

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 080513

PERMIT ISSUED
JUN 13 2008
CITY OF PORTLAND

This is to certify that LEVINE DAVID S & ELIZABETH M ANDERSEN JTS/Br Bed

has permission to Remove and Replace existing porch and stairs

AT 61 WELLWOOD RD

160 G020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas H. Moulton 6/4/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0513	Issue Date:	CBL: 160 G020001
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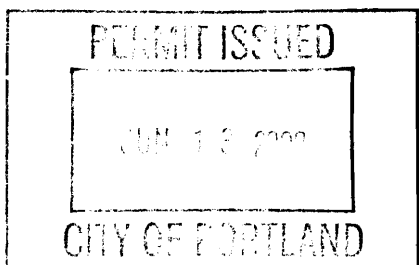
Location of Construction: 61 WELLWOOD RD	Owner Name: LEVINE DAVID S & ELIZABETH	Owner Address: 61 WELLWOOD RD	Phone: 772-0494
Business Name:	Contractor Name: Brian Bedard	Contractor Address: 2 Misty Meadow Drive Biddeford	Phone: 2076323589
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Remove and Replace existing Porch and Stairs w/ bigger footprint	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 4
Proposed Project Description: Remove and Replace existing Porch and Stairs w/ bigger footprint.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRC 2003	
		Signature:	Signature: <i>DM</i> 6/4/08	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 05/16/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>OK per section 14-425</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/condition</i> Date: 5/28/08	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

_____ SIGNATURE OF APPLICANT	_____ ADDRESS	_____ DATE	_____ PHONE
_____ RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	_____ DATE	_____ PHONE	

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0513	Date Applied For: 05/16/2008	CBL: 160 G020001
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Location of Construction: 61 WELLWOOD RD	Owner Name: LEVINE DAVID S & ELIZABETH	Owner Address: 61 WELLWOOD RD	Phone: () 772-0494
Business Name:	Contractor Name: Brian Bedard	Contractor Address: 2 Misty Meadow Drive Biddeford	Phone: (207) 632-3589
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Remove and Replace existing Porch and Stairs (enlarge footprint slightly)	Proposed Project Description: Remove and Replace existing Porch and Stairs (enlarge footprint slightly)
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 05/28/2008
Note: Using section 14-425. Footprint is 34.94 sf. Entry comes off building 68" (5.67').			Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 06/04/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

Comments:
5/20/2008-amachado: Left message for the owner. Proposed entry does not meet the front yard setback. Section 14-388 does not allow an increase in the building.
5/23/2008-amachado: Spoke to Dave Levine. He will bring in revised plans that meet the ordinance.
5/28/2008-amachado: Dave Levine brought in revised plans that meet section 14-425.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

BUILDING PERMIT INSPECTION PROCEDURES

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 X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

 X Final inspection required at completion of work.

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CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

T. E. M. Andersen

Signature of Applicant/Designee

6-15-08

Date

[Signature]

Signature of Inspections Official

6-13-08

Date



General Building Permit Application

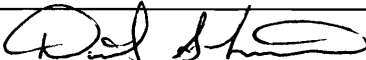
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>61 Wellwood Road Portland, ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>68.25 A²</u>		Square Footage of Lot <u>5000</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>160 6 20</u>	Applicant * must be owner, Lessee or Buyer* Name <u>David Levine</u> Address <u>61 Wellwood Rd</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207-772-0494</u> <u>QUESTIONS 5</u>
Lessee/DBA (if Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1000</u> C of O Fee: \$ <u>0</u> Total Fee: \$ <u>1000</u>
<p>Current legal use (i.e. single family) <u>Single Family</u></p> <p>If vacant, what was the previous use? <u>-</u></p> <p>Proposed Specific use: <u>same</u></p> <p>Is property part of a subdivision? <u>No</u> If yes, please name _____</p> <p>Project description: <u>Remove and replace front porch + steps - address slip</u></p>		
<p>Contractor's name: <u>Brian Bedard</u></p> <p>Address: <u>2 Misty Meadows Dr</u></p> <p>City, State & Zip <u>Biddeford, ME 04005</u> Telephone: <u>632-3589</u></p> <p>Who should we contact when the permit is ready: <u>David Levine</u> Telephone: <u>772-0494</u></p> <p>Mailing address: <u>61 Wellwood Rd Portland, ME 04103</u></p>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 05/12/08

This is not a permit; you may not commence ANY work until the permit is issue

THIS IS NOT A BOUNDARY SURVEY

This copyrighted document expires 10-26-06. Reproduction and/or dissemination after this date is unauthorized.

