and bedrock depths. Based on the stormwater report narrative, it appears that there may not be enough space between the bottom of the underdrain layer in Rain Garden A and bedrock. If there is insufficient depth, the basin must be lined with an impermeable geomembrane (not clay). If more detailed information is not available at this time on the depth to bedrock, a note should be added to the plans to verify the depth to bedrock during construction, and to install an impermeable geomembrane liner if necessary.
- The Applicant has not calculated the Urban Impaired Stream credits correctly. The required mitigation credit calculation accounts for a large landscaped area that does not need to be included. The mitigation credits earned calculation includes more existing impervious area than was accounted for in stormwater treatment calculations. Modifying these two calculations would result in a greater number of credits earned than required. We feel the project will meet the Urban Impaired Stream Standard in accordance with Section 5 of the City of Portland Technical Manual and the Maine DEP Chapter 500 Stormwater Management Rules; therefore no additional submittal is required.

# **Applicant's Submittal**



Att. A

Effective August 18, 2010



## Level II – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department  
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level II: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits. General information pertaining to the thresholds of review, public noticing procedures and the fee structure is contained in the Notice to Developer's Packet.

### Level II: Site Plan Development includes:

- New structures with a total floor area of less than 10,000 sf except in Industrial Zones.
- New structures with a total floor area of less than 20,000 sf in Industrial Zones.
- Any new temporary or permanent parking area, paving of an unpaved surface parking area, or creation of other impervious surface area greater than 7,500 sf.
- Building addition(s) with a total floor area of less than 10,000 sf (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of less than 20,000 sf in Industrial Zones.
- Park improvements: New structures or buildings with a total floor area of less than 10,000 sf, facilities encompassing an area of greater than 7,500 sf and less than 20,000 sf (excludes rehabilitation or replacement of existing facilities).
- New piers, docks, wharves, bridges, retaining walls, and other structures within the Shoreland Zone.
- Land disturbance between 1 and 3 acres (includes stripping, grading, grubbing, filling or excavation).
- A change in the use of a total floor area between 10,000 and 20,000 sf in any existing building (cumulatively within a 3 year period).
- Construction of a lodging house, bed and breakfast facility, emergency shelter or special needs independent living unit.
- Signage subject to approval pursuant to Section 14-526 (d) 8.a. (IV) of the Land Use Code.
- Any new major or minor auto service station with less than 10,000 sf of building area that is outside the B-2 or B-5 zones.
- The creation of day care or home babysitting facilities to serve more than 12 children in a residential zone (not permitted as a home occupation under section 14-410) in any principal structure that has not been used as a residence within the 5 years preceding the application.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

**Planning Division**  
Fourth Floor, City Hall  
389 Congress Street  
(207) 874-8721

**Office Hours**  
Monday thru Friday  
8:00 a.m. – 4:30 p.m.

PROJECT NAME: \_\_

Kingdom Hall of Jehovah's Witnesses

PROPOSED DEVELOPMENT ADDRESS:

355 Canco Road

PROJECT DESCRIPTION:

16'x44' Addition plus a 24'x24' carport

CHART/BLOCK/LOT: 161-B-43

PRELIMINARY PLAN \_\_\_\_\_ (date)

FINAL PLAN 7/11/11 \_\_\_\_\_ (date)

CONTACT INFORMATION:

<p><b>Applicant – must be owner, Lessee or Buyer</b></p> <p>Name: <b>William Keniston</b></p> <p>Business Name, if applicable:</p> <p>Address: <b>11 Sweden Road</b></p> <p>City/State : <b>Bridgton,ME</b> Zip Code:<b>04009</b></p>	<p><b>Applicant Contact Information</b></p> <p>Work #</p> <p>Home# <b>(207) 647 2780</b></p> <p>Cell # <b>(207) 344 4059</b> Fax#</p> <p>e-mail: <b>clanceykeniston@msn.com</b></p>
<p><b>Owner – (if different from Applicant)</b></p> <p>Name:</p> <p>Address:</p> <p>City/State : Zip Code:</p>	<p><b>Owner Contact Information</b></p> <p>Work #</p> <p>Home#</p> <p>Cell # Fax#</p> <p>e-mail:</p>
<p><b>Agent/ Representative</b></p> <p>Name: <b>Mark Lawrence</b></p> <p>Address: <b>421 Alfred Road</b></p> <p>City/State : <b>Kennebunk,ME</b> Zip Code : <b>04043</b></p>	<p><b>Agent/Representative Contact information</b></p> <p>Work # <b>(207) 985-9785</b></p> <p>Cell # <b>(207) 468-9722</b></p> <p>e-mail: <b>markjl@roadrunner.com</b></p>
<p><b>Billing Information</b></p> <p>Name: <b>Applicant</b></p> <p>Address:</p> <p>City/State : Zip Code:</p>	<p><b>Billing Information</b></p> <p>Work #</p> <p>Cell # Fax#</p> <p>e-mail:</p>

## PROJECT DATA

The following information is required where applicable, in order complete the application

<b>Total Site Area</b>	<b>93,654 sq. ft./2.15 Acres.</b>
<b>Proposed Total Disturbed Area of the Site</b>	<b>19,650 sq. ft./0.45Acres</b>
<b>(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)</b>	
<b>IMPERVIOUS SURFACE AREA</b>	
• Proposed Total Paved Area	<b>23,587</b> sq. ft.
• Existing Total Impervious Area	<b>27,880</b> sq. ft.
• Proposed Total Impervious Area	<b>29,983</b> sq. ft.
• Proposed Total Impervious Area	sq. ft.
• Proposed Impervious Net Change	<b>2,103</b> sq. ft.
<b>BUILDING AREA</b>	
• Proposed Building Footprint	<b>6,096</b> sq. ft.
• Proposed Building Footprint Net change	<b>992</b> sq. ft.
• Existing Total Building Floor Area	<b>4,626</b> sq. ft.
• Proposed Total Building Floor Area	<b>5,296</b> sq. ft.
• Proposed Building Floor Area Net Change	<b>666</b> sq. ft.
• New Building	<b>Addition</b> (yes or no)
<b>ZONING</b>	
• Existing	<b>R5</b>
• Proposed, if applicable	<b>N/A</b>
<b>LAND USE</b>	
• Existing	
• Proposed	<b>N/A</b>
<b>RESIDENTIAL, IF APPLICABLE</b>	
• Proposed Number of Affordable Housing Units	<b>N/A</b>
• Proposed Number of Residential Units to be Demolished	<b>N/A</b>
• Existing Number of Residential Units	<b>1</b>
• Proposed Number of Residential Units	<b>0</b>
• Subdivision, Proposed Number of Lots	<b>N/A</b>
<b>PARKING SPACES</b>	
• Existing Number of Parking Spaces	<b>63</b>
• Proposed Number of Parking Spaces	<b>62</b>
• Number of Handicapped Parking Spaces	<b>2</b>
• Proposed Total Parking Spaces	<b>64</b>
<b>BICYCLE PARKING SPACES</b>	
• Existing Number of Bicycle Parking Spaces	<b>0</b>
• Existing Number of Bicycle Parking Spaces	
• Proposed Number of Bicycle Parking Spaces	<b>See landscape plans</b>
• Total Bicycle Parking Spaces	
<b>ESTIMATED COST OF PROJECT</b>	<b>\$150,725.</b>

