

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT  
BUILDING INSPECTION SECTION

## PERMIT

Permit Number: 081116

Please Read Application And Notes, If Any, Attached

This is to certify that RRE TAMARLANE HOLDINGS LLC (Sheds U.S.A.)  
has permission to Install a 12'x16' Storage Shed behind the Rental Office,  
AT 988 WASHINGTON AVE PORTLAND, OR 97201 PL 161 B025001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Fire Dept.

Health Dept.

Appeal Board

Other

**OTHER REQUIRED APPROVALS**

APPROVED

OCT 22 2008

Department Name

**CITY OF PORTLAND**

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1116	Issue Date: 9/18/08	CBL: 161 B025001
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Location of Construction: 988 WASHINGTON AVE	Owner Name: RRE TAMARLANE HOLDINGS L	Owner Address: ONE CRESCENT DR STE 203	Phone: 207-287-02968
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Business Name:	Contractor Name: Sheds, U.S.A.	Contractor Address: P.O.Box 6622 Portsmouth	Phone: 6038681300
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Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: RS (R-3)
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Past Use: 2+ Unit Residential Multi-unit - Tamarlane Apartments	Proposed Use: 2+ Unit Residential - Install a 12'x16' Storage Shed Behind the Rental Office.	Permit Fee: \$70.00	Cost of Work: \$4,880.00	CEO District: 4
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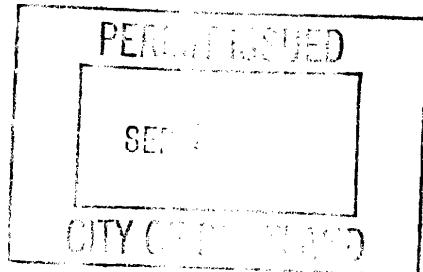
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: 5B IRC-2003
Signature:	Signature: 9/18/08 [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Proposed Project Description:  
Install a 12'x16' Storage Shed Behind the Rental Office.

Permit Taken By: lmd	Date Applied For: 09/05/2008	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/condition Date: 9/19/08 ABM	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied ABM Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

9-11-09

OK - Fund on shed 12/16'

by ch

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1116	Date Applied For: 09/05/2008	CBL: 161 B025001
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<b>Location of Construction:</b> 988 WASHINGTON AVE	<b>Owner Name:</b> RRE TAMARLANE HOLDINGS L	<b>Owner Address:</b> ONE CRESCENT DR STE 203	<b>Phone:</b> 207-287-02968
<b>Business Name:</b>	<b>Contractor Name:</b> Sheds, U.S.A.	<b>Contractor Address:</b> P.O.Box 6622 Portsmouth	<b>Phone:</b> (603) 868-1300
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	

<b>Proposed Use:</b> Multi-unit - Tamarlane Apartments - Install a 12'x16' Storage Shed Behind the Rental Office.	<b>Proposed Project Description:</b> Install a 12'x16' Storage Shed Behind the Rental Office.
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 09/09/2008
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Chris Hanson	<b>Approval Date:</b> 09/18/2008
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
<b>Dept:</b> Fire	<b>Status:</b> Pending	<b>Reviewer:</b> Capt Greg Cass	<b>Approval Date:</b>
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>

<b>Comments:</b> 9/9/2008-amachado: Gave site plan exemption to planning.
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Plot Plan



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 A Tamar Lane</u>		
Total Square Footage of Proposed Structure/Area <u>192 Sq Ft</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>161      3      025</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Donna Decker</u> Address <u>46 A Tamar Lane</u> City, State & Zip <u>Portland, ME, 04103</u>	Telephone: <u>(207) 287-0298</u> <u>Robby</u> <u>call <del>Donna</del></u> <u>for pickup</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Resource Residential</u> Address City, State & Zip	Cost Of Work: \$ <u>4880.43</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>mult. family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>yes</u> If yes, please name <u>Tamar Lane Apartments</u> Project description: <u>install a 12x16 storage shed - behind the rental office.</u>		
Contractor's name: <u>Sheds USA</u> Address: <u>755 Banfield Rd</u> City, State & Zip <u>Portsmouth NH 03801</u> Telephone: <u>800-441-8189</u> Who should we contact when the permit is ready: <u>Donna Decker</u> Telephone: <u>207-883-2969</u> Mailing address: <u>105 Foxcroft Dr. Scarborough ME 04074</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8/26/08

This is not a permit; you may not commence ANY work until the permit is issue

Plot Plan

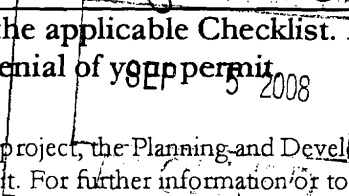


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Signature: [Signature] Date: 8/26/08

This is not a permit; you may not commence ANY work until the permit is issued.

2008 0135



# Application for Exemption from Site Plan Review Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

## 1. Applicant Information

Donna Decker  
Applicant/Owner

105 Foxcroft Drive  
Mailing Address

Scarborough ME 04074  
Consultant/Agent

883-2959 / \_\_\_\_\_ / \_\_\_\_\_  
Phone Fax Cell

## 2. Project Information

9/9/08  
Application Date

Tamarlane Apartments - Storage shed  
Project Name/Description

988 Washington Ave  
Address of Proposed Site

161-B-25  
Assessor's Reference (Chart-Block-Lot)

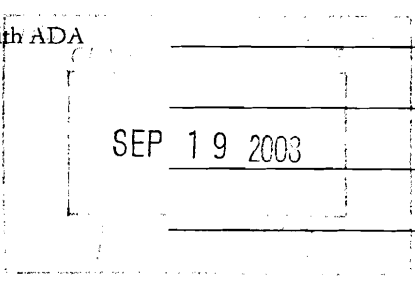
### Description of Proposed Development:

install 12'x16' prefabricated behind the rental office - near pool & tennis courts

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	_____	<u>new shed</u>
b) Footprint Increase Less Than 500 sq. ft.	_____	<input checked="" type="checkbox"/>
c) No New Curb Cuts, Driveways, Parking Areas	_____	<input checked="" type="checkbox"/>
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	_____	<input checked="" type="checkbox"/>
e) No Additional Parking/No Traffic Increase	_____	<input checked="" type="checkbox"/>
f) No Known Storm water Problems	_____	<input checked="" type="checkbox"/>
g) Sufficient Property Screening Exists	_____	<input checked="" type="checkbox"/>
h) Adequate Utilities	_____	<input checked="" type="checkbox"/>



### Planning Division Use Only

Exemption Granted  Partial Exemption \_\_\_\_\_ Exemption Denied \_\_\_\_\_

Planner's Signature: Barbara Berhydt

Date Sept. 17, 2008

**Sheds USA Inc. Home Depot Stick-Built Monarch specs**

**This Stick-Built Monarch floor is exactly the size stated on the brochures  
Foundations are strongly recommended & are req'd to retain structural warranty**

Sizes:	
12x16	16x16
12x20	16x20
12x24	16x24
	16x28
	16x32

Note: For orientation on diagram, a garage door would always be located at "K", (gable end wall)

Important: All sheds are sold unfinished. Panel seams & trim around windows & doors should be caulked before priming & painting. SmartPanel is only pre-primed at factory, it still requires painting with Acrylic Latex Only, NO oil-based paints.