MORTGAGE INSPECTION OF: DEED BOOK 14288 PAGE 104 COUNTY Cumberland
 PLAN BOOK 16 PAGE 12 LOT 94

ADDRESS: 61 Wellwood Road, Portland, Maine

Job Number: 565-44

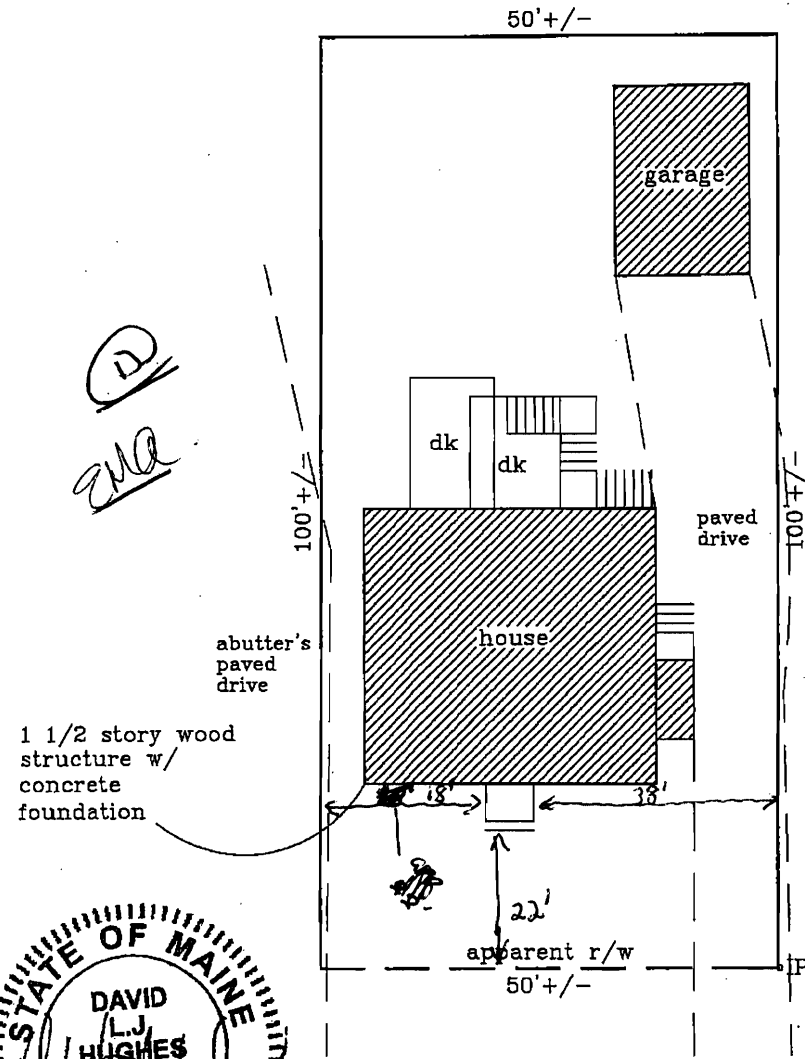
Inspection Date: 7-26-06

Buyers: David S. Levine & Elizabeth M. Andersen

Scale: 1" = 20'

Sellers: David W. Jamieson

Client File #: 60568

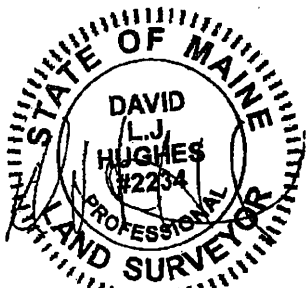


(Handwritten circled text: f Dmt)

(Handwritten notes: OK section 14-425-34.94 5.67' offset)

(Handwritten: R3)

*(Handwritten calculations: lot size = 5,000 sq ft; * land area per du = 6,500; * front 25' min - 22' sides - proposed 20' side 8' req. - OK; lot coverage = 35% of 5,000 = 1,750; existing & proposed = 1,515 sq ft; * CIR)*



Wellwood Road

to Ocean Ave.