<b>Engineer</b> Name: <b>Louis F Bruno</b> Address: <b>PO Box 264</b> City/State : <b>Lovell, ME</b> Zip Code: <b>04051</b>	<b>Engineer Contact Information</b> Work # <b>(508) 481 7400</b> Cell # <b>(207) 776 4439</b> Fax# e-mail: <b>louisbruno35@yahoo.com</b>
<b>Surveyor</b> Name: <b>Jay Raitt</b> Address: <b>56 Frost Hill Ave</b> City/State : <b>Lisbon Falls ,ME</b> Zip Code: <b>04252</b>	<b>Surveyor Contact Information</b> Work # <b>(207) 353 3235</b> Cell # <b>(207) 841 0056</b> Fax# e-mail: <b>jraitt@lrls.net</b>
<b>Architect</b> Name: <b>James Haut</b> Address: <b>41 Kathy Street</b> City/State : <b>Palmyra, ME</b> Zip Code: <b>04965</b>	<b>Architect Contact Information</b> Work # <b>(207) 368 5687</b> Cell #      Fax# e-mail: <b>jhaut@midmaine.com</b>
<b>Attorney</b> Name: <b>Ray Roberts</b> Address: <b>41 Mast Road</b> City/State : <b>Saco, ME</b> Zip Code: <b>04072</b>	<b>Attorney Contact Information</b> Work # <b>(207) 282 6422</b> Cell # <b>(207) 590 5651</b> Fax# e-mail: <b>ray-a-roberts@maine.rr.com</b>

**APPLICATION FEES:**

**Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)**

Level II Development (check applicable reviews)	Fees Paid (office use)	Other Reviews (check applicable reviews)	Fees Paid (office use)
<input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots <input type="checkbox"/> x \$25/lot = <input type="checkbox"/> <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
The City invoices separately for the following: <ul style="list-style-type: none"> <li>• Notices (\$.75 each)</li> <li>• Legal Ad (% of total Ad)</li> <li>• Planning Review (\$40.00 hour)</li> <li>• Legal Review (\$75.00 hour)</li> </ul> Third party review is assessed separately.			

<b>Plan Amendments (check applicable reviews)</b> <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	<b>Fees Paid (office use)</b> <input type="checkbox"/> <input type="checkbox"/>	
---	---	--

**APPLICATION SUBMISSION**

**As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.**

**Until December 1, 2010, submissions shall include seven (7) packets with folded plans containing the following materials:**

1. **Seven (7) full size site plans** that must be **folded**.
2. Seven (7) copies of all written materials or as follows, unless otherwise noted:
  - a. Application form that is completed and signed.
  - b. Cover letter stating the nature of the project.
  - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
6. One (1) set of plans reduced to 11 x 17.

**Refer to the application checklist for a detailed list of submittal requirements.**

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.**

<b>Signature of Applicant:</b>  	<b>Date:</b>  
--	----------------------

AH.B

## **Storm Water Quality and Volume**

# Stormwater Management Report

## Portland , Maine Kingdom Hall of Jehovah' Witnesses

### Project Description:

The proposed project is located on the southeasterly side of Canco Road, #355, Chart/Block/Lot, 161-B-43 and extends to the southeast corner of Washington Avenue (28 ). The property is located in Zone R5 (68,904 sq. ft.) and Zone R3 (24,750 sq. ft.). The total site area = 93,654 sq. ft./2.15 acres . The Soil series as identified in the Maine Erosion and Sediment Control BMP (Appendix B2) is "BuB", Buxton silt loam, 3 to 8 percent slopes and falls in the Hydrologic Group C. Ground water and refusal profiles run from a depth at the south corner of the property, approximately 5.5 feet to 8 feet at the north corner. The grades slope northwesterly from 77 to 69 to the road (see attached plan sheet C-1 and Exhibit A )The Site is also located in the Urban impaired Fall Brook Watershed.

**Purpose of Project:** Because of the urgent need for new Kingdom Halls and disaster relief globally, the main head quarters of Jehovah's Witnesses (the Watchtower Bible and Tract Society of New York) has set up committees of spiritually qualified men who are able to assist the organizing and building of places of worship. The project in Portland, Maine is one of approximately 200 renovated or new Kingdom Halls constructed yearly throughout the world. The entire arrangement is successfully accomplished through the willing spirit and cooperation of volunteers. The planned facility for this project involves the addition of a 44'x16', wood frame on concrete frost wall and slab foundation with outside brick façade to match the existing building. The new addition will house two (2) Conference Rooms and a Office; the existing Auditorium (146 seats) and Bathrooms will not be altered. Parking will accommodate 64 cars and increase of one car. The building will be supported by existing City water and sewer. Also proposed, is the addition of a 24'x24' carport and 9' wide, by about 240' long drive thru.

**Methodology:** Water quality and BMP's were designed in accordance with the Maine Chapter 500 Stormwater Management standards and Maine Volume III BMP's Technical design Manual, Chapter 7.0, Filtration BMP's. Stormwater Modeling and Quantity analyses were performed with HydroCad Software Solutions LLC, version 9.1. HydroCad reports are attached as Appendix " B".

### Water Quality

#### A. Basic standards

(1) Proposed project total disturbed area is **0.45 acres**, therefore, does not meet the basic standards. The Site, total lot area is **2.15 acres**. The Basic Standards that apply for this project are specified in Appendices A, B, C and E of this chapter which address Erosion, Inspection, Housekeeping and Basins respectively.

This project qualifies for storm water basic standards, and the following.

(a) Project consists of **29,983** square feet of impervious area, **0.69 acres** and **0.45 disturbed acres** in the Urban impaired Fall Brook watershed.

(2) Grading and other construction activity on site will not impede or otherwise alter drainage ways or result in a unreasonable adverse impact downstream natural resources. Drainage swales and BMP's will mitigate stormwater flows to ensure post construction peak discharges do not exceed the existing 25 yr. storm event and that no erosion occurs.

#### B. General standards.

General standards apply as described below in addition to the basic standards described above.

(1) When general standards must be met. A project disturbing one acre or more and the

following:

(a) Urban impaired stream: **applicable**

(b) Other stream, coastal and freshwater wetland watersheds: **not applicable**

(2) Description of general standards: To meet the general standards, proposed project's stormwater management system includes treatment measures that will mitigate the increased frequency and duration of channel erosive flows due to runoff from smaller storms, provide for effective treatment of pollutants in stormwater, and mitigate potential temperature impacts., by using the following methods to control runoff from no less than 95% of the impervious area and runoff from no less than 80% of the developed area that is impervious or landscaped.

NOTE: Low-impact development (LID) measures where practicable. LID measures have been incorporated by minimizing developed and impervious areas on the project site; by protecting and not disturbing approximately 60% of the existing lot, and maintaining natural drainage patterns and pre-construction time of concentration. Also by incorporating runoff storage and treatment measures uniformly throughout the site rather than single point collection of stormwater through conventional end-of-pipe discharge.

(a) Wetpond: **not applicable**

(b) Filter: A Vegetated underdrained soil filter (VUSF) detention structure has been proposed to control runoff and detain a runoff volume equal to 1.0 inch times the subcatchment's impervious area plus 0.4 inch times the subcatchment's developed area that is landscaped (see calculations in this narrative and in plans). Water quality as well as quantity will be mitigated and treated through the underdrained vegetated soil filter and controlled by two six (6) inch outlet pipes.

(c) Infiltration: The proposed stormwater management system has been designed to accommodate infiltration and retain a runoff volume equal to 1.0 inch times the subcatchment's impervious area plus 0.4 inch times the subcatchment's developed area that is landscaped and infiltrate this volume into the ground ( see calculations in this narrative). Pre-treatment of stormwater will occur prior to discharge to the infiltration area. The infiltration area will minimize discharge of soluble pollutants to groundwater, and will be maintained to assure that its capacity for infiltration and pollutant removal is unimpaired.

(d) Buffers: The proposed stormwater management system includes three(3) meadow buffers with stone berms to control runoff and treatment according to the design and sizing requirements described in Appendix F ( N/A)

(3) Exceptions from the general standards: A project is eligible for an exception from the general standards as follows.