**Roof Construction**

2x6 rafters, 16" on center, w/2x8 ridge beam  
Roof pitch is 4/12

4" roof overhang on eaves

7/16" OSB sheathing

Tar paper is standard

3ft, 3-tab, self-sealing fiberglass shingles

12" square aluminum vents standard, optional ridge & soffit vents

Dripedge on both eaves plus all rake trim

**Roof Height**

(From bottom of 4x6s to peak)  
(subtract 9" if sill plate on slab)

12ft wide peak 11'-5 1/2"

16ft wide peak 12'-1 1/2"

Hurricane Clips now standard

**Walls**

2x4 construction, 16" on center, 96" tall  
optional 2x6 wall construction

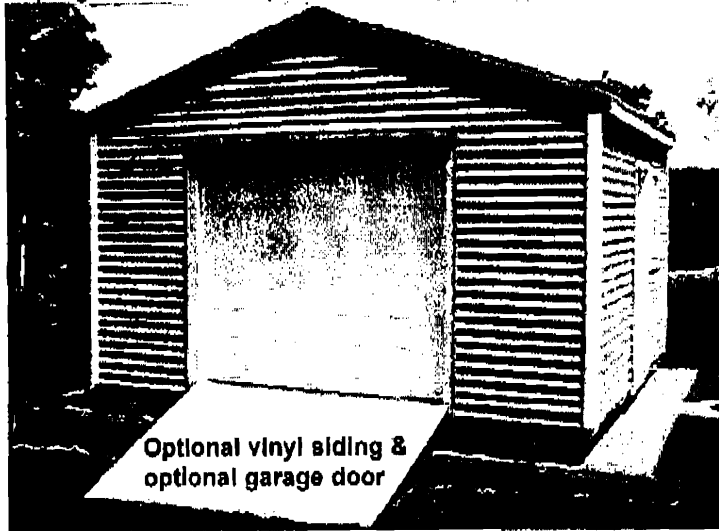
Double, overlapped top plates on all walls

Siding is SmartPanel II, 5/8" T1-11 is optional

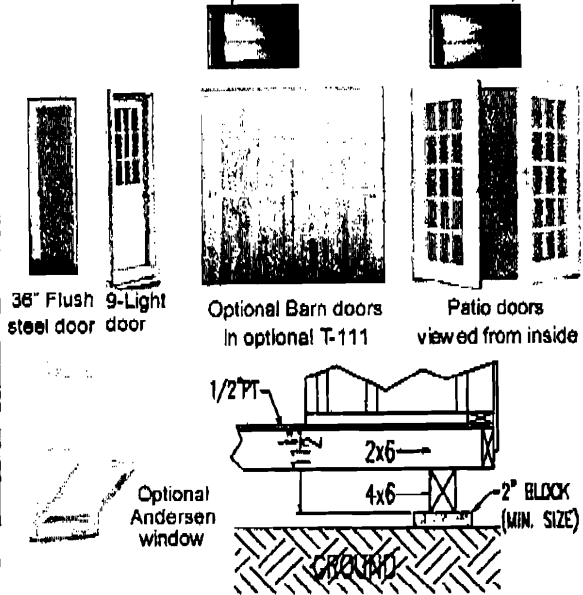
All trim is Unfinished pine

Optional vinyl siding over 1/2" CDX plywood

4/4 Clapboard or 4 1/4 1/4 Dutchlap



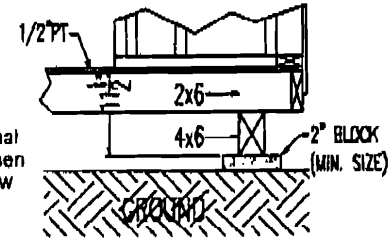
Optional vinyl siding & optional garage door



36" Flush steel door  
9-Light door

Optional Barn doors  
In optional T-111

Patio doors  
viewed from inside



**Optional Windows**

**Floor** (actual stated size)  
Andersen 28"x36" Low-E tilt sash, comes with screen & Unfinished pine trim  
(NO windows are Standard Door & Window locations will be 4ft from corners, to meet wind resistance requirements

**Door**

Standard 36" insulated steel flush door\*  
Optional 9-lite insulated steel door\* (\*36-1/4" wide x 82" tall rough opening, 2x6 header)  
Optional 7ft x 8ft, 2x8 header Garage door\*\* (\*\*Garage doors ONLY on gable wall K or E)  
Optional 72"x80" double in-swing Patio doors  
Optional 72" SmartPanel doors on "K" gable wall w/ barrel-bolts & T-latch (both 72" wide x 80" tall opening, 2x6 header)

2x6 PT floor joists, 12" on center  
1/2" PT plywood floor standard  
3/4" PT plywood upgrade optional  
3 rows of PT 4x6 runners std  
Concrete blocks under 4x6s or Foundation req'd in many areas (See Monarch Sonotube instructions or Monarch Slab specs)  
**DO NOT MAKE SLAB OVERSIZED FOLLOW DIMENSION SPECS**

**Other Options & Notes**

Garage doors are stock items supplied by Home Depot. They can only be installed on gable ends as shown.

If customer wants a 72" wide door on a bearing wall instead of a gable end, there is a \$50 charge to upgrade header size.

Workbench (width of shed only; 12, or 16ft wide, 2x4 construction w/ 1/2" plywood)

6ft long ramp (PT 2 x 6 construction, 72" wide or 96" wide)

Loft (12ft wide x 4ft deep, 2x6 construction on 12ft wide sheds)

Loft (16ft wide x 4ft deep, 2x6 construction on 16ft wide sheds)

Anchor Kit: uses cables thru floor joists, required when customer is installed on blocks

**Please note:** Some town/county building codes may require customers to purchase an "anchor kit" in order to meet town/county specific requirements/codes. Although Sheds USA builds one of the highest quality shed products available, some towns have very stringent building codes and Sheds USA cannot guarantee that all of our sheds will meet these codes. Any additional cost necessary to meet code requirements will be the customer's responsibility. Sheds USA reserves the right to substitute materials with the understanding that any substitutes will be of comparable quality and appearance to that being specified. We provide basic product specifications. Additional customized layouts, stamped engineering documents, or blueprints may result in an Engineering Charge.

