

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

PERMIT ISSUED

Permit Number: 030266

APR 01 2003

This is to certify that Jamieson David W/LeBlanc Builders
has permission to Amendment to permit # 03-0008 to build stairs from the third floor deck
AT 61 Wellwood Rd 160 G020001

CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Verification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4 OUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeanie Bourke 4/1/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0266	Issue Date: APR 01 2003	CBL: 160 G020001
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Location of Construction: 61 Wellwood Rd	Owner Name: Jamieson David W	Owner Address: 61 Wellwood Rd CITY OF PORTLAND	Phone: 879-7192
Business Name:	Contractor Name: LeBlanc Builders	Contractor Address: 96 Brackett Street Westbrook	Phone: 2078544170
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R3

Past Use: Single Family	Proposed Use: Single Family	Permit Fee:	Cost of Work: \$0.00	CEO District: 2
Proposed Project Description: Amendment to permit # 03-0178 to build set of stairs from the 2nd floor deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: 5B EXA 1999
		Signature: _____		Signature: JMB 4/1/03
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: jmb	Date Applied For: 04/01/2003	Zoning Approval
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<ol style="list-style-type: none"> 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	<p style="text-align: center;">Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/1/03 JMB	<p style="text-align: center;">Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p style="text-align: center;">Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>61 WELLSWOOD DR</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>5720</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>160</u> <u>6</u> <u>20</u>	Owner: <u>Jamieson</u>	Telephone:
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>1920.00</u> Fee: \$ <u>37.00</u>
Current use: <u>OWNER/OCCUPIED RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>AMENDMENT TO PERMIT # 03-0178, ADDITION OF</u> Project description: <u>EXIT STAIR FROM SECOND FLOOR DECK</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: _____		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>4/1/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0266	Date Applied For: 04/01/2003	CBL: 160 G020001
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Location of Construction: 61 Wellwood Rd	Owner Name: Jamieson David W	Owner Address: 61 Wellwood Rd	Phone: () 879-7192
Business Name:	Contractor Name: LeBlanc Builders	Contractor Address: 96 Brackett Street Westbrook	Phone: (207) 854-4170
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family	Proposed Project Description: Amendment to permit # 03-0178 to build set of stairs from the 2nd floor deck
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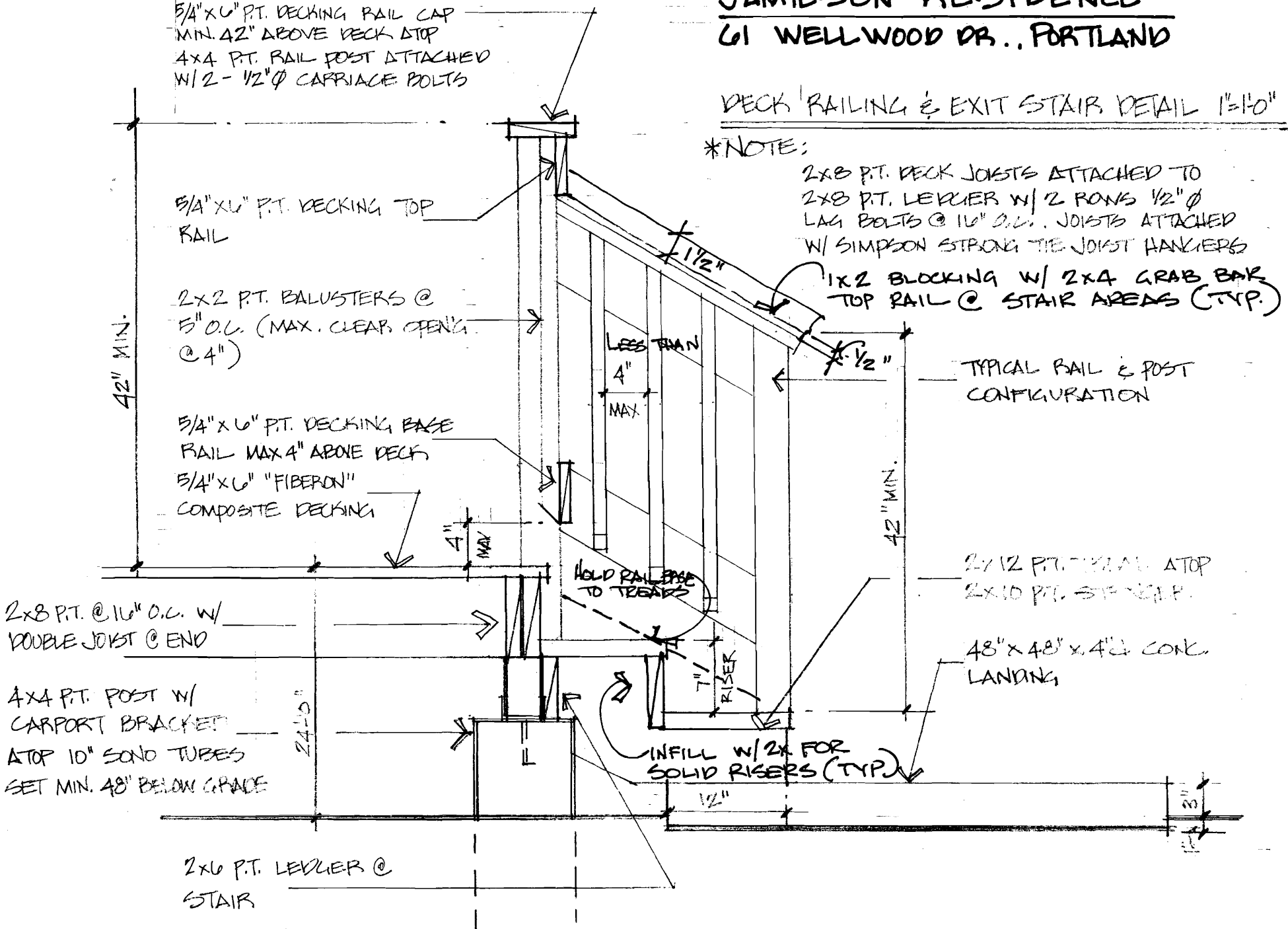
Dept: Zoning	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 04/01/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Separate permits shall be required for future decks, sheds, pools, and/or garages.			
2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			

Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 04/01/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

1st & 2nd level Detail

JAMIESON RESIDENCE
61 WELLWOOD DR., PORTLAND

DECK RAILING & EXIT STAIR DETAIL 1"=10"



5/4" x 6" PT. DECKING RAIL CAP
MIN. 42" ABOVE DECK TOP
4x4 PT. RAIL POST ATTACHED
W/ 2 - 1/2" Ø CARRIAGE BOLTS

5/4" x 6" PT. DECKING TOP
RAIL

2x2 PT. BALUSTERS @
5" O.C. (MAX. CLEAR OPENG.
@ 4")

5/4" x 6" PT. DECKING BASE
RAIL MAX 4" ABOVE DECK
5/4" x 6" "FIBERON"
COMPOSITE DECKING

2x8 PT. @ 16" O.C. W/
DOUBLE JOIST @ END

4x4 PT. POST W/
CARPORT BRACKET
ATOP 10" SOND TUBES
SET MIN. 48" BELOW GRADE

2x6 PT. LEDGER @
STAIR

*NOTE:

2x8 PT. DECK JOISTS ATTACHED TO
2x8 PT. LEDGER W/ 1/2" Ø
LAG BOLTS @ 16" O.C. JOISTS ATTACHED
W/ SIMPSON STRONG TIE JOIST HANGERS

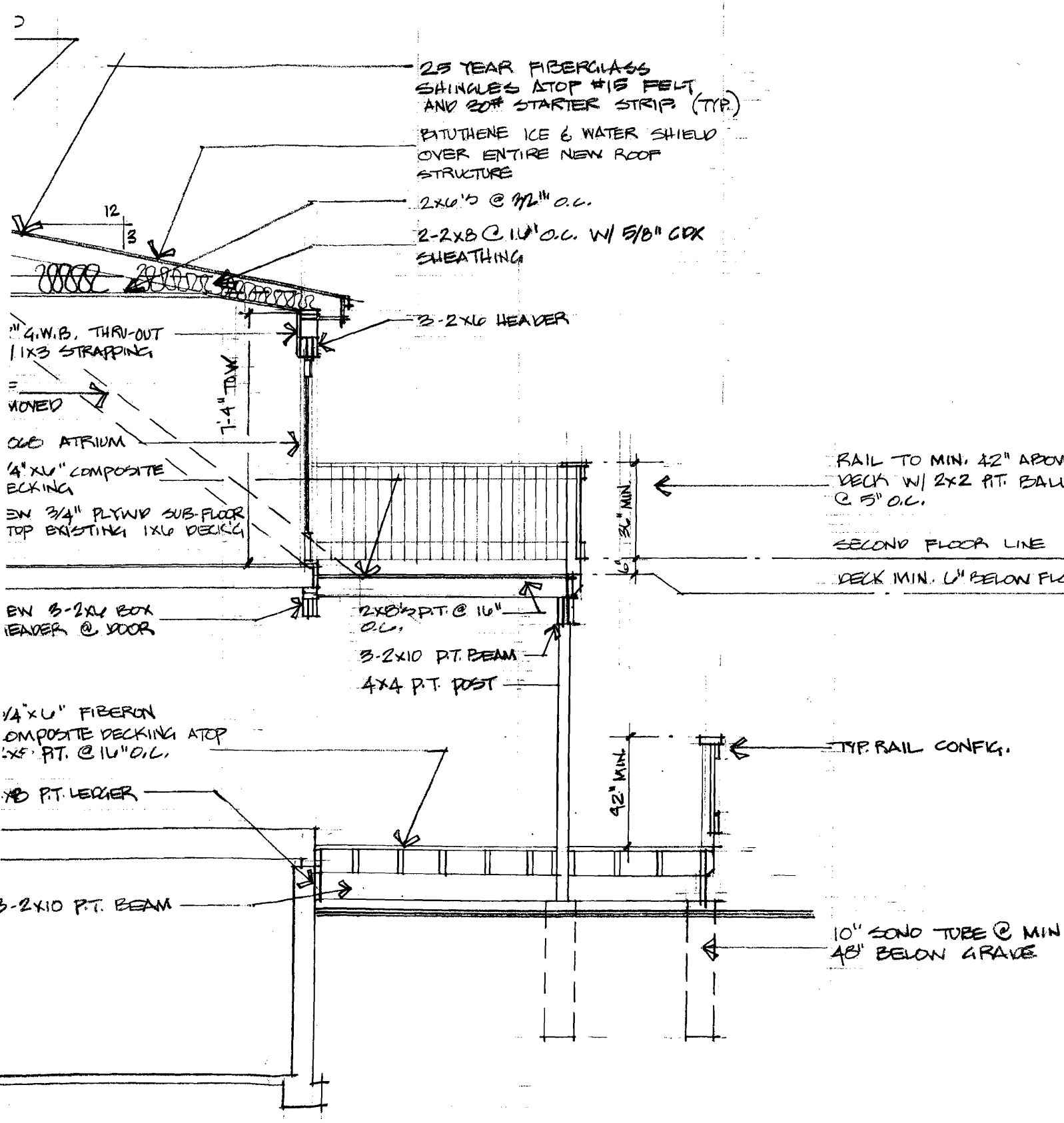
1x2 BLOCKING W/ 2x4 GRAB BAR
TOP RAIL @ STAIR AREAS (TYP.)