(a) Pretreatment measures: **not applicable**

(b) Discharge to ocean, great pond or major river segment: **not applicable**

(c) A linear portion of a project: **not applicable**

(d) A utility corridor or portion of a utility corridor: **not applicable**

(e) Stormwater Management Law project including redevelopment: **not applicable**

(f) Site Location of Development Law project including redevelopment: **not applicable**

**C. Phosphorus standards: not required**

**D. Urban impaired stream standard: Applicable**



**E. Flooding standard: applicable city of Portland**

**F. Easements and covenants:** Proposed meadow buffers as shown on the plans and designed in accordance with Appendix F shall be protected from alteration through deed restrictions documented in the **Declaration of Restrictions** (N/A)

## Water Quality Design and Calculations

Total Impervious Existing Area = 27,880 sf /0.64 acres  
 Total Impervious Proposed Area = 29,983 sf / 0.69 acres  
 Total Impervious Area Added = 2,103 sf  
 Total Impervious Area Treated = 7,283 sf

WS	IMP (Dev.)	LA (Dev.)	BMP	Storage Vol. (Required)	Bed Area (Required)	Storage Vol. (Provided)	Bed Area (Provided)	Buffer Size (Required)
RG"A"	1,116 93 5% 56	1324 44 2% 26	RG"A"	137 cf	82 sf	300 cf	200 sf	n/a
RG"B"	2,551 212 5% 127	1920 64 2% 38	RG"B"	276 cf	165 sf	375 cf	250 sf	n/a
RG"C"	3616 301 5% 181	486 16 2% 10	RG"C"	317 cf	191 sf	430 cf	288 sf	n/a

### Stormwater Volume

A Hydro Cad stormwater model was developed for 2 year, and 10 year pre and post development.

The following shows the pre and post development.

	<u>2 YEAR</u>	<u>10 YEAR</u>	<u>25 YEAR</u>
Pre Dev.	1.74 cfs	2.97 cfs	3.58 cfs
Post Dev.	1.48 cfs	2.64 cfs	3.22 cfs

# Stormwater Management for Maine

Vol. III: BMP's Technical Design Manual

## 7.1.3 Specific Design Criteria

**Soil Filter Media**, 70-80% Silty Sand, 20-30% by volume shredded bark or wood fiber mulch. The resulting mixture must have no less than 8% passing the 200 sieve and shall have a clay content of less than 2%. The system must be designed to drain the surface storage volume in no less than 24 hours and no more than 48 hours.

14" Crushed Stone (Underdrain), Table 7.1 Maine DOT Specification for Underdrains (MEDOT) #703.22

### **Underdrain – Type B**

<u>Sieve Size</u>	<u>%by weight</u>
3/8"	100
#4	95-100
#8	80-100
#16	50-85
#30	25-60
#60	10-30
#100	2-10
#200	0-5

Geotextile Fabric shall be Mirafi 170n or equivalent

**Vegetation:** Soil Filter Surface shall be seeded and mulched with hay.

#### **Seed Mixture:**

Creeping Red Fescue	20lbs/acre
Tall Fescue	20lbs/acre
Birdsfoot Trefoil	8lbs/acre
<b>Total</b>	<b>48lbs/acre</b>

## 7.1.4 Construction Criteria

### Compaction of Soil Filter:

Filter soil media and underdrain bedding shall be compacted to between 90-92% standard proctor. The bed shall be installed in at least two (2) lifts.

### Construction Sequence

The soil filter media and vegetation shall not be installed until the area that drains to the filter has been permanently stabilized with pavement or 90% vegetation cover, including drainage swales on north and the south side of project site.

### Construction Oversight

Inspection and report of filter basin for each phase of construction shall be documented and submitted

to DEP as follows:

1. All materials specified above shall be approved by the design engineer, after tests by a certified laboratory show they pass DEP specifications.
2. At completion of underdrain pipes prior to backfilling
3. After drainage layer (crushed stone) is constructed
4. After filter media has been installed and seeded
5. After one(1) year condition of vegetation growth and corrections required

#### **Testing and Submittals**

The contractor shall identify the location of the source of each component of the filter media, Results of field and laboratory tests shall be confirmed by the project engineer. Samples and analysis shall conform to this section.

#### **7.1.5 Maintenance Criteria**

##### **Soil Filter Inspection and Replacement**

Inspections shall be made after every major storm in the first year, thereafter, the filter needs to be inspected at least every six (6) months. When water ponds on the surface of the bed for more than 72 hours, the top several inches of the filter shall be replaced.

##### **Snow Removal**

Snow shall be stockpiled only in the approved designated areas shown on the plans. Plowed snow shall not be allowed in the VUSF areas along the easterly rear length of the parking lot. Only a sand mix with reduced salt shall be permitted during winter months. Excess sand must be removed each spring from paved areas and storage areas.

##### **Stabilized Construction Entrance**

The proposed entrance onto Greenwood Road shall be stabilized during construction with materials as shown on the plans. Daily inspections shall be made to ensure all stone materials remain in place, not clogged with silt and mud. This BMP must remain effective in removing silt from construction vehicles prior to travel on the public way.

##### **Erosion Control Berm Mix**

Berm mix shall be in accord with the material specifications on the plan and installed in the location shown on the plan.

##### **Seeding, Fertilizing and Mulching**

All exposed soil materials and stockpiles shall be either temporarily or permanently seeded and mulched in accordance with the plans. No fertilizer shall be permitted. Areas shall be continually maintained until at least a 75% growth is established. (see Stormwater Management for BMP's section 7.1.4 and 7.1.5 pp5&6)

##### **Record Keeping**

Routine maintenance and inspections will be performed by the Norway Congregation of Jehovah's witnesses as per the operation and maintenance schedule, outlined on the plans. All inspections shall be

documented on the attached Inspection and Maintenance Log. Copies of the log shall be kept by the Congregation and made available to the Maine Department of Environmental Protection, upon request.

### **Housekeeping**

Housekeeping of the project site, as required by *Chapter 500 Stormwater Management*, published by the Maine Department of Environmental Protection, must be implemented by the Congregation or responsible Contractor.

### **Re-Certification**

Re-certification is required, in accordance with *Chapter 500 Stormwater Management* published by the Maine Department of Environmental Protection; certification of erosion control areas, the storm water control system and this maintenance plan shall be made within three months of the five year interval, commencing with the issuance date of the Stormwater Management Law Permit.

- (a) Identification and repair of erosion problems: All areas of the project site have been inspected for areas of erosion and appropriate steps have been taken to permanently stabilize these areas.
- (b) Inspection and repair of stormwater control system: All aspects of the stormwater control system repair have been inspected for damage, wear and malfunction and appropriate steps have been taken to repair or replace the system or portions of the system.
- (c) Maintenance: The erosion and stormwater maintenance plan for the site is being implemented as written, or modifications to the plan have been submitted to and approved by the department and the maintenance log is being kept up to date.

### **Inspection and Maintenance**

The Portland Congregation of Jehovah's Witnesses, attention William Keniston of 11 Sweden Road, Bridgton, Maine, 04009, (207) 344-4059, will be responsible for delegating the inspection and maintenance of all stormwater management facilities, the establishment of any contract services required to implement the scheduled maintenance and emergency maintenance described on the Maintenance Log attached in Appendix "E" and in the Declaration Restrictions in Appendix "C".

### **Swales and Paved Areas**

Swales and paved areas shall be inspected during and/or after significant rainfall events such as thunderstorms and periods of heavy or extended rainfall and periods of snow melt. Any damage or unusual condition such as sedimentation or erosion of a swale, or dying vegetation should be recorded, dated and initialed by the observer. When weather conditions permit, identified failures and problems must be corrected as soon as possible. If no damage has been found the inspector should record condition and date of inspection at least twice annually on the maintenance log (Appendix "E").