Confidential and Proprietary information of Sheds USA



## Foundation Pad for Monarch

Home Installation Professionals - 755 Banfield Road - Portsmouth, NH 03820 - Ph: 866-616-2689 - Fax: 603-457-0203

**Choosing a good location, making sure the site is suitable, and any necessary site preparation, is solely the customer's responsibility. These instructions are basic guidelines. You may need to consult with a professional contractor to determine what preparation your individual site will need to make the ground flat, level and firm enough to build on. Most of these buildings require a frost-protected foundation, so check with your Building Code Official before you look at this alternative foundation method.**

If your Building Code Enforcer says that your size stick-built shed does **NOT** need to be built upon a new concrete slab or level sonotubes designed to our specifications, we recommend creating a stable base out of compacted gravel, or using a "box" filled with gravel. Having a proper foundation will keep your warranty valid and protect your investment over time. **YOU MUST CHECK WITH YOUR LOCAL BUILDING CODE OFFICE BEFORE CHOOSING THIS METHOD.** Most state and county codes require a frost-protected foundation.

### Gravel Pad in Box (timber crib):

- Create a box two feet (2ft) larger then the building footprint (1 foot from each side) using pressure-treated 4x4s, 6x6s, or landscaping timbers. Boards standing on edge will not retain the material safely.
- Set a level on the wood to determine what adjustments will need to be made to make the pad level.
- On the side that is lowest, start your first course of timber by scraping out a narrow, level trough so approximately half of it is in the ground. Continue leveling the trough around the perimeter.
- Anchor the bottom course of timbers into the ground using rebar through drilled holes, or other suitable method.
- Once the box is level, secured to the ground and spiked on all 4 sides, remove all turf and loose soil so organic decay doesn't cause settling later. Fill the box with recommended fill (half gravel and half stone dust). The stone dust will aid in compaction.
- If more then 4 inches of recommended fill is needed, the fill must be compacted in 4" layers at a time.
- Compact or tamp the recommended fill once the box is full so that it is firm and level. It should leave no imprint when walked upon or when heavy objects are dropped on it.

### Gravel Pad without Box (ONLY on level ground):

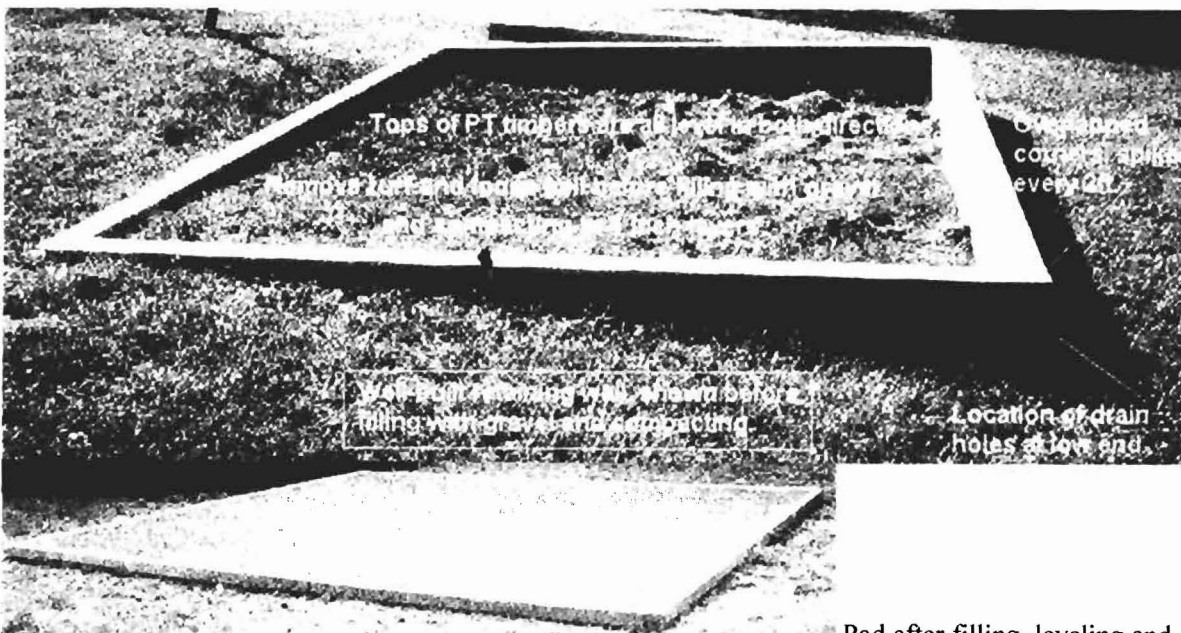
- Remove turf and soil to approximately 4" minimum depth.
- If more then 4 inches of recommended fill is needed, dig to the depth required, and the fill must be compacted in 4" layers.
- Tamp or compact recommended fill so that the foundation is firm and level.



Using a plate compactor to pack the gravel

### Recommended Fill:

- half Gravel and half Stone Dust
- 3/4" Minus Processed Gravel (a mix of washed, crushed gravel and fines that will pass thru a 3/4" sieve)



Pad after filling, leveling and compaction.

**Sheds USA Inc. Home Depot Stick-Built Monarch specs**

**This Stick-Built Monarch floor is exactly the size stated on the brochures**  
**Foundations are strongly recommended & are req'd to retain structural warranty**

Note: For orientation on diagram, a garage door would always be located at "K". (gable end wall)

Important: All sheds are sold unfinished. Panel seams & trim around windows & doors should be caulked before priming & painting. SmartPanel is only pre-primed at factory, it still requires painting with Acrylic Latex Only, NO oil-based paints.

Sizes:	
12x16	16x16
12x20	16x20
12x24	16x24
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	16x32

**Roof Construction**

2x6 rafters, 16" on center, w/2x8 ridge beam  
 Roof pitch is 4/12

4" roof overhang on eaves

7/16" OSB sheathing

Tar paper is standard

3ft, 3-tab, self-sealing fiberglass shingles

12" square aluminum vents standard, optional ridge & soffit vents

Dripedge on both eaves plus all rake trim

**Roof Height**

(From bottom of 4x6s to peak)  
 (subtract 9" if sill plate on slab)

12ft wide peak 11'-5 1/2"

16ft wide peak 12'-1 1/2"