I HEREBY CERTIFY TO: Bay Area Title Services, Inc.; Bangor Savings Bank and its title insurer.
 Monuments found did not conflict with the deed description.
 The dwelling setbacks do not violate town zoning requirements.
 As delineated on the Federal Emergency Management Agency Community Panel: 230051-0007 C
 The structure does not fall within the special flood hazard zone.
 The land does not fall within the special flood hazard zone.
 A wetlands study has not been performed.

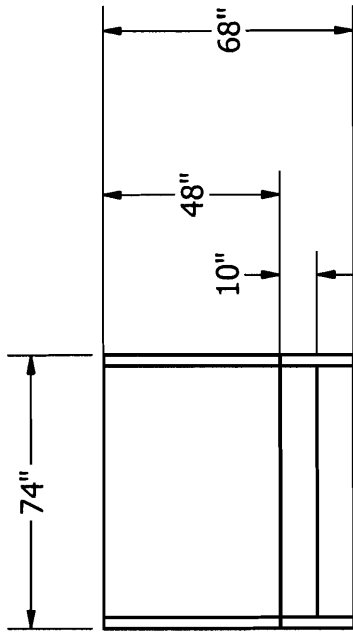
APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

Livingston-Hughes
 Professional Land Surveyors
 88 Guinea Road
 Kennebunkport, Maine 04046
 207-967-9761 phone 207-967-4831 fax
 www.livingstonhughes.com

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

David Levine
61 Wellwood Road
Portland, ME 04103
207-772-0494

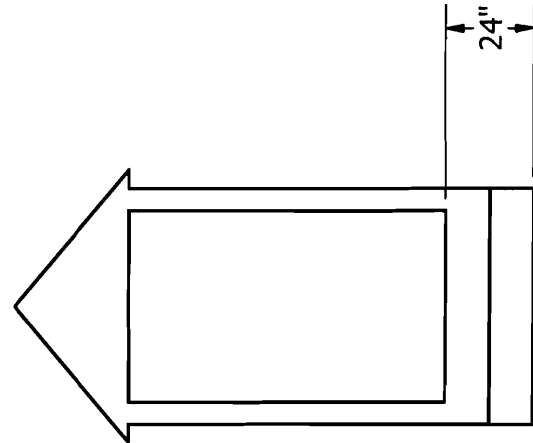
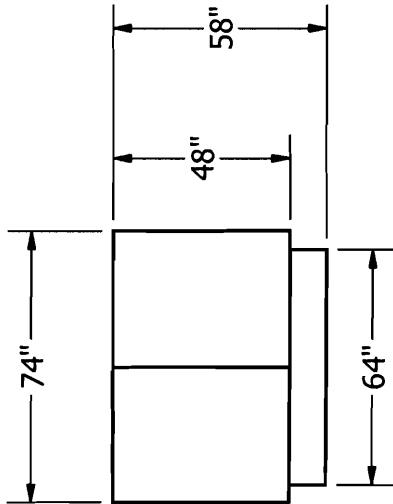
Proposed



$74'' \times 68'' = 5032 \text{ sq ft}$
 $= 84.94 \text{ ft}^2$

517'