Paved areas shall be inspected monthly during the winter and swept at least annually after the spring thaw. The inspector should pay particular attention to the buildup of sand along the edges of pavement and remove accumulations that block the free flow of surface runoff to the swales. The date and initials of the inspector should be recorded along with descriptions of any cleanup. The approximate volume of sand that was removed should also be recorded.

BMP - RAIN GARDEN - RG"A", RG"B", RG"C"

ACTIVITY	FREQUENCY	INSPECTOR	DATE OF INSPECTION	DATE OF ACTIVITY
INSPECT AND REMOVE TRASH	MONTHLY			
MOW	2 TO 4 TIMES PER YEAR			
REMOVE DEAD VEGETATION	ANNUALLY			
INSPECT DRAINS	FOUR TIMES PER YEAR			
CLEAN DRAINS	FOUR TIMES PER YEAR			

OPERATION MAINTENANCE SCHEDULE AND LOG

## Compensation Fee

City of Portland Technical Manual

Type of surface with or without required treatment	Area (acre)	Required mitigation credit (per acre)	Total
Non-roof impervious area	0.026	0.5 credits	0.013
Roof	0.02	0.2 credits	0.004
Landscaped area	0.89	0.1 credits	0.089
Total	0.94	0.8 credits	0.106

## Mitigation Credits Earned

Mitigation activity	Source type)	Credit earned (per acre treated)	Total
Retrofit with general standards at required sizing	Low use parking lot	0.3 credit x 0.108	0.097
	Roof or other impervious area	0.3 credit x 0.07	0.042
	Lawn	0.3 credit x 0.09	0.027
Total			0.166

Att.C

## **Domestic Water Demand and Usage Evaluation**

**Portland Congregation of Jehovah's Witnesses  
Domestic Water Demand/Usage Evaluation**

**Peak Demand**

The existing Kingdom Hall with the proposed addition will have the following will include the following plumbing fixtures. The number of fixtures will not increase with the proposed addition.

The fixture unit values below include the existing apartment. The fixture unit values are from Table 6-4 in the Maine Internal Plumbing Code.

- 6 Lavatory @ 1.0 fixture units
- 7 Water Closet (tank type 1.6 gpf) @ 3.5 fixture units
- 1 Urinal @ 3.0 fixture units
- 1 Kitchen sink @ 1.5 fixture units
- 1 Shower/tub @ 4.0 fixture units
- 1 Clothes washer @ 4.0 fixture units
- 1 Utility basin @ 3.0 fixture units
- 1 Drinking fountain @ 0.75 fixture units

The total fixture units is 46.75

From the Maine Internal Plumbing Code, this results in a peak demand of approximately  $1.08 \text{ gal/h} \times 0.25 \text{ (demand factor)} = 0.27 \text{ gal/h}$  or  $0.27 \times 24 \times 30 = \underline{194 \text{ gal/month}}$

The Kingdom Hall total water usage for 2010, as per city of Portland records, ( see attached ) was 216 cubic feet, or  $216 / .134 \text{ cf/gal} = 1612 \text{ gallons}$ , approximately 135 gallons / month which is less than the anticipated demand according to code.

The proposed addition will not increase the number of fixture units; also it should be noted that the 2010 water usage includes the recent years of growth.



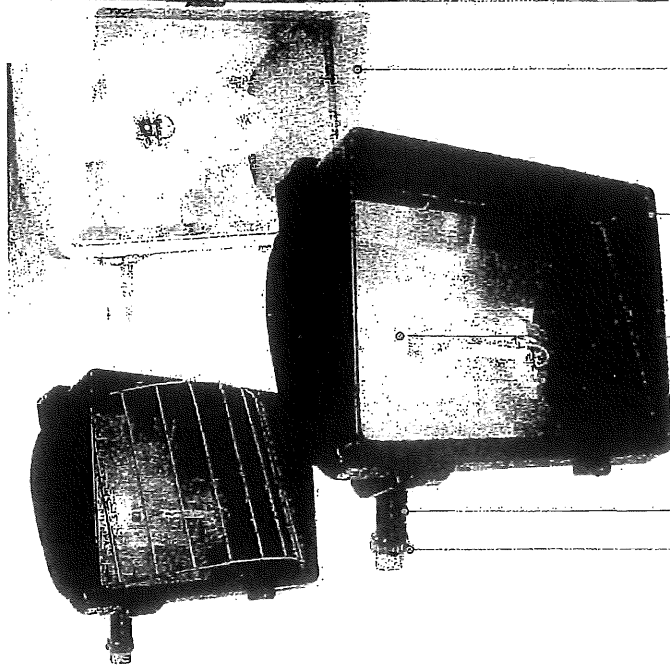
<b>Date</b>	<b>Water cu/ft</b>	<b>Waste cu/ft</b>	<b>Days</b>
<b>Jan 1, 2011</b>	18	14	29
<b>Dec 1, 2010</b>	17	17	30
<b>Nov 1, 2010</b>	18	18	33
<b>Oct 1, 2010</b>	19	19	30
<b>Sept 1, 2010</b>	19	19	31
<b>Aug 1, 2010</b>	18	18	30
<b>July 1, 2010</b>	17	17	33
<b>June 1, 2010</b>	13	13	25
<b>May 1, 2010</b>	15	15	33
<b>April 1, 2010</b>	16	16	29
<b>March 1, 2010</b>	18	18	33
<b>Feb 1, 2010</b>	13	13	29
<b>Jan 1, 2010</b>	15	15	35

AH-D

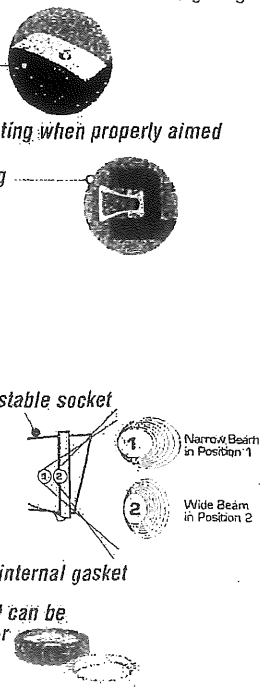
## Outside Lighting Catalog Cuts

# HID FLOODS FUTURE FLOOD

Preferred by contractors for reliability, quality features and ease of installation.



- New!** Luminaire IS
- Easy Clip for tool-less relamping with vandalproof screw capability
- Integra Hood Glare Shield for Friendly Lighting when properly aimed
- Silicone gasket for durable weatherproofing & easy relamping
- Precision die cast aluminum housing with durable powder coat finish
- New!** Variable beam spread with 2 position adjustable socket
- Long life lamp included
- Fixture protected by U.S. Patent #420458
- New!** Mounting arm with sturdy locking teeth & internal gasket
- EZ Grip Locknut matches fixture finish and can be adjusted with fingers, pliers or screwdriver
- Patented design # 420428



## Product Information

**High Pressure Sodium**  
Lamp supplied with fixture

Watts	Lamp Type	Lamp Base	Ballast
35	ED17	Med	R-NPF-120V
50	ED17	Med	R-NPF-120V
70	ED17	Med	R-NPF-120V
100	ED17	Med	R-NPF-120V
150	ED17	Med	R-NPF-120V
50	ED17	Med	HX-NPF-120V
70	ED17	Med	HX-NPF-120V
100	ED17	Med	HX-NPF-277V

Starting Amps / Operating Amps	Input Watts	Lamp ANSI	Initial Lumens	Life Hours
1.4 / 0.9	46	S76	2,250	24,000
1.8 / 1.2	62	S68	4,900	24,000
2.1 / 1.6	86	S62	6,400	24,000
3.1 / 2.1	115	S54	9,500	24,000
4.5 / 3.2	170	S55	16,000	24,000
2.7 / 1.6	72	M110	3,400	10,000
2.7 / 2.3	94	M98	5,600	15,000
Available in 277 volt only	129	M90	9,000	15,000

**Metal Halide**  
Lamp supplied with fixture

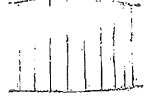
**Factory Installed Options**  
Add suffix to catalog number

Photocontrol for automatic Dusk-to-Dawn.