Hurricane Clips now standard

**Walls**

2x4 construction, 16" on center, 96" tall  
 optional 2x6 wall construction

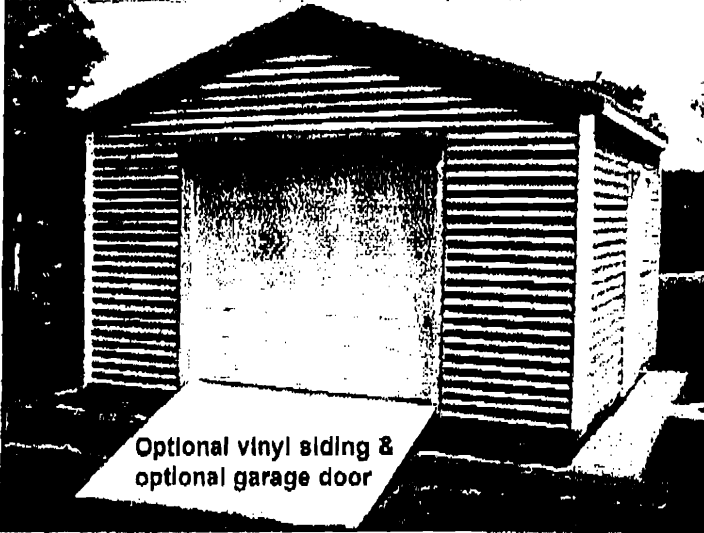
Double, overlapped top plates on all walls

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Optional vinyl siding over 1/2" CDX plywood

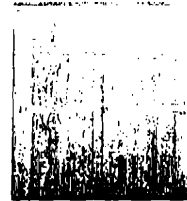
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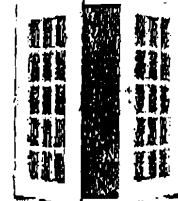
Optional vinyl siding & optional garage door



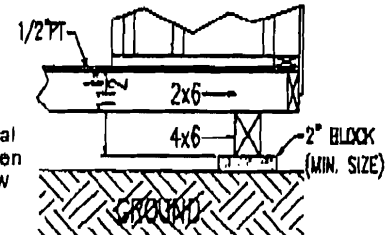
36" Flush steel door 9-Light door



Optional Barn doors in optional T-11



Patio doors viewed from inside



**Optional Windows**

**Floor** (actual stated size)

Andersen 28"x36" Low-E tilt sash, comes with screen & Unfinished pine trim  
 (NO windows are Standard Door & Window locations will be 4ft from corners, to meet wind resistance requirements

**Door**

Standard 36" insulated steel flush door\*  
 Optional 9-lite insulated steel door\*  
 (\*38-1/4" wide x 82" tall rough opening, 2x6 header)  
 Optional 7ft x 8ft, 2x8 header Garage door\*\*  
 (\*\*Garage doors ONLY on gable wall K or E)  
 Optional 72"x80" double in-swing Patio doors  
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 (both 72" wide x 80" tall opening, 2x6 header)

2x6 PT floor joists, 12" on center  
 1/2" PT plywood floor standard  
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## Foundation Pad for Monarch

Home Installation Professionals - 755 Banfield Road - Portsmouth, NH 03820 - Ph: 866-616-2689 - Fax: 603-457-0203

Choosing a good location, making sure the site is suitable, and any necessary site preparation, is solely the customer's responsibility. These instructions are basic guidelines. You may need to consult with a professional contractor to determine what preparation your individual site will need to make the ground flat, level and firm enough to build on. Most of these buildings require a frost-protected foundation, so check with your Building Code Official before you look at this alternative foundation method.

If your Building Code Enforcer says that your size stick-built shed does **NOT** need to be built upon a new concrete slab or level sonotubes designed to our specifications, we recommend creating a stable base out of compacted gravel, or using a "box" filled with gravel. Having a proper foundation will keep your warranty valid and protect your investment over time. **YOU MUST CHECK WITH YOUR LOCAL BUILDING CODE OFFICE BEFORE CHOOSING THIS METHOD.** Most state and county codes require a frost-protected foundation.

### Gravel Pad in Box (timber crib):

- Create a box two feet (2ft) larger then the building footprint (1 foot from each side) using pressure-treated 4x4s, 6x6s, or landscaping timbers. Boards standing on edge will not retain the material safely.
- Set a level on the wood to determine what adjustments will need to be made to make the pad level.
- On the side that is lowest, start your first course of timber by scraping out a narrow, level trough so approximately half of it is in the ground. Continue leveling the trough around the perimeter.
- Anchor the bottom course of timbers into the ground using rebar through drilled holes, or other suitable method.
- Once the box is level, secured to the ground and spiked on all 4 sides, remove all turf and loose soil so organic decay doesn't cause settling later. Fill the box with recommended fill (half gravel and half stone dust). The stone dust will aid in compaction.
- If more then 4 inches of recommended fill is needed, the fill must be compacted in 4" layers at a time.
- Compact or tamp the recommended fill once the box is full so that it is firm and level. It should leave no imprint when walked upon or when heavy objects are dropped on it.



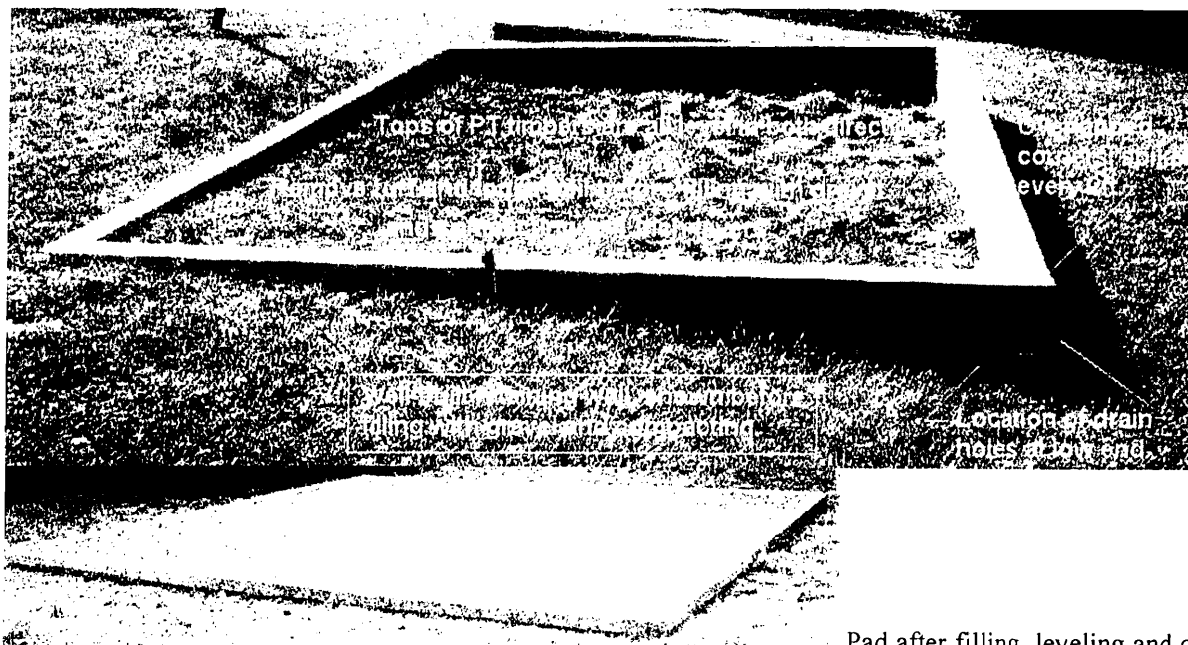
Using a plate compactor to pack the gravel

### Gravel Pad without Box (ONLY on level ground):

- Remove turf and soil to approximately 4" minimum depth.
- If more then 4 inches of recommended fill is needed, dig to the depth required, and the fill must be compacted in 4" layers.
- Tamp or compact recommended fill so that the foundation is firm and level.