Existing



MAY 2011

1

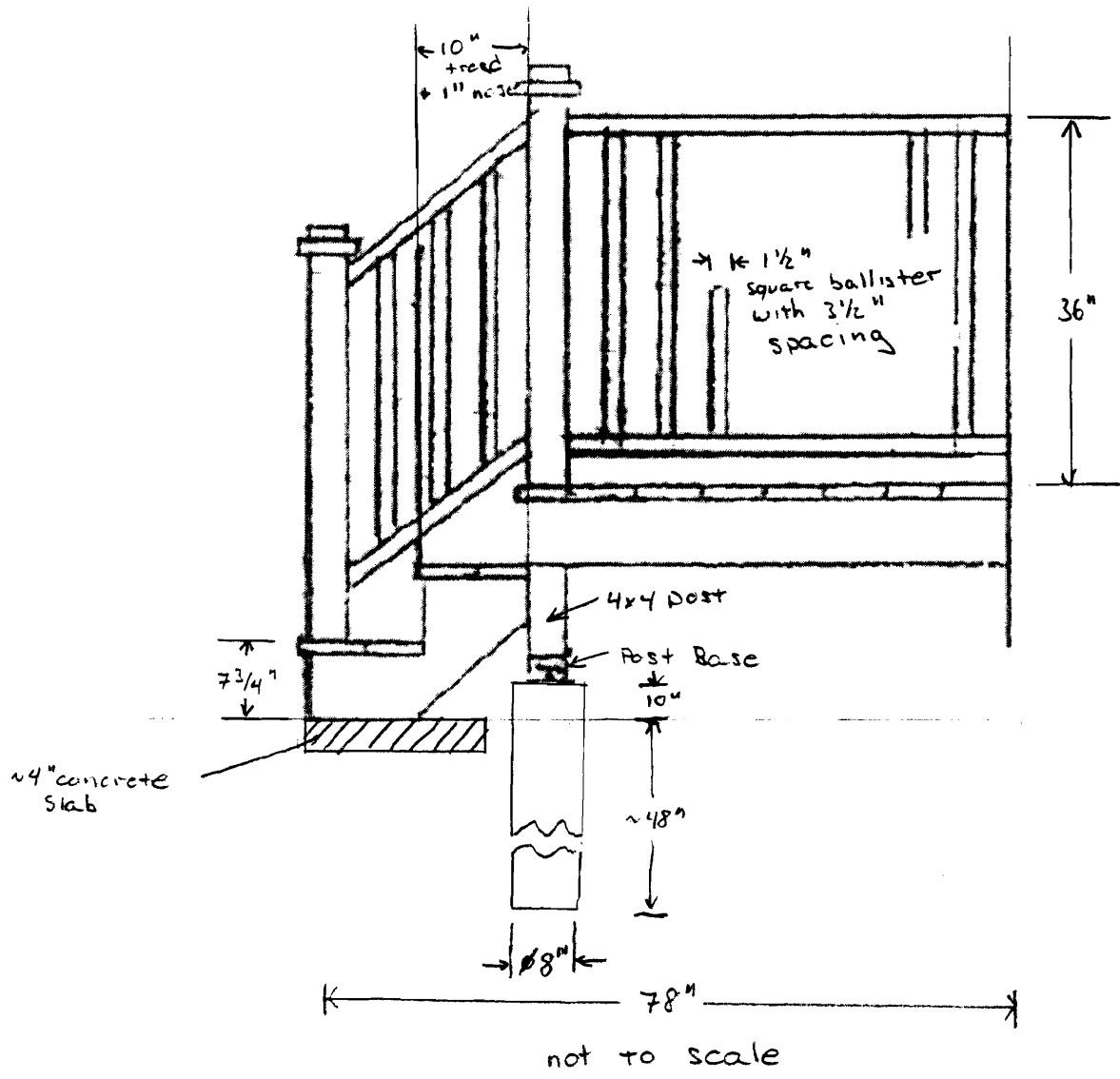
2

2

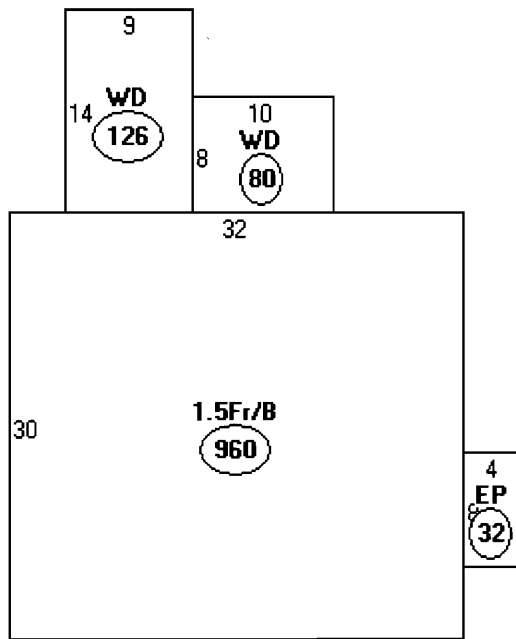
1

4

2



David Levine
 61 Wellwood Rd
 Portland, ME 04103
 207-772-0494



Descriptor/Area

A: 1.5Fr/B
960 sqft

B: EP
32 sqft

C: WD
126 sqft

D: WD
80 sqft

= 1198

5 acre 14x20 = 280

↑
most part is
proposed

$$\begin{array}{r} 94 \quad 34.94 \\ \hline 1572 \quad 1512.95 \text{ - ok.} \end{array}$$

5,000 \$ 35% = 1750