**Accessories for Field Installation:**

Replacement Lens:  
Chrome Plated Wire Guard:

LFF  
GDF



## Specifications

**UL Listing:**  
Suitable for wet locations

**Housing:**  
Precision die cast aluminum, 1/2" NPS threaded arm with locking swivel fits all standard mounting boxes.

**Reflector:**  
Specular-Alzak

**Lenses:**  
Normal tempered shock resistant glass

**Lens Gasket:**  
High temperature tubular silicone set in die cast retaining groove to remain in place during relamping.

**Socket:**  
Glazed porcelain 4kv pulse rated with nickel plated screw shell and spring contacts.

**Finish:**  
Chip and fade resistant metallic architectural bronze or bright white epoxy powder coating.

Product info by Fax: 24 / 7  
Call RAB Fax Back at: 888 722-1236.  
Enter document numbers shown below:

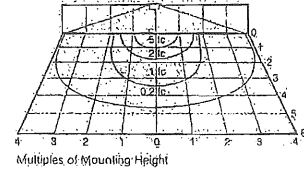
	Catalog Page	Installation Manual
Future Flood	220	222

For more info on RAB FaxBack see p.98.

**Product info on the internet:**  
[www.rabweb.com](http://www.rabweb.com), click "support"

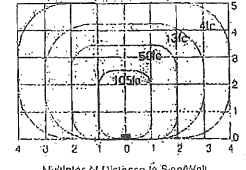
## Photometrics

150W HPS @ 10' Mounting Height  
Aimed 30° below horizontal



Mounting Height	Multiplier	Watts HPS	MH
8'	1.6	175	.9
10'	1.0	150	1
12'	.7	100	.6
16'	.4	70	.4
20'	.25	50	.3

Sign & Wall Lighting 150w HPS @ 6' from wall - 30° above horizontal

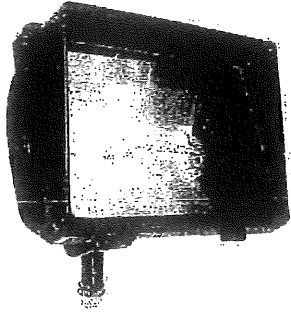


Mounting Distance	Multiplier	Watts HPS	MH
6'	1	175	.9
9'	.5	150	1
12'	.3	100	.6
		70	.4
		50	.3

### FF HPS

Compact, tough and good looking cast aluminum housing with hinged framed glass lens. Integra Hood glare shield and stainless steel clip. Lamp supplied.

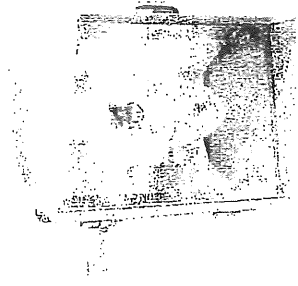
Finish:  Architectural Bronze  
 Bright White



### FF Metal Halide

White light in a compact package. The popular FF with a 50 or 70 watt Metal Halide, 120 volt reactor ballast or a 100 watt, 277 volt NPF ballast. Lamp supplied.

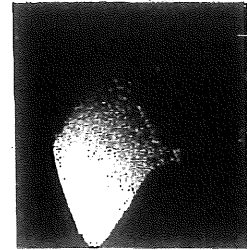
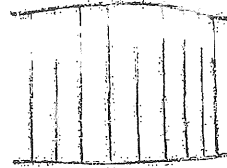
Finish:  Architectural Bronze  
 Bright White



### FF Guard

Heavy duty chrome plated steel wire guard prevents damage and vandalism. Easily field installable. Also fits QF500F Quartz flood.

Finish:  Chrome plated steel



Vincenzo Guercio, Designer.

### Catalog Numbers

Bronze	White
FF35	FF35W
FF50	FF50W
FF70	FF70W
FF100	FF100W
FF150	FF150W

Bronze	White
FFH50	FFH50W
FFH70	FFH70W
*FFH100/277	*FFH100W/277

\*100 watt Metal Halide is 277 volt only.

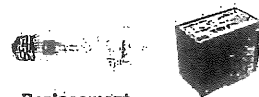
IPC IPC

IPC IPC

Order fixture.  
 + order GDEF guard

Order fixture.  
 + order GDEF guard

GDEF

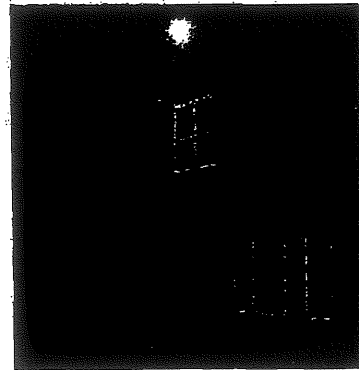
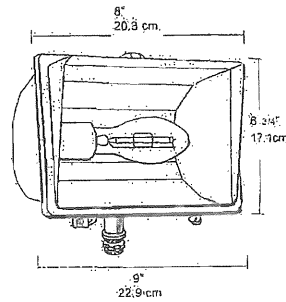
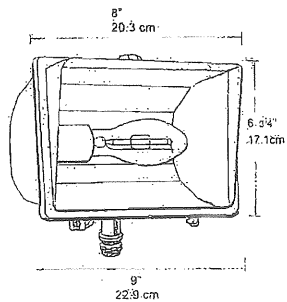


Replacement Lamps	Ballasts
LHPS35	BHPSN35
LHPS50	BHPSN50
LHPS70	BHPSN70
LHPS100	BHPSN100
LHPS150	BHPSN150

LMH50	BMHN50
LMH70	BMHN70
LMH100	*BMHN100

\*100 watt Metal Halide is 277 volt only.

### Dimensions

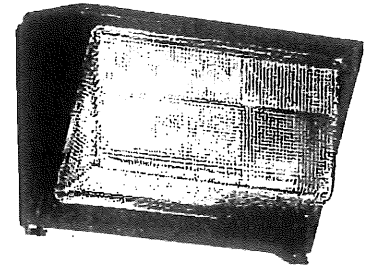


The popular choice for reliable security.

Luminaire C

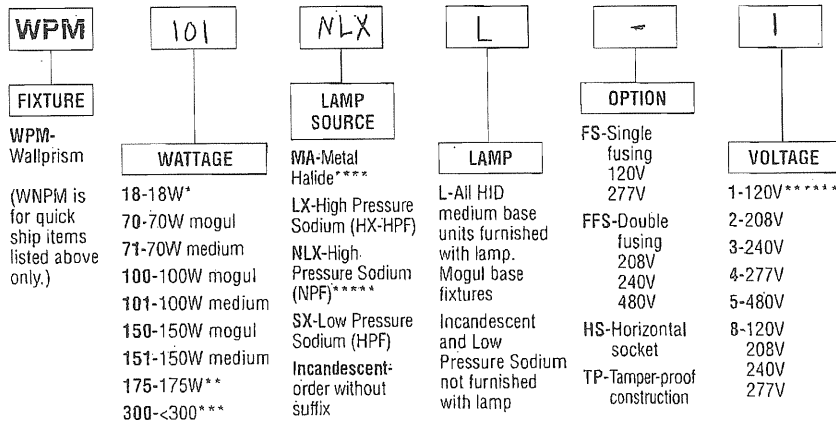
# WPM Series Wallprism

**QUICK SHIP NUMBERS**  
WNPM101MAL-6  
WNPM151NLXL-1  
WNPM175MA-8



## ORDERING INFORMATION

Catalog Number: Example: WPM101MALFS-1



\*18W Available in Low Pressure Sodium only. \*\*175W Available in Metal Halide mogul only. For medium base lamp order 176. \*\*\*<300 Available in Incandescent only. \*\*\*\*70W and 100W are HX-HPF, 150W and 175W are CWA. \*\*\*\*\* High Power factor available with 120V only, 101 and 151 High Pressure Sodium. \*\*\*\*\*101-100W HPS and 151-150W HPS available in 120V only.