### Recommended Fill:

- half Gravel and half Stone Dust
- 3/4" Minus Processed Gravel (a mix of washed, crushed gravel and fines that will pass thru a 3/4" sieve)



Pad after filling, leveling and compaction.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1200 CONGRESS ST, PORTLAND, ME 04102-2129</u>		
Total Square Footage of Proposed Structure/Area <u>123.5 SF.</u>	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>189</u> Block# <u>A</u> Lot# <u>13</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>PORTLAND GASTROENTEROLOGY</u> Address <u>1200 CONGRESS ST.</u> City, State & Zip <u>PORTLAND, ME. 04102</u>	Telephone: <u>773-7964</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>40,000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>420</u>
Current legal use (i.e. single family) <u>MED. OFFICE BLDG</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>CANOPY AT ENTRANCE (Southside)</u> Is property part of a subdivision? _____ If yes, please name _____ Project description:		
Contractor's name: <u>ALLIED COOK CONST. CORP.</u> Address: <u>P.O. BOX 1396</u> City, State & Zip <u>PORTLAND, ME 04104</u> Telephone: <u>772-2888</u> Who should we contact when the permit is ready: <u>DAVID H. COOK</u> Telephone: <u>807-2468</u> Mailing address: <u>P.O. BOX 1396 PORTLAND, ME 04104</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: David H. Cook Date: 7-28-08

This is not a permit; you may not commence ANY work until the permit is issue



## APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Portland Gastroenterology CTR  
Applicant

July 28, 2013  
Application Date

1200 CONGRESS ST PORTLAND, OR 97201  
Applicant's Mailing Address

EXTER. ENTRANCE CANOPY  
Project Name/Description

ARABIS CONSULTING GROUP 777 2188  
Consultant/Agent/Phone Number

1200 CONGRESS ST PORTLAND  
Address of Proposed Site

CBL: \_\_\_\_\_

**Description of Proposed Development:**

PORTLAND GASTROENTEROLOGY CENTER DESIRES TO ERECT AN ALUMINUM & GLASS CANOPY AT THE PRIMARY ENTRANCE TO THEIR FACILITY

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
<u>NO</u>	<u>Canopy</u>
<u>YES</u>	<input checked="" type="checkbox"/>
<u>NO</u>	<input checked="" type="checkbox"/>
<u>YES</u>	<input checked="" type="checkbox"/>
<u>NO</u>	<input checked="" type="checkbox"/>
<u>NO</u>	<input checked="" type="checkbox"/>
<u>YES</u>	<input checked="" type="checkbox"/>
<u>YES</u>	<input checked="" type="checkbox"/>



N/F  
OLYMPIA EQUITY  
INVESTORS III, LP  
MAP 189 LOT A-013



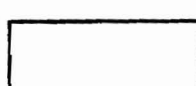





Building

copy

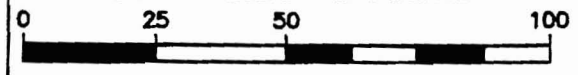
24 SPACES  
NSB

S 23 SPACES  
PEC/PGA  
IN COMMON

**LEGEND**

-  NORWAY SAVINGS BANK  
PARKING AREA (42 SPACES)
-  PEC (28 + 10 N SPACES)
-  PEC IN COMMON  
(23 SPACES)
-  PROPOSED SIDEWALK
-  EXISTING SIDEWALK
-  PROPOSED SITE LIGHT
-  PROPOSED LANDSCAPING
-  SHARED PARKING

**GRAPHIC SCALE**



1 inch = 50 ft.

Associates, Inc.  
3  
106  
COM

**SEWALL STREET  
MEDICAL OFFICE  
BUILDING**

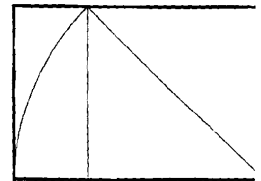
**NORWAY SAVINGS BANK  
PARKING PLAN**

DRAWN:	LECJ	DATE:	10.07.05
DESIGNED:	CJO	SCALE:	1"=50'
CHECKED:	CJO	JOB NO.:	2498
FILE NAME:	2498-PARKING PLAN		



**PORTLAND**  
**GASTROENTEROLOGY**  
 SEWALL STREET PORTLAND, ME

WHIPPLE  
 CALLENDER  
 ARCHITECTS



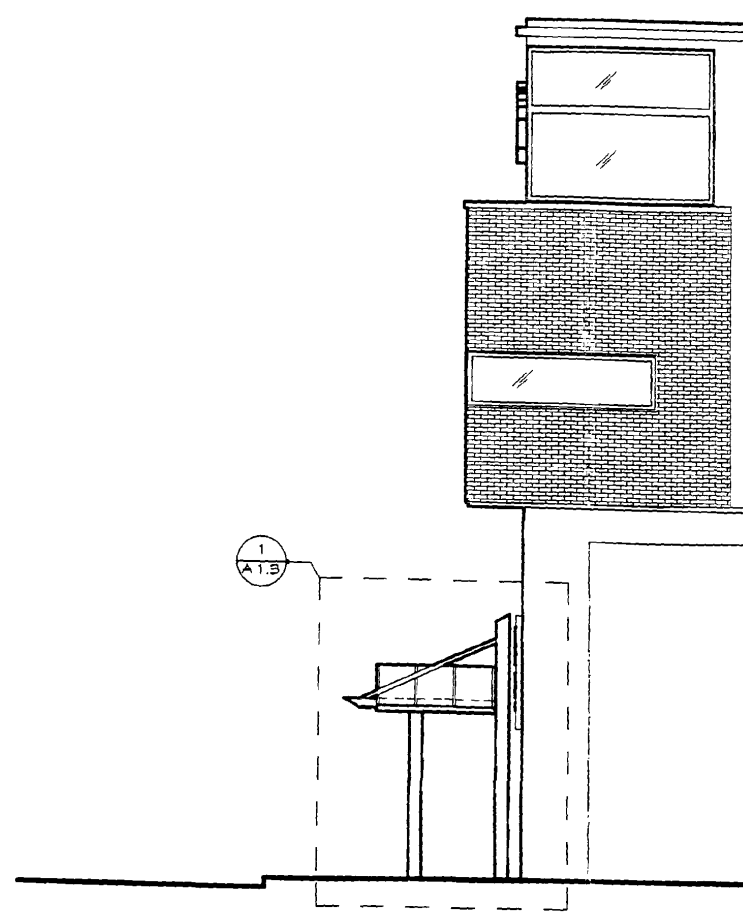
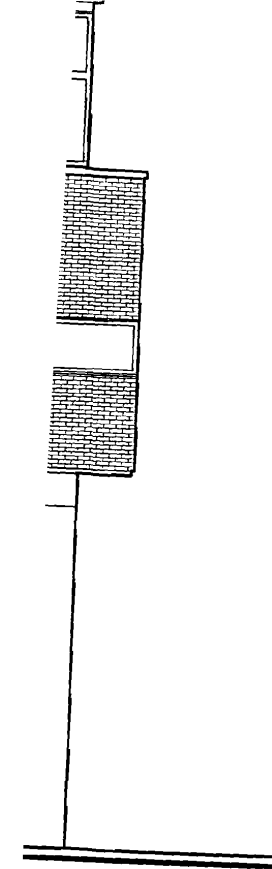
19 Commercial St  
 Portland  
 ME 04101  
 207-775-2696