TYPICAL RAIL & POST
CONFIGURATION

2x12 PT. STRINGER ATOP
2x10 PT. STRINGER

48" x 48" x 4" CONK
LANDING

INFILL W/ 2x4 FOR
SOLID RISERS (TYP.)



BUILDING SECTION

1/4" = 1'-0"

PER LAYS
15" FEET

3/12

ETHYLENE ICE
WATER SHIELD THRU-OUT
ON PITCH ROOF

AREA

9/12

WOOD ATRIUM DOOR
TYP VINYL CORNERS

VINYL SIDING TO
MATCH EXISTING

SECOND FLR
DECK 1" BELOW MIN

10'-0" (FIELD VERIFY)
16 RISERS @ 7 1/2"

EXISTING

LOAD
BEAR
FAIL TO
TREATS

42"

3040-2

2" X 8" PT. G110" DIA
W/ COMPOSITE DECK
ATOP

NEW 2808
FULL LITE
TO DECK

9/12

3/12

REAR ELEVATION

1/4" = 1'-0"

T STAIR
ALL EXTERIOR



1X8 RAKE TRIM
ATOP 1X8 RAKE
(TRP)

8" SOFFIT W/ 2"
CONT. SOFFIT VENTS

3-2X10 PT. BEAM
ATOP 4X4 PT. POST

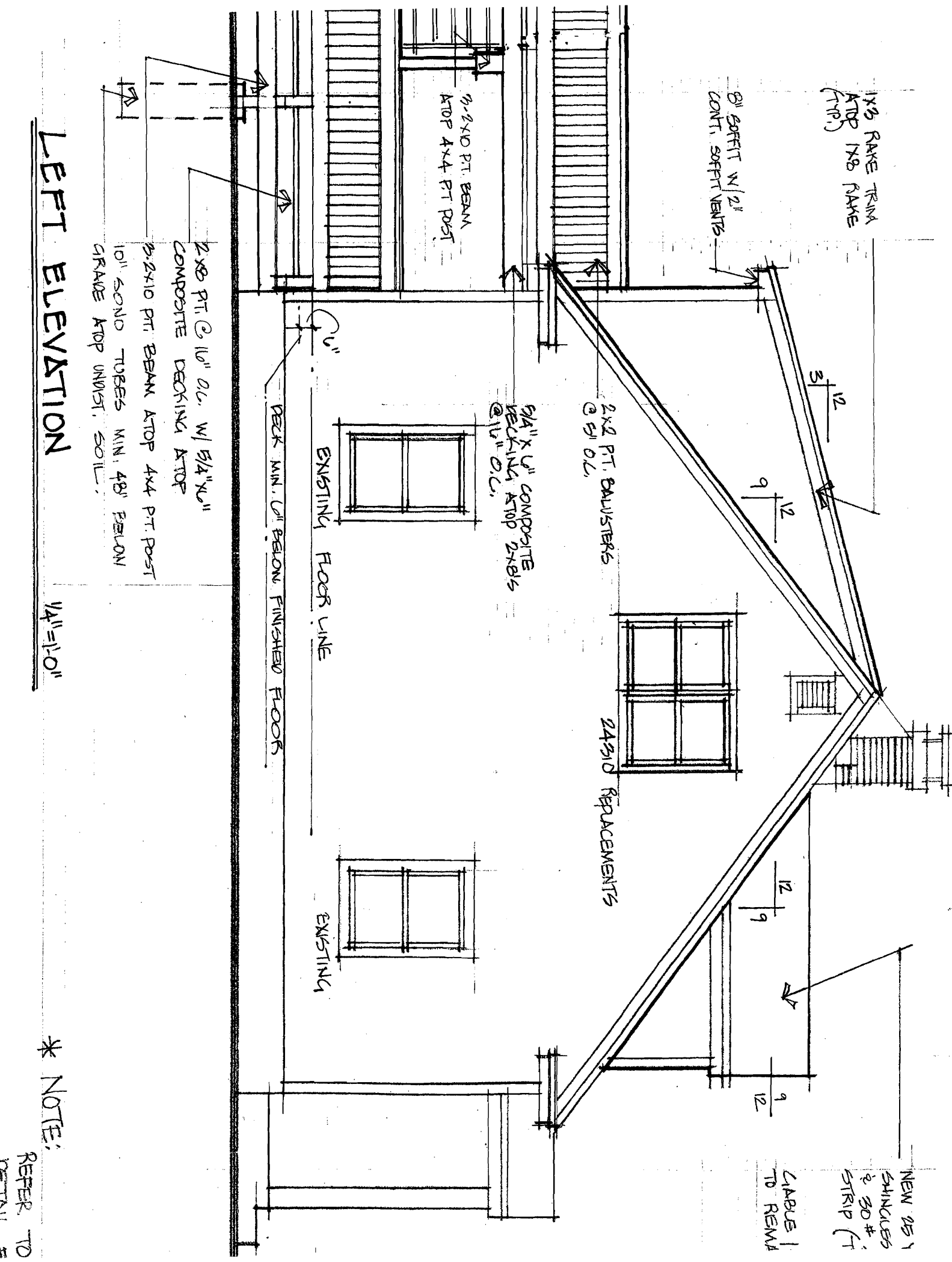
2X8 PT. @ 16" O.C. W/ 5/4" X 11"
COMPOSITE DECKING ATOP
3-2X10 PT. BEAM ATOP 4X4 PT. POST
10" SAND TUBES MIN. 48" BELOW
GRADE ATOP UNVST. SOIL.

LEFT ELEVATION

1/4" = 1'-0"

NEW 25' 1"
SHINGLES
& 30#
STRIP (T
CABLES 1
TO REMA

* NOTE:
REFER TO
DETAIL #



EXISTING FLOOR LINE

DECK MIN. 1" BELOW FINISHED FLOOR

2X2 PT. BALUSTERS
@ 5" O.C.

3/4" X 11" COMPOSITE
DECKING ATOP 2X8'S
@ 16" O.C.

2X2 REPLACEMENTS

EXISTING

12
9

9
12

3
12

9
12

MATCH EXISTING 25 SHINGLE
COLOR @ DORMER AREAS
1X2 FASCIA TRIM ATOP 1X2
FASCIA (TRP)

1X2 RAKE TRIM
ATOP 1X2 RAKE

TRP. VINYL SIDING
VINYL CORNERBOARDS

RAIL @ 42" MIN.

91

NEW FULL
DORMER

NEW DORMER

NEW 24210

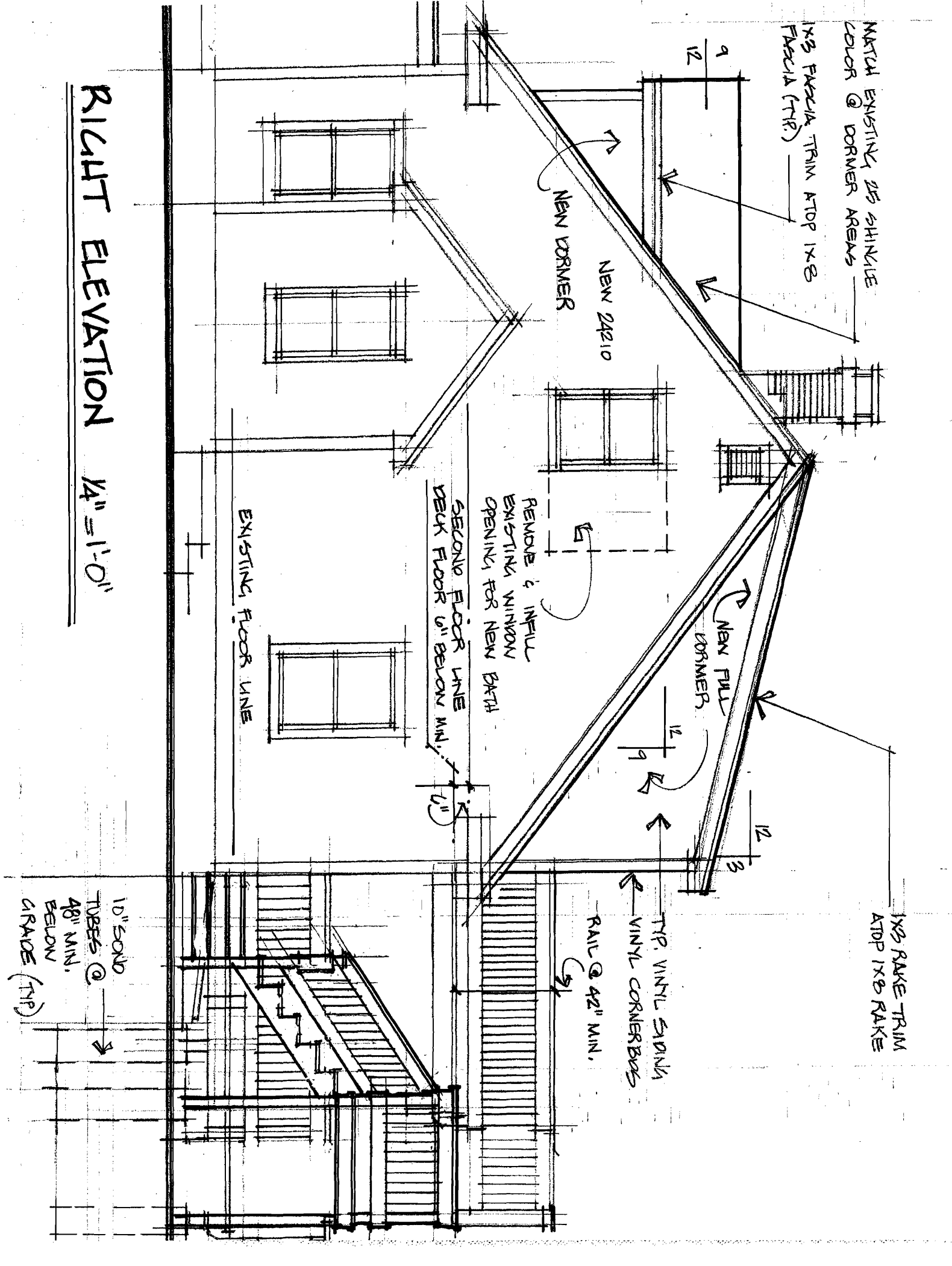
REMOVE & INFILL
EXISTING WINDOW
OPENING FOR NEW BATH

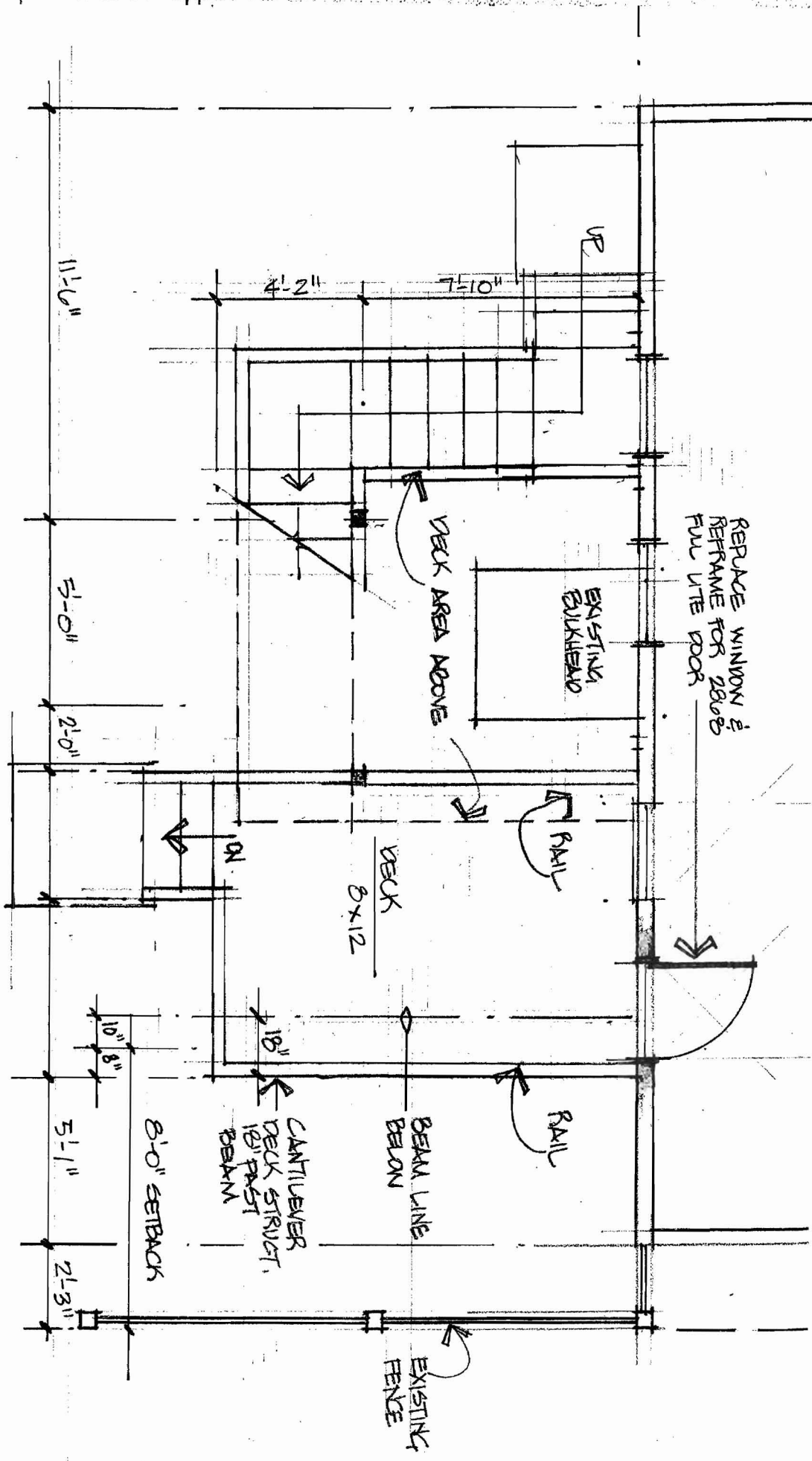
SECOND FLOOR LINE
DECK FLOOR 6" BELOW MIN.

EXISTING FLOOR LINE

10" SOND
TUBES @
48" MIN.
BELOW
GRADE (TRP)

RIGHT ELEVATION 1/4" = 1'-0"





REPLACE WINDOW &
REFRAME FOR 28x28
FULL LITE DOOR

EXISTING
BULKHEAD

DECK AREA ABOVE

RAIL

DECK
8x12

RAIL

BEAM LINE
BELOW

CANTILEVER
DECK STRUCT.
18\"/>

8'-0\"/>

EXISTING
FENCE

11'-6\"/>

4'-2\"/>

7'-10\"/>

5'-0\"/>

2'-0\"/>

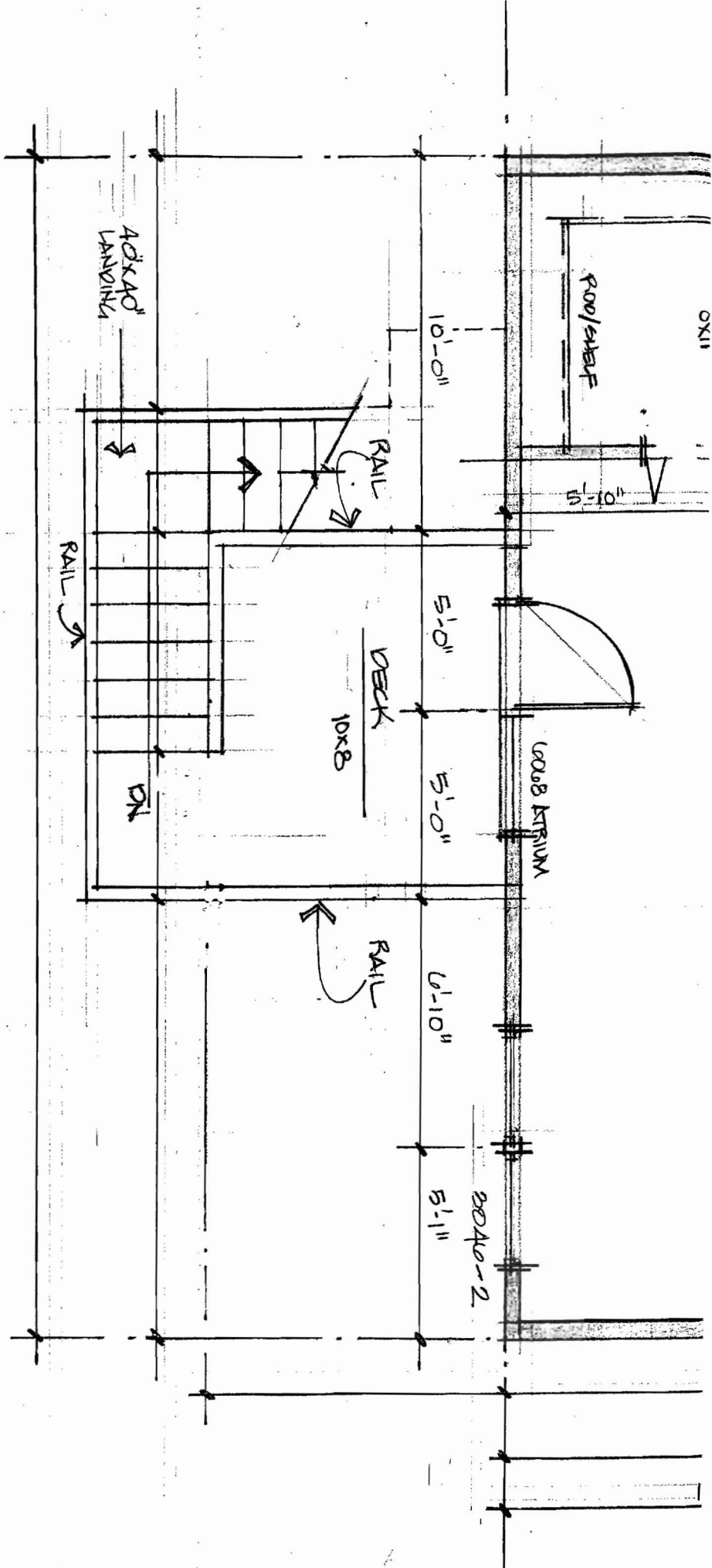
1'-0\"/>

10\"/>

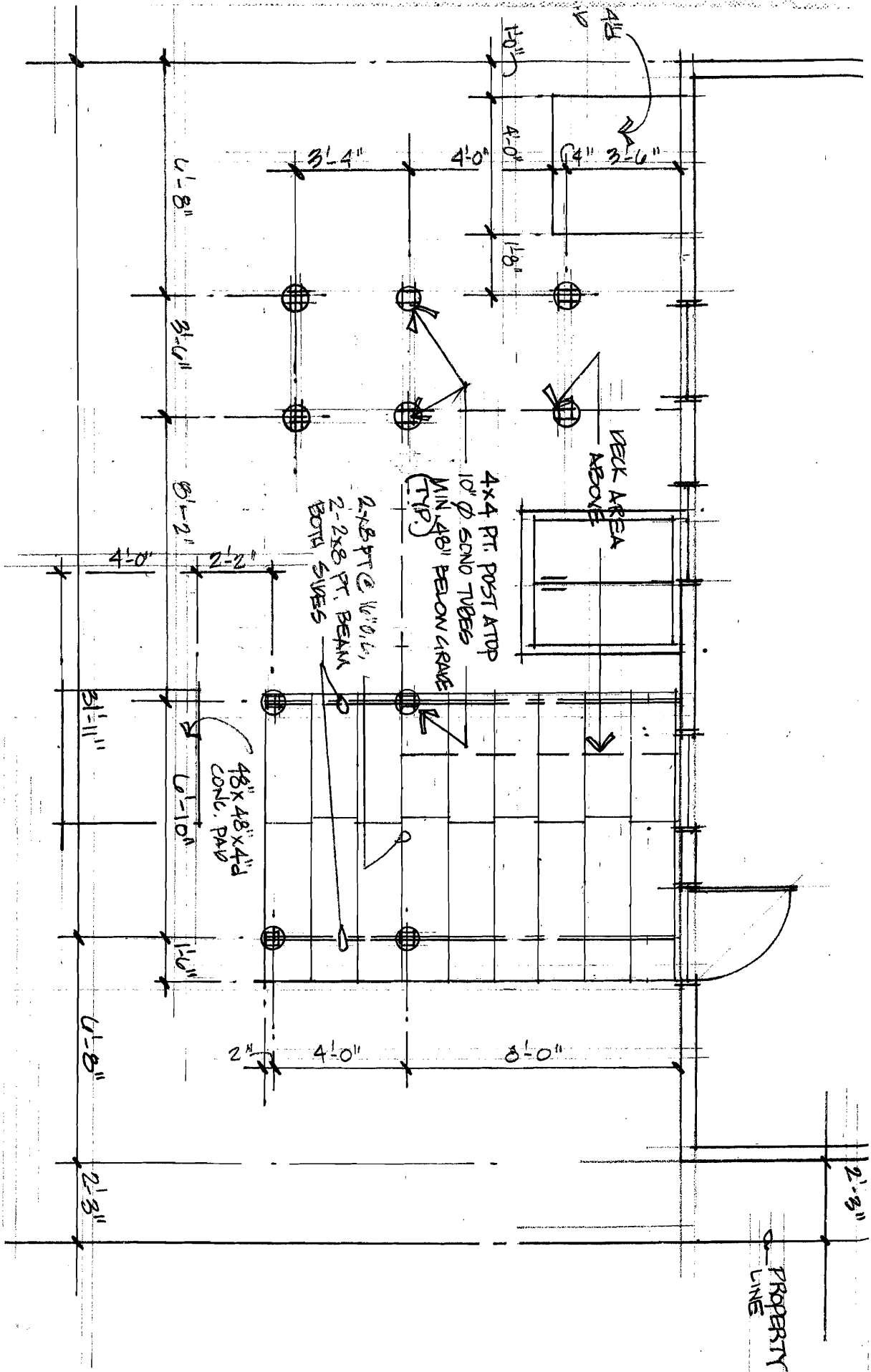
3'-1\"/>

2'-3\"/>

FIRST FLOOR DECK PLAN



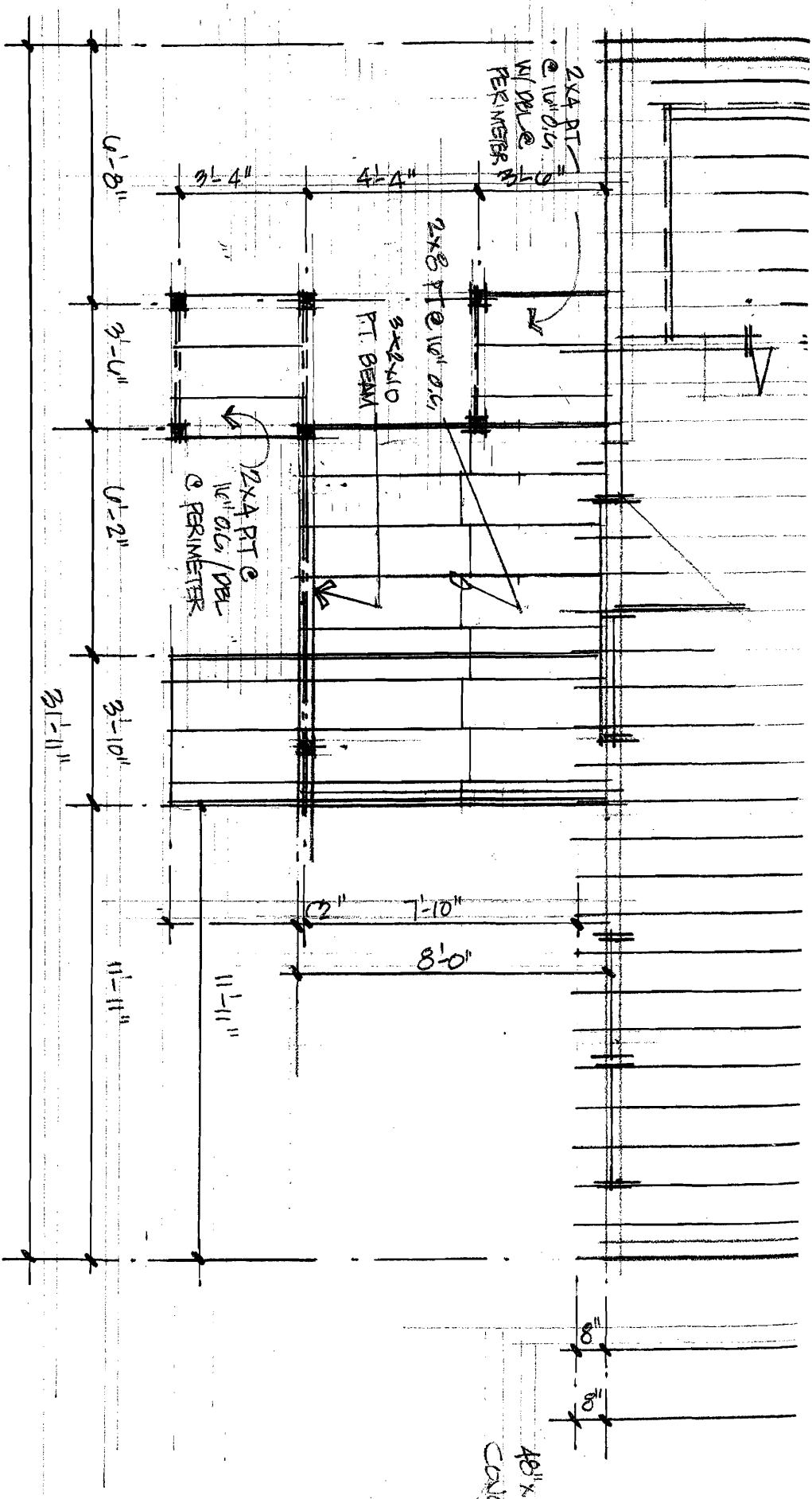
SECOND FLOOR PLAN 1/4"=1'-0"



FOUNDATION / DECK FRAMING PLAN 1/4" = 1'-0"

SECOND FLOOR FRAMING PLAN

1/4" = 1'-0"



34'-4"
 ↳ TO PROP. 1