## PRODUCT SPECIFICATIONS

- Stonco's patented Wallprism is ideal for security, accent, and perimeter lighting. Applications include entrance ways, garages, tunnels, overpasses, and alleys.
- Patented catadioptric refractor redirects light to minimize glare, aligns optical center of lens and lamp for symmetrical light distribution.
- Heat and shock resistant borosilicate glass refractor, bonded to lens frame.
- Stainless steel aircraft cable safety retains lens frame to back plate freeing both hands for servicing.
- Integral cast-in aluminum hinges permit complete removal of lens frame assembly without tools.
- Precision die-cast aluminum, Duraplex II bronze finish, back plate with cast-in knockouts for alignment with all standard recessed boxes.
- One-tapped holes (1/2" NPS) on each side and top for conduit or photocontrol, complete with closure plugs.
- Deluxe glazed porcelain socket pulse rated for 4KV.

## ACCESSORIES

**P110A**-Pencil photocontrol for 120V.

**P150M**-Light leveler photocontrol for 208V-277V.

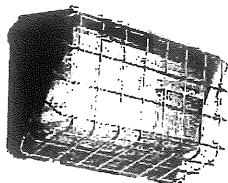
**330S**-Stainless steel wire guard.

**335S**-Clear polycarbonate shield for added protection.

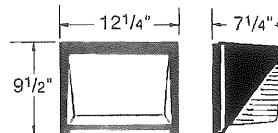
**32352**-Replacement glass, gasket, hardware, door lens kit.

## TECHNICAL INFORMATION

WPM fixtures require a clear, medium or mogul base horizontal burning lamp. Metal Halide units use ED17, except 175W mogul base is BT28. High Pressure Sodium medium base use B17 (100W HPS uses E17). Mogul base High Pressure Sodium use E23-1/2. Low Pressure Sodium use pre-focus T17, not supplied. Incandescent fixtures use medium A/PS, not supplied. Fixture is not suitable for use in carwashes or other areas that may entrap heat. Fixtures to be wall mounted only.

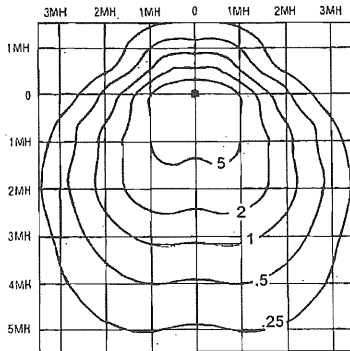


WPM with 330S Guard and 335S Shield

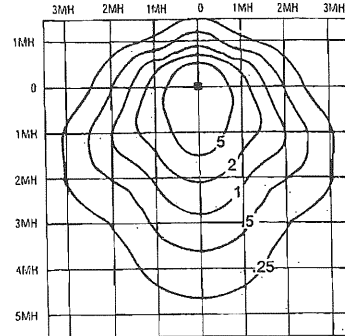


UL Wet Location Listed.  
UL File Number: E86021

**PHOTOMETRICS**



WNPM151NLXL  
 LUMINAIRE: Cast Metal housing,  
 specular reflector, clear prismatic  
 glass lens, lamp in highest position.  
 LAMP: 150W Clear HPS  
 LUMENS: 16,000  
 MOUNTING HGT: 10'



WNPM175MA  
 LUMINAIRE: Cast Metal housing,  
 specular reflector, clear prismatic  
 glass lens, lamp in middle position.  
 LAMP: 150W Coated MA  
 LUMENS: 12,000  
 MOUNTING HGT: 10'

**FOOTCANDLE CORRECTION**

*Different Lamps/Watts*

Multiply the following factors times the footcandle values for changes in mounting height.

70W HPS	.36
100W HPS	.59
150W HPS	1.0

*Different Mounting Height*

Multiply the following factors times the footcandle values for changes in mounting height.

To Change from 10'							
New Height	8'	10'	12'	14'	16'	18'	20'
Factor	1.56	1.00	.83	.51	.39	.30	.25

**SUGGESTED SPECIFICATIONS**

Fixture shall be all die-cast weatherproof aluminum with specular anodized aluminum reflector and one-piece borosilicate refractor with outside and inside prismatic surfaces.

Fixture profile shall be a sharply defined

12" x 9" rectangle with no external ballast housing or other design element to disturb precise architectural appearance. All external aluminum surfaces shall be finished with architectural dark bronze Duraplex II™ polyester powder.

Fixture shall be able to accept wire guard and/or Lexan® shield for field installation and fixture shall have a variable position socket for field-adjustable beam angle.

Fixture shall be UL-listed and shall be Stonco Cat. No. (specify).



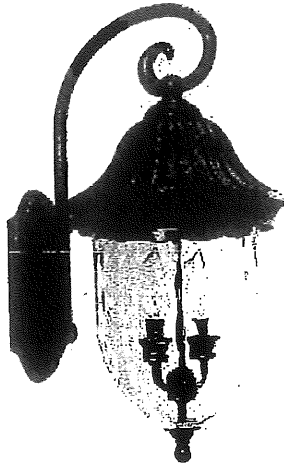
A GEHTE Company

2345 Vauxhall Rd. • Union, NJ 07083 • 908-964-7000



You can do it. We can help.™

Luminaire D



Zoom View

Average Customer Rating



> Read Reviews  
> Write a review

### Progress Lighting Coventry Collection Textured Black 2-light Wall Lantern

Model P5829-31  
**\$107.64/EA Each**

Quantity:

- Check Your Local Store
- Add to My List
- Add to My Registry

#### Description

Classically styled, the Coventry Collection features a fluted dome housing with clear, hammered glass diffuser suspended from a traditional scroll arm.

- Textured Black finish
- Hammered glass
- 9-3/4 In. Width x 20-1/2 In. Height
- Uses (2) 60-watt candelabra bulbs
- MFG Brand Name : Progress Lighting
- MFG Model # : P5829-31
- MFG Part # : P5829-31
- Outdoor Lighting Application : Other

#### Specifications

- ADA Compliant : False
- Assembled Depth (in Inches) : 12.5 In.
- Assembled Height (in Inches) : 20.5 In.
- Assembled Weight (in LBS) : 9.37
- Assembled Width (in Inches) : 9.75 In.
- CircleEFriendly : False
- Energy Star Compliant : False
- EnergyPlus : False
- Hardwired or Plug-In : Hardwired
- Maximum Bulb Wattage : 60 Watt

- Number of Lights/Bulbs : 2
- Shade/Glass Type : Clear optic
- Width : 9.75 In.

**Product Reviews**

Review This Product

---

**Overall Rating:** ★★★★★ 4 out of 5

Beautiful, November 30, 2007  
 By Brenda2007 from Henly, Texas (read all my reviews)

---

"The lamps are absolutely beautiful. Although the glass appears fragile, it survived shipping intact. We have not yet hung them--building a new house and it's not quite time for light installation--but look forward to seeing the light interact w/the hammered glass. I will add to this review after it's been up for a while."