www.whipplecallender.com

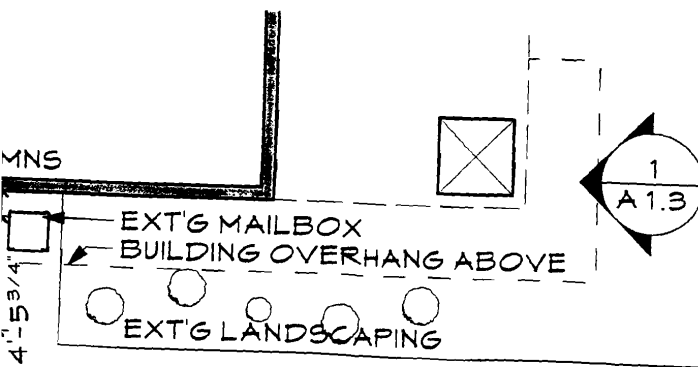
DATE: 1/19/07  
 CHECKED BY: JM  
 DRAWN BY: JRP  
 JOB: 06-PGC  
 SHEET TITLE: FRONT ELEVATION

**A 1.2**

RECEIVED  
 JUN 18 2007

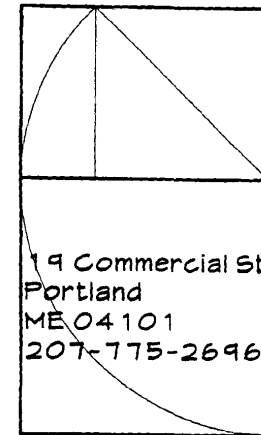


2  
A1.1 SIDE BUILDING ELEVATION  
SCALE: 3/32" = 1'-0"



PORTLAND  
GASTROENTEROLOGY  
SEWALL STREET PORTLAND, ME

WHIPPLE  
CALLENDER  
ARCHITECTS



19 Commercial St  
Portland  
ME 04101  
207-775-2696

www.whipplecallender.com

DATE:

1/19/07

CHECKED BY:

JW

DRAWN BY:

JRP

JOB:

06-PGC

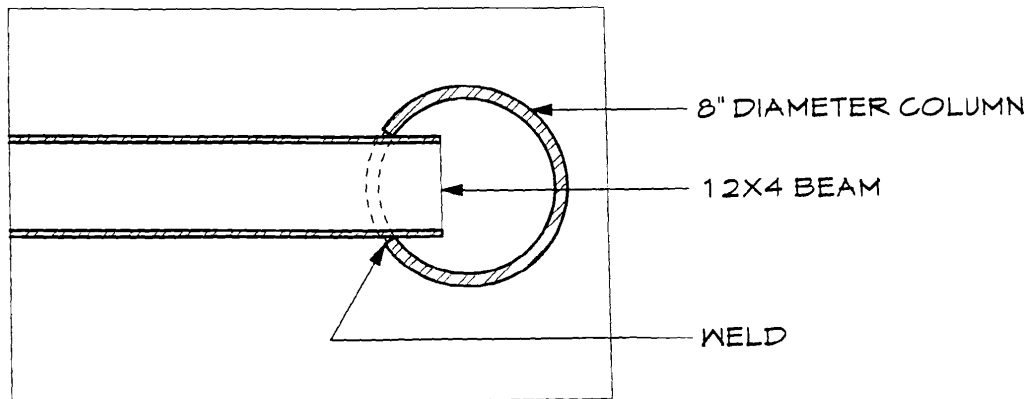
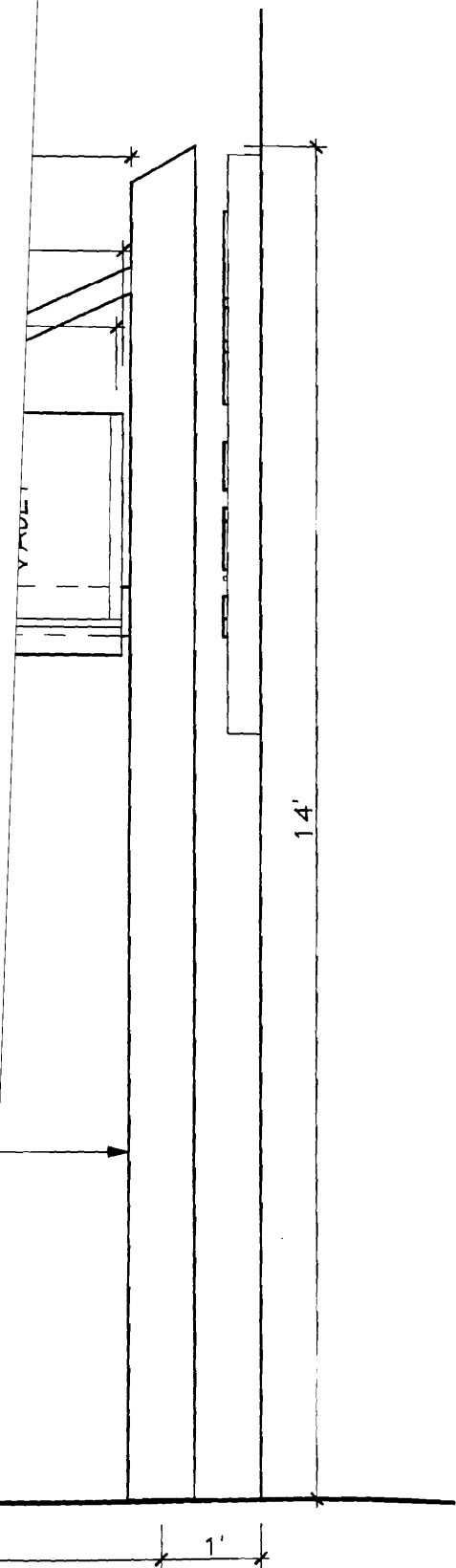
SHEET TITLE:

BUILDING ELEVATIONS  
CANOPY PLAN

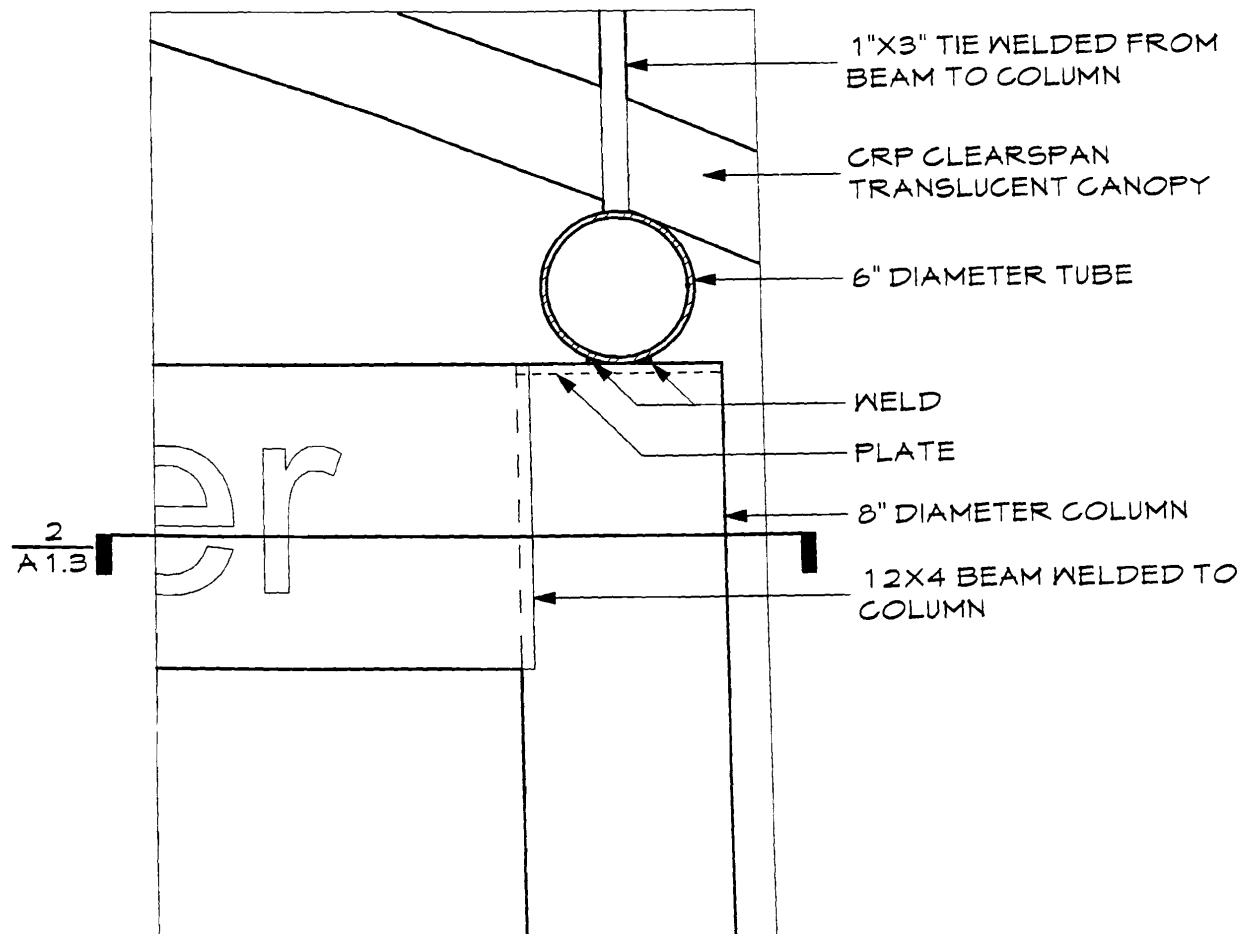
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JUN 08 2007  
ALLIED CONSTRUCTION

A1.1





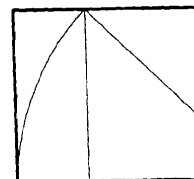
2  
A1.3 BEAM TO COLUMN DETAIL  
SCALE: 1 1/2" = 1'-0"