---

Was this review helpful to you? Yes No (Report Inappropriate Review)

**Warranty**

**Warranty**

For warranty information on this product, please call our Internet Customer Service Center at 1-800-435-4654.

**Purchase Information**

Internet/Catalog # 100088834

Store SKU# 150853

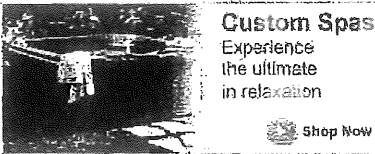
Most orders ship out in 2-3 business days. Allow an additional 3-7 days for Standard Ground Delivery.

Learn More

**BlindsHomeDepot.com**  
 Design your custom blinds & shades online for quick and easy delivery



**Custom Spas**  
 Experience the ultimate in relaxation



Shop Now

**Outdoor Power**  
 Power up for spring projects



Shop Now

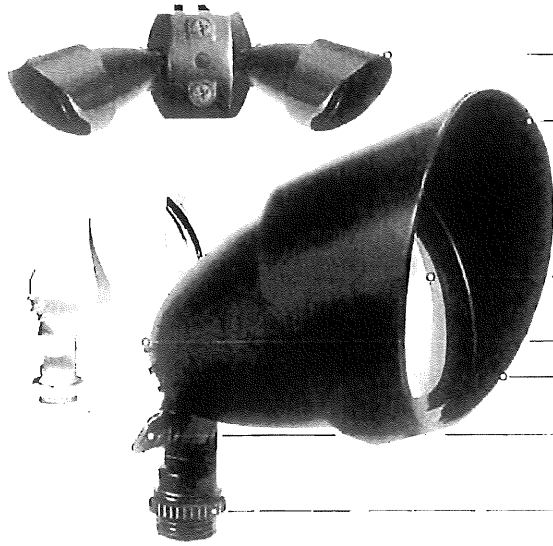
† Local store prices may vary from those displayed. Products shown as available are normally stocked but inventory levels cannot be guaranteed.

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# QUARTZ FLOODS

Luminaire E



Twin 75w Flood Kit pre-assembled on versatile CU4 EZ-Plate for easy installation

Integra Hood Glare Shield minimizes side glare and hood can be rotated to direct the light where you need it

Highest quality 120 volt quartz lamp included

Lamp packed with protective cushion for easy installation

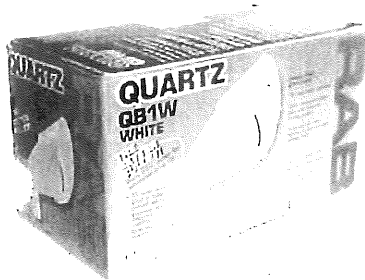
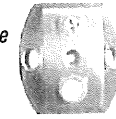
Thick, tempered glass lens with silicone O-ring gasket

External and internal heat dissipating fins

Precision die cast aluminum housing with durable powder coat paint

Arm with locking teeth tightens securely with just finger pressure

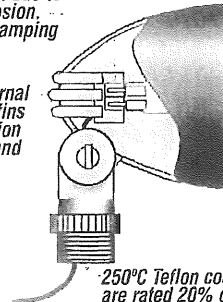
EZ Grip locknut matches fixture finish and can be adjusted with fingers, pliers or a screwdriver



Full color packaging with product features and specifications.

prevent lamp and socket fusion due to electrolytic corrosion. Problem free relamping every time!

Internal and external heat dissipating fins for cooler operation to extend lamp and fixture life



250°C Teflon coated wires are rated 20% over the operating temperature for longer life and greater reliability

**Quartz Halogen**  
Lamp supplied with fixture

Lamp Watts	Lamp Type	Lamp Base	Initial Lumens	Lamp Hours
75	T-4	bi-pin (G8)	1,500	1,500



**UL Listing:**

Suitable for wet locations. Suitable for mounting within 4' of the ground.

**Housing:**

Precision die cast aluminum. 1/2" NPS threaded arm with locking swivel and EZ Grip lock nut fits all standard mounting covers.

**Lens Gasket:**

High temperature silicone gasket stays in place during relamping.

**Reflector:**

Semi-specular anodized aluminum

**Notes:**

Plain bi-pin G8 base with gold plated contacts and 250°C socket wires.

**Lens:**  
Thick tempered glass

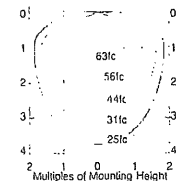
**Finish:**  
Chip and fade resistant durable powder coat finish.

**Replacement Lamps:**

Fixture	Lamp Cat #
QB1/2	LQ75-G8

Spec Sheets, Installation Manuals, Wiring Diagrams & Photometrics  
[www.rabweb.com](http://www.rabweb.com) > click "PRODUCTS"

75w Fixture @ 4' Mounting Height Aimed 60° Below Horizontal

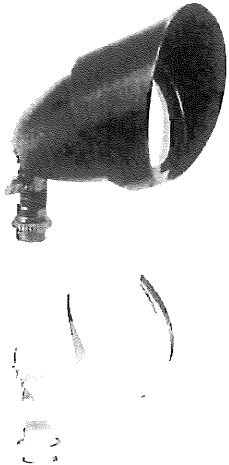


Mounting Height	Multipier
4'	1.0
6'	.44
8'	.25
10'	.16
12'	.11

**QB1**

75 watt Quartz Bullet Flood with silicone O-ring gasket, thick tempered glass lens, internal and external cooling fins. Gold plated socket contacts and 250°C Teflon coated wires for extended lamp life. Lamp included.

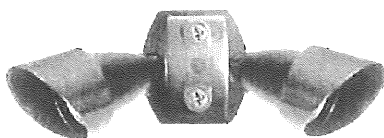
- Finish:
- Bronze
  - Black
  - White
  - Verde Green



**QB2 Twin Flood Kit**

Twin 75 watt Quartz Bullet floods come pre-assembled and pre-wired on CU4 Universal Mounting plate. Lamps included.

- Finish:
- Bronze
  - Black
  - White
  - Verde Green

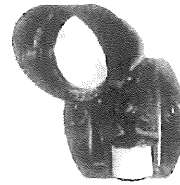


**Completely Assembled**  
And Pre-Wired  
For Quick Installation



Tuff Dome Sensor with QB Floods

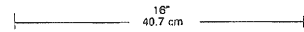
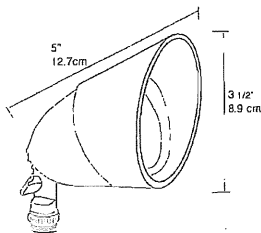
Add motion control with Tuff Dome or Mini Sensors. Lamps Included. See pages 34-37.



SNL1

<b>Bronze</b>	<b>White</b>	<b>Black</b>	<b>Verde Green</b>
QB1A	QB1W	QB1B	QB1VG

<b>Bronze</b>	<b>White</b>	<b>Black</b>	<b>Verde Green</b>
QB2A	QB2W	QB2B	QB2VG



# TM

## Tempe Bollards

NEW



TEMPE ROUND



TEMPE SQUARE



### ORDERING INFORMATION

SERIES	SOURCE/WATTAGE	OPTICS	VOLTAGE	COLOR	OPTIONS
<b>TMR</b> Tempe Round	<b>PULSE START METAL HALIDE</b>	<b>DO</b> Dual Reflector with Cone (standard)	<b>Q<sup>1</sup></b> Quad-Tap <sup>1</sup> 120/208/240/277V	<b>DB</b> Dark Bronze	<b>F1</b> Fusing 120V
<b>TMS</b> Tempe Square	<b>P50</b> 50w (ED-17)	<b>TO<sup>3</sup></b> Tube Optics	<b>T<sup>1,4</sup></b> Tri-Tap <sup>4</sup> 120/277/347V CSA	<b>BL</b> Black	<b>F2</b> Fusing 208V
	<b>P70</b> 70w (ED-17)	<b>IL</b> Internal Horizontal Louvers	<b>U<sup>5</sup></b> Universal 120 - 277V, 50/60 Hz	<b>WH</b> White	<b>F3</b> Fusing 240V
	<b>P10</b> 100w (ED-17)		<b>1</b> 120V	<b>GR</b> Gray	<b>F4</b> Fusing 277V
	<b>HIGH PRESSURE SODIUM</b>		<b>5<sup>6</sup></b> 480V	<b>PS</b> Platinum Silver	<b>F5<sup>6</sup></b> Fusing 480V
	<b>S35<sup>2</sup></b> 35w (ED-17)			<b>RD</b> Red (premium color)	<b>F6<sup>6</sup></b> Fusing 347V
	<b>S50</b> 50w (ED-17)			<b>FG</b> Forest Green (premium color)	<b>P1</b> Photo Button - 120V
	<b>S70</b> 70w (ED-17)			<b>CC</b> Custom Color (consult factory)	<b>P2</b> Photo Button - 208V
	<b>S10</b> 100w (ED-17)				<b>P3</b> Photo Button - 240V
	<b>FLUORESCENT</b>				<b>P4</b> Photo Button - 277V
	<b>F26</b> 26w CFL (G24q Base)				<b>P6</b> Photo Button - 347V
	<b>F32</b> 32w CFL (G24q Base)				<b>24</b> 24" Luminaire Height
	<b>F42</b> 42w CFL (G24q Base)				<b>30</b> 30" Luminaire Height
					<b>36</b> 36" Luminaire Height
					<b>HS90</b> Internal Shield - 90° (TMS Only)
					<b>HS160</b> Internal Shield - 160°
					<b>HS180</b> Internal Shield - 180° (TMR Only)
					<b>L</b> Lamp



Tempe

DO - Dual Reflector with cone (standard)



Tempe

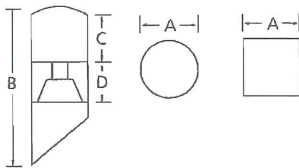
TO - Tube Optics



Tempe

IL - Internal Louver

- 1 Factory wired for highest voltage unless specified.
- 2 120V only.
- 3 Upper reflector with no lower cone.
- 4 70 or 100w system only.
- 5 CFL only.
- 6 Not available with with CFL.



	A	B	C	D	Weight
TMR	7" dia. 178 mm	41 1/2" 1054 mm	5 1/2" 140 mm	4" 102 mm	41 lbs. 18.6 kg
TMS	6 3/4" dia. 171 mm	41 1/2" 1054 mm	5 1/2" 140 mm	4" 102 mm	41 lbs. 18.6 kg

SPAULDING LIGHTING

# TEMPE SERIES

Cat. #		Approvals
Job	Type	

**SPAULDING  
LIGHTING**

**Intended use:**

- Tempe series bollards are designed to illuminate walkways and courtyards

**Construction:**

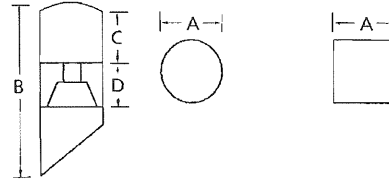
- Extruded aluminum square or round housing, with tamper resistant hardware. Decorative Southwest series cast top with single access screw for maintenance
- Durable Lektrocote® TGIC thermoset polyester powder coat paint finish assures long life and maintenance-free service

**Electrical:**

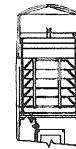
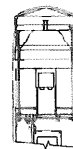
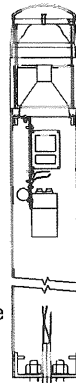
- HPF ballast, starting rated at -20°F (-40°F for HPS); Pulse Start Metal Halide is HPF or LAG type. HPS is CWA, HR, or Reactor type

**Listings:**

- Listed to UL1598 for use in wet locations



	A	B	C	D	Weight
<b>TMR</b>	7" dia.	41.5"	5.5"	4.0"	41 lbs
	178 mm	1054 mm	140 mm	102 mm	18.6 kg
<b>TMS</b>	6.75" dia.	41.5"	5.5"	4.0"	41 lbs
	171 mm	1054 mm	140 mm	102 mm	18.6 kg



DO - Dual Reflector with cone (standard)

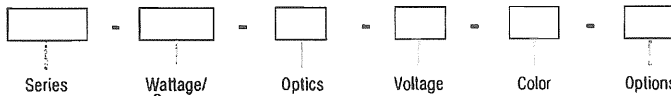
TO - Tube Optics

IL - Internal Louver



## ORDERING INFORMATION

ORDERING EXAMPLE: TMR-P50-D0-Q-DB-L



**SERIES**

<b>TMR</b>	Tempe Round
<b>TMS</b>	Tempe Square

**WATTAGE/SOURCE**

**PULSE START METAL HALIDE**

<b>P50</b>	50w (ED-17)
<b>P70</b>	70w (ED-17)
<b>P10</b>	100w (ED-17)

**HIGH PRESSURE SODIUM**

<b>S35*</b>	35w (ED-17)
<b>S50</b>	50w (ED-17)
<b>S70</b>	70w (ED-17)
<b>S10</b>	100w (ED-17)

**FLUORESCENT**

<b>F26</b>	26w CFL (GX24q Base)
<b>F32</b>	32w CFL (GX24q Base)

**OPTICS**

<b>D0</b>	Dual Reflector with Cone (standard)
<b>T0*</b>	Tube Optics
<b>IL</b>	Internal Horizontal Louvers

**VOLTAGE**

<b>Q*</b>	Quad-Tap® - 120/208/240/277V
<b>T**</b>	120/277/347V CSA
<b>U*</b>	Universal 120-277 (50/60Hz)
<b>1</b>	120V
<b>5</b>	480V

**COLOR**

<b>DB</b>	Dark Bronze
<b>BL</b>	Black
<b>WH</b>	White
<b>GR</b>	Gray
<b>PS</b>	Platinum Silver
<b>RD</b>	Red (premium color)
<b>FG</b>	Forest Green (premium color)
<b>CC</b>	Custom Color (consult factory)

**OPTIONS**

<b>F1</b>	Fusing - 120V
<b>F2</b>	Fusing - 208V
<b>F3</b>	Fusing - 240V
<b>F4</b>	Fusing - 277V
<b>F5*</b>	Fusing - 480V
<b>F6*</b>	Fusing - 347V
<b>P1</b>	Photo Button - 120V
<b>P2</b>	Photo Button - 208V
<b>P3</b>	Photo Button - 240V
<b>P4</b>	Photo Button - 277V
<b>P6</b>	Photo Button - 347V
<b>24</b>	24" Luminaire Height
<b>30</b>	30" Luminaire Height
<b>36</b>	36" Luminaire Height
<b>HS160</b>	Internal Shield - 160°
<b>HS180</b>	Internal Shield - 180°

**TECHNICAL DATA**

**TEMPERATURE ELECTRICAL DATA**

Lamp/Watts	Input Current (amps)			
	120V	208V	240V	277V
P50	1.20	0.68	0.59	0.51
P70	1.90	1.00	0.90	0.80
P10	2.30	1.40	1.20	1.00
S35	1.40	NA	NA	NA
S50	1.00	0.57	0.50	0.45
S70	1.40	0.90	0.80	0.70
S10	2.20	1.30	1.10	0.90
F42	.38	.22	.13	.11

**PHOTOMETRIC DATA**