3  
A1.3 BEAM TO FRONT COLUMN DETAIL  
SCALE: 1 1/2" = 1'-0"

PORTLAND  
GASTROENTEROLOGY  
SEWALL STREET PORTLAND, ME

WHIPPLE  
CALLENDE  
ARCHITECT



19 Commercial  
Portland  
ME 04101  
207-775-21

www.whipplecallend

DATE:  
1/19/07

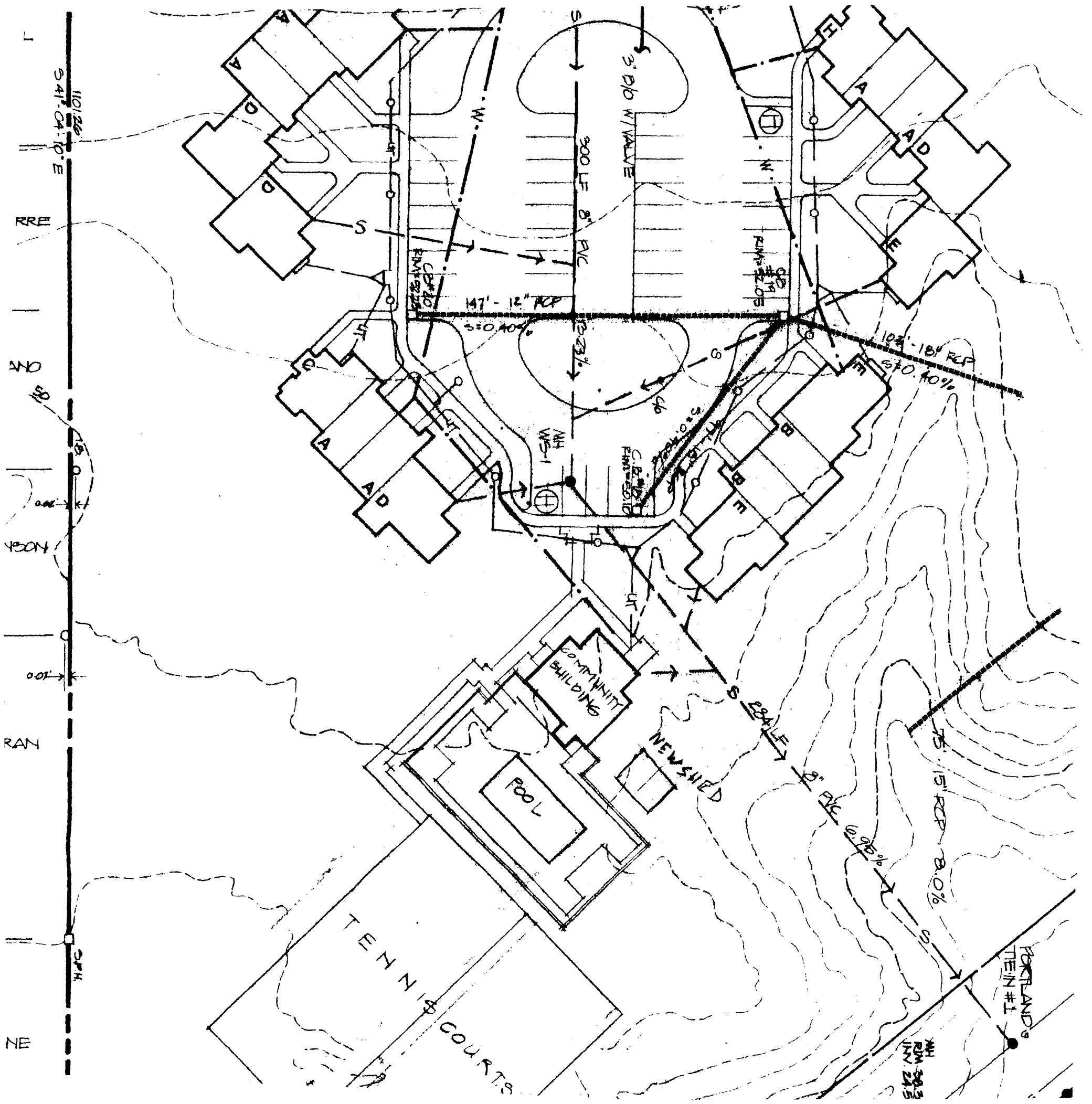
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JRP

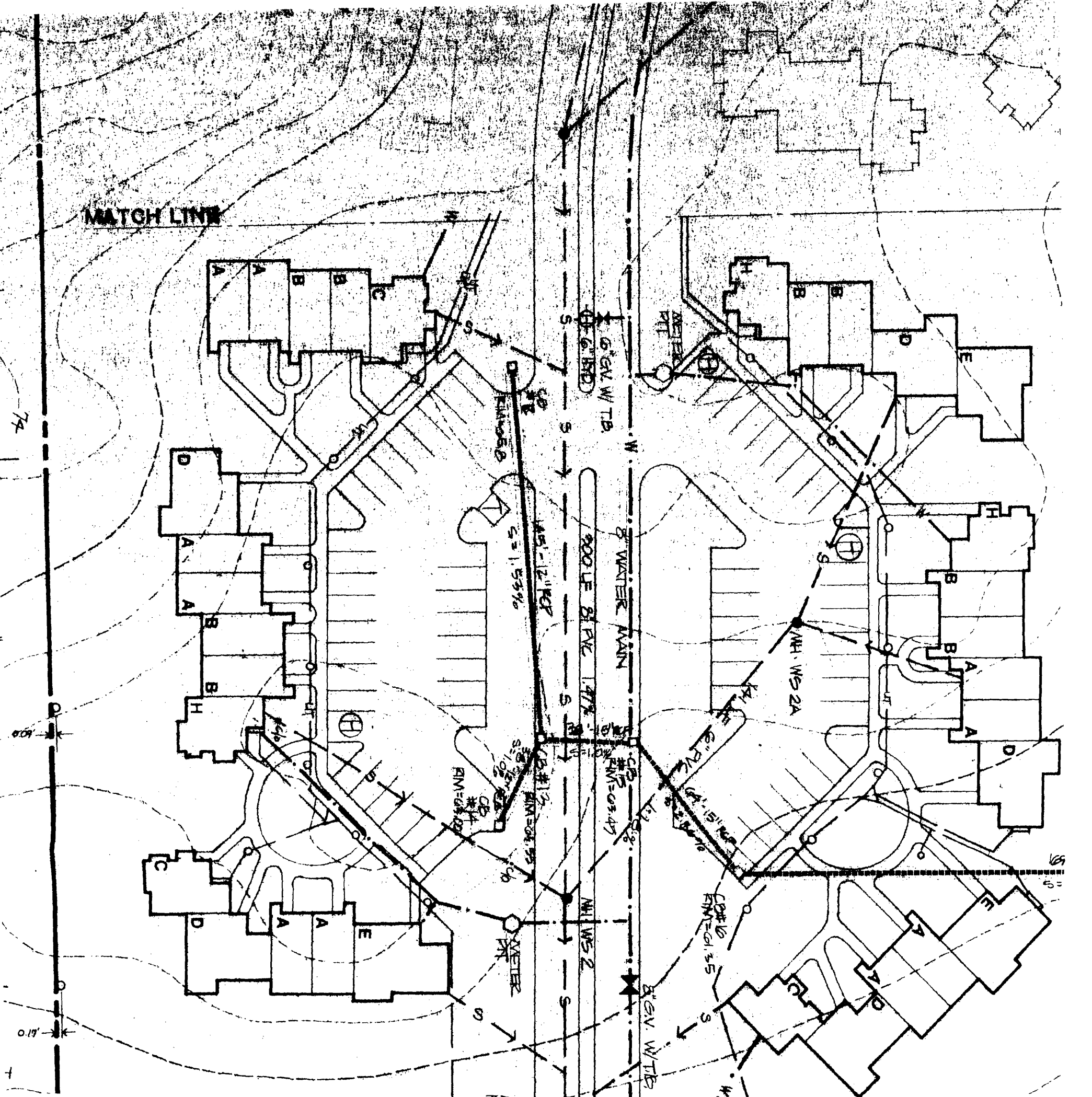
JOB:  
06-PGC

SHEET TITLE:  
SIDE ELEVATION  
DETAILS

RECEIVED



MATCH LINE



74

D

0.10





# CITY OF PORTLAND, MAINE

Department of Building Inspections

Sept 5 2008

Received from Resource Residential

Location of Work 988 Washington

Cost of Construction \$ 4880

Permit Fee \$ 70.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 161-B-025

Check #: Me.

Total Collected \$ 70-

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy