

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 030178

MAR 27 2003

This is to certify that Jamieson David W/LeBlanc Builders
 has permission to Addition of 8'x12' Deck on 1st Floor and Deck on 2nd Floor/expand R **CITY OF PORTLAND** EyeBrow Do
 AT 61 Wellwood Rd 160 G020001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name _____

Jamie Bonke 3/27/03
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0178	Issue Date: MAR 27 2003	CBL: 160 G020001
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Location of Construction: 61 Wellwood Rd	Owner Name: Jamieson David W	Owner Address: 61 Wellwood Rd CITY OF PORTLAND	Phone: 879-7192
Business Name:	Contractor Name: LeBlanc Builders	Contractor Address: 96 Brackett Street Westbrook	Phone: 2078544170
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$289.00	Cost of Work: \$38,000.00	CEO District: 2
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: 5B BOCA 1999 Signature: JMB 3/27/03
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Proposed Project Description: Addition of 8'x12' Deck on 1st Floor and 8'x10' Deck on 2nd Floor/expand Roof with Dormer and 2 Eyebrow Dormers on Rear	Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____
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Permit Taken By: gad	Date Applied For: 03/10/2003	Zoning Approval
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<ol style="list-style-type: none"> 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	<div style="background-color: black; width: 100%; height: 150px; margin-bottom: 10px;"></div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">Historic Preservation</td> </tr> <tr> <td><input checked="" type="checkbox"/> Not in District or Landmark</td> </tr> <tr> <td><input type="checkbox"/> Does Not Require Review</td> </tr> <tr> <td><input type="checkbox"/> Requires Review</td> </tr> <tr> <td><input type="checkbox"/> Approved</td> </tr> <tr> <td><input type="checkbox"/> Approved w/Conditions</td> </tr> <tr> <td><input type="checkbox"/> Denied</td> </tr> <tr> <td>Date: _____ 9</td> </tr> </table>	Historic Preservation	<input checked="" type="checkbox"/> Not in District or Landmark	<input type="checkbox"/> Does Not Require Review	<input type="checkbox"/> Requires Review	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied	Date: _____ 9
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<input type="checkbox"/> Approved									
<input type="checkbox"/> Approved w/Conditions									
<input type="checkbox"/> Denied									
Date: _____ 9									

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0178	Date Applied For: 03/10/2003	CBL: 160 G020001
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Location of Construction: 61 Wellwood Rd	Owner Name: Jamieson David W	Owner Address: 61 Wellwood Rd	Phone: () 879-7192
Business Name:	Contractor Name: LeBlanc Builders	Contractor Address: 96 Brackett Street Westbrook	Phone: (207) 854-4170
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family	Proposed Project Description: Addition of 8'x12' Deck on 1st Floor and 8'x10' Deck on 2nd Floor/expand Roof with Dormer and 2 Eyebrow Dormers on Rear
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 03/21/2003
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 03/27/2003
Note: **Ok to Issue:**

- 1) Stairs, guard and handrail details to be submitted for approval
- 2) Separate permits are required for any electrical, plumbing or gas fireplace installation.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

03-0178

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

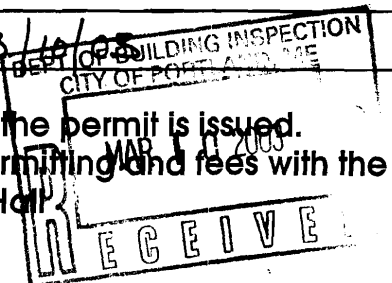
Location/Address of Construction: <u>61 WELWOOD DR</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>5720 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>160</u> Block# <u>G 020</u> Lot# <u>U</u>	Owner: <u>DAVID JAMISON</u>	Telephone: <u>879-7192</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>JEFF LEBLANC</u> <u>96 BRACKETT ST, WESTBROOK</u> <u>854-4170</u>	Cost Of Work: <u>\$38,000.00</u> Fee: <u>\$289.00</u>
Current use: <u>OWNER OCCUPIED RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>SAME</u>		
Project description: <u>NEW ROOFS</u> <u>FIRST FLOOR 8' X 12'</u> <u>second floor 8' X 10'</u> <u>EXPAND ROOF STRUCTURE W/ FULL DORMER @ REAR / 2 EYEBROW DORMERS</u>		
Contractor's name, address & telephone: <u>JEFF LEBLANC (LEBLANC BUILDERS)</u> <u>96 BRACKETT ST, WESTBROOK, ME</u> <u>854-4170</u> <u>see call</u>		
Who should we contact when the permit is ready: <u>SAME</u>		
Mailing address: <u>SAME</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 3/10/05

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall.



DAVID JAMISON
61 WELWOOD DR











This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	160 G020001
Location	61 WELLWOOD RD
Land Use	SINGLE FAMILY
Owner Address	JAMIESON DAVID W 61 WELLWOOD RD PORTLAND ME 04103

Book/Page	14288/104
Legal	160-G-20 WELLWOOD RD 61 5000 SF

Valuation Information

Land	Building	Total
\$30,240	\$58,380	\$88,620

Property Information

Year Built 1952	Style Cape	Story Height 1	Sq. Ft. 960	Total Acres 0.115		
Bedrooms 2	Full Baths 1	Half Baths	Total Rooms 4	Attic Unfin	Basement Full	

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1960	Size 14X20	Grade C	Condition A
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Sales Information

Date	Type	Price	Book/Page
11/09/1998	LAND + BLDING	\$97,000	14288-104
05/01/1997	LAND + BLDING	\$91,500	13103-222
05/01/1994	LAND + BLDING	\$79,900	11428-337

Picture and Sketch

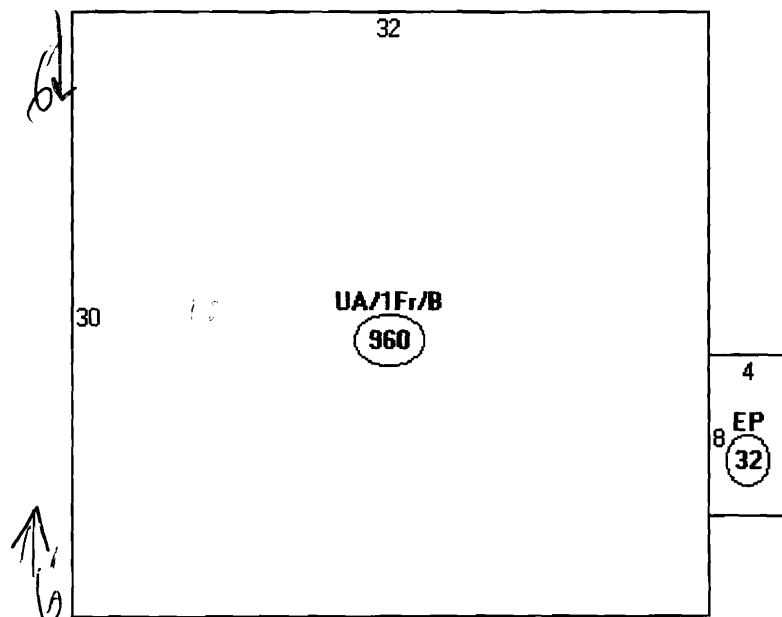
Picture

Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Descriptor/Area
 A: UA/1Fr/B
 960 sqft
 B: EP
 32 sqft

2-3-2e

982 #

$5000 \# \times 25\% = 1250 \#$

max lot coverage

existing = ~~1250~~ ⁹⁸² #

$8 \times 12 = 96$

$8 \times 8 = 64$

1142 #

$18' \times 32' = 576 \#$ existing on 2nd floor

Existing 1st floor footprint = $982 \# \times 50\% = 491 \#$ increase

$23' \text{ (to 4' knee wall)} \times 32 = 736 \#$

$(2) 3' \times 5.5' = 33$

New 2nd floor area
 $769 \#$
 $- 576 \text{ existing}$

$193 \#$ increase less than 50%

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

_____ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- ✓ _____ **Footing/Building Location Inspection:** Prior to pouring concrete
- N/A _____ **Re-Bar Schedule Inspection:** Prior to pouring concrete
- N/A _____ **Foundation Inspection:** Prior to placing ANY backfill
- ✓ _____ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- ✓ _____ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature] _____ 3/28/03
Signature of applicant/designee Date

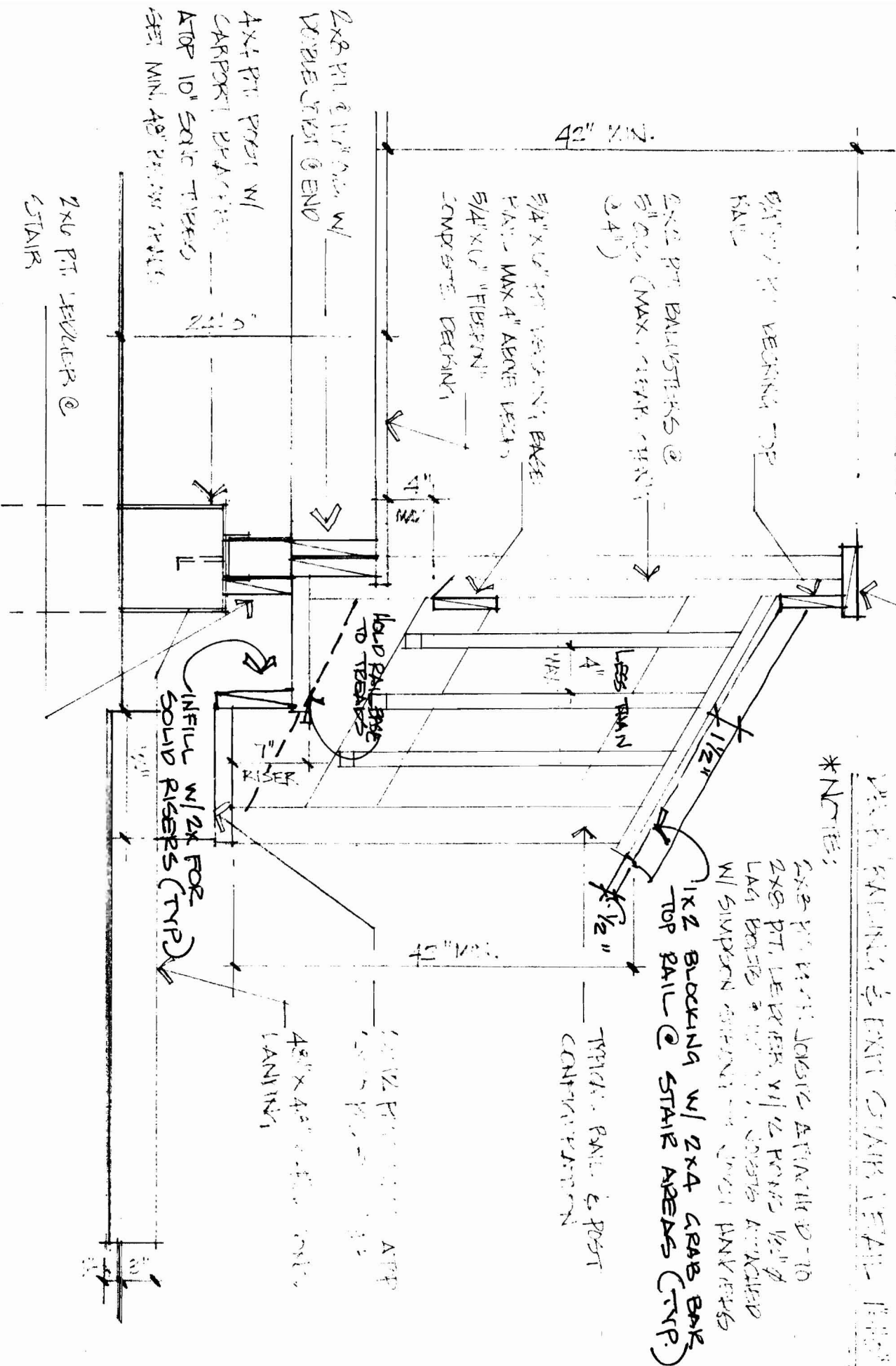
[Signature] _____ 3/28/03
Signature of Inspections Official Date

CBL: 160-6020 Building Permit #: 03-0178

1st & 2nd Level Detail

JAMESON RESIDENCE
61 WELLMOOD DR., PORTLAND

WELLWOOD & EXPT STAIR DETAIL



*NOTES:

- 2x8 PT. JOIST ATTACHED TO 2x8 PT. LEVERER W/ 1/2" HWS 1/2" LAG BOLTS & WASHERS ATTACHED W/ SIMPSON BRACKET OR JOIST HANGERS
- 1"x2" BRACING W/ 2x4 GRAB BAR TOP RAIL @ STAIR AREAS (TRP.)

TRIP-UP RAIL & POST CONTINUATION

2x12 PT. JOIST APP. 2x8 PT. LEVERER W/ 1/2" HWS 1/2" LAG BOLTS & WASHERS ATTACHED

48" X 48" CONC. PILES LANDING

INFILL W/ 2x FOR SOLID RISERS (TRP.)

Hold RAIL TO TEAKS

LESS THAN 4"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

1/2"

JAMISON RESIDENCE

61 WELLWOOD DRIVE, PORTLAND, MAINE
PROPOSED ADDITION & NEW DECKS

SHEET INDEX

- A1 TITLE/ SITE PLAN/ GENERAL NOTES
- A2 FOUNDATION/ FRAMING PLANS
- A3 FLOOR PLANS
- A4 ELEVATIONS
- A5 SECTION

GENERAL NOTES

- All construction to follow BOCA, NFPA and State and Local building codes.
- Verify all dimensions and floor to floor heights prior to construction.
- Plumbing/Heating and Electrical subcontractor to pull respective permits prior to construction start up and verify fixture clearances prior to start-up.
- Owner to provide all lighting fixtures, plumbing fixtures and appliances.

FOUNDATIONS

- Hold grade down min. 6" from top of foundation walls.
- 10" sono tubes set on min. 2400 psi undisturbed soil and held min. 48" below grade, and sono tubes to have carport bracket inset for 4x4 pt post attachment.

FRAMING

- Typical 2x6 Exterior Wall height to be 7'-4" at full dormer wall.
- Rafter bracing per manufacturers requirements
- All combination windows to have support mullions with 3-2x6 headers (typ) unless otherwise noted
- Tyvek weather break or equal at exterior shell over 1/2" OSB sheathing (typ)
- Provide 3/4" plywood sub floor atop existing 1x6 planking.
- All 2x6 exterior wall insulation to be R-19 (Kraft faced), ceilings to be 12" R-38 blanket insulation.
- All flat ceiling areas to have 2x6 ceiling rafters @ 24" OC (typ.)
- Rafter vents @ 48" OC (typ.) At tray ceilings continue rafter vents to flat area.
- Continuous 2" soffit vents through out exterior soffit area (typ.)
- Master suite to have 1/2" GWB throughout, bathroom to have 1/2" MR GWB.
- All decks to 2x8 p.t. @ 16" OC w/ railings to be min. 42" above deck attached with 2- 1/2" carriage bolts (typ.) with balusters @ 5" OC.

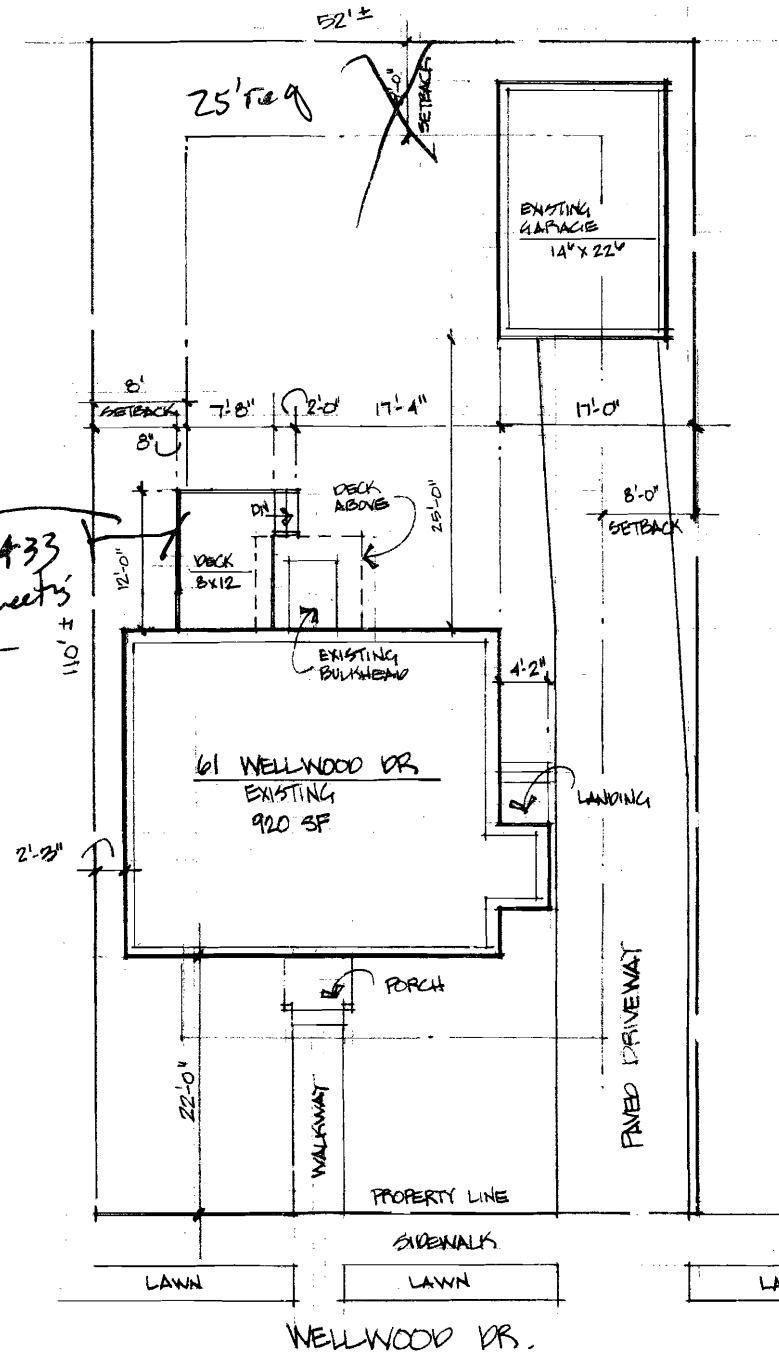
ROOFING

- Roof system to be 2-2x8 rafters @ 12" OC unless otherwise noted.
- Roof sheathing to be 5/8" CDX plywood w/ hurricane clips at 24" OC (typ)
- Minimum 36" bituthene ice & water shield at soffit areas and valleys atop min. 14" alum. flashing @ valleys. Low pitched roof @ dormer to have ice & water shield over entire structure.
- 25 year fiberglass shingles atop #30 felt starter strip and #15 felt paper through out roof.
- Continuous metal drip edge at all soffit and gable end areas.

FINISHES

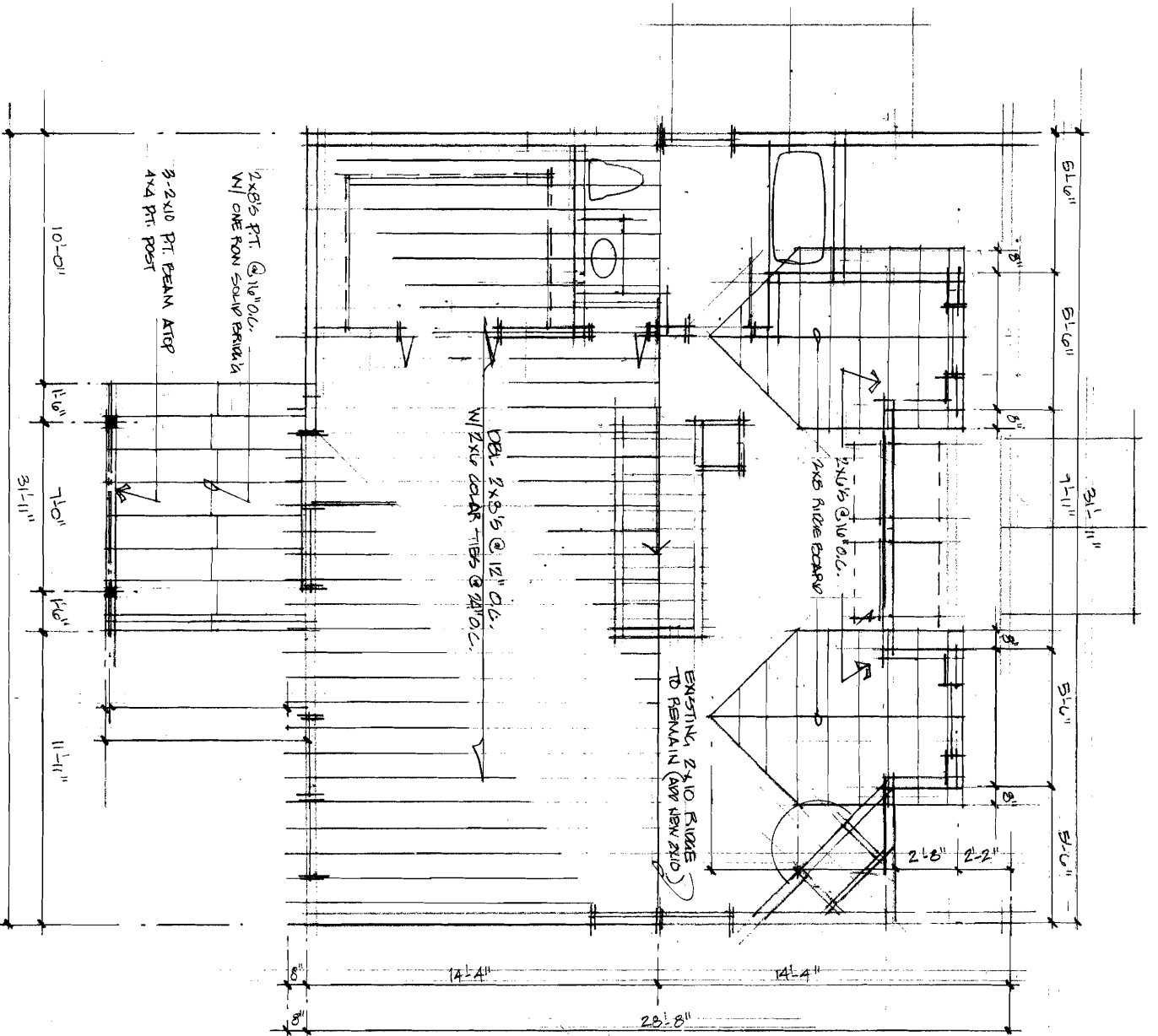
- Exterior to be vinyl siding @ 4" TW w/ vinyl corner boards, and painted wood fascias, rake boards, freeze boards.
- Windows to be trimmed w/ wood.
- All trim to be painted pine.

7'4"
OK per 14-433
Because of meet's
up with REAT
window

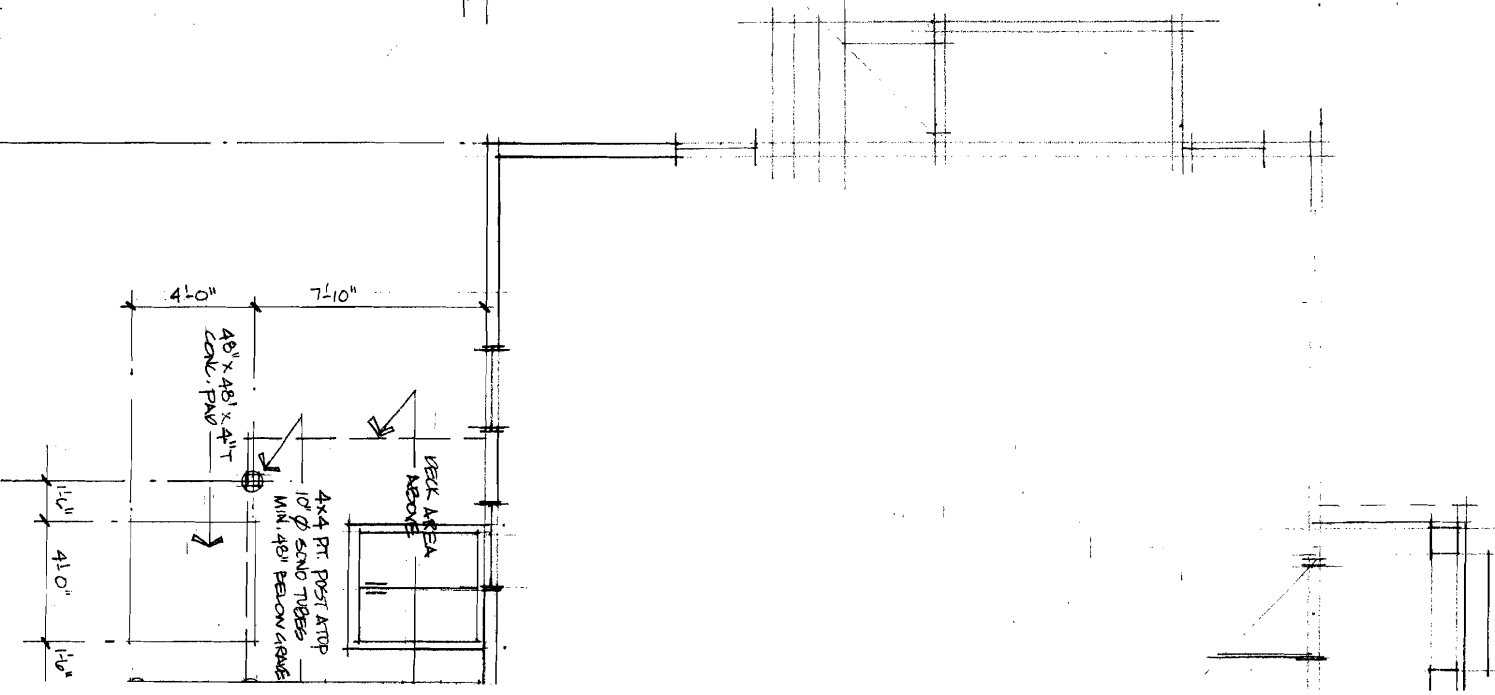


SECOND FLOOR FRAMING PLAN

1/4"=1'-0"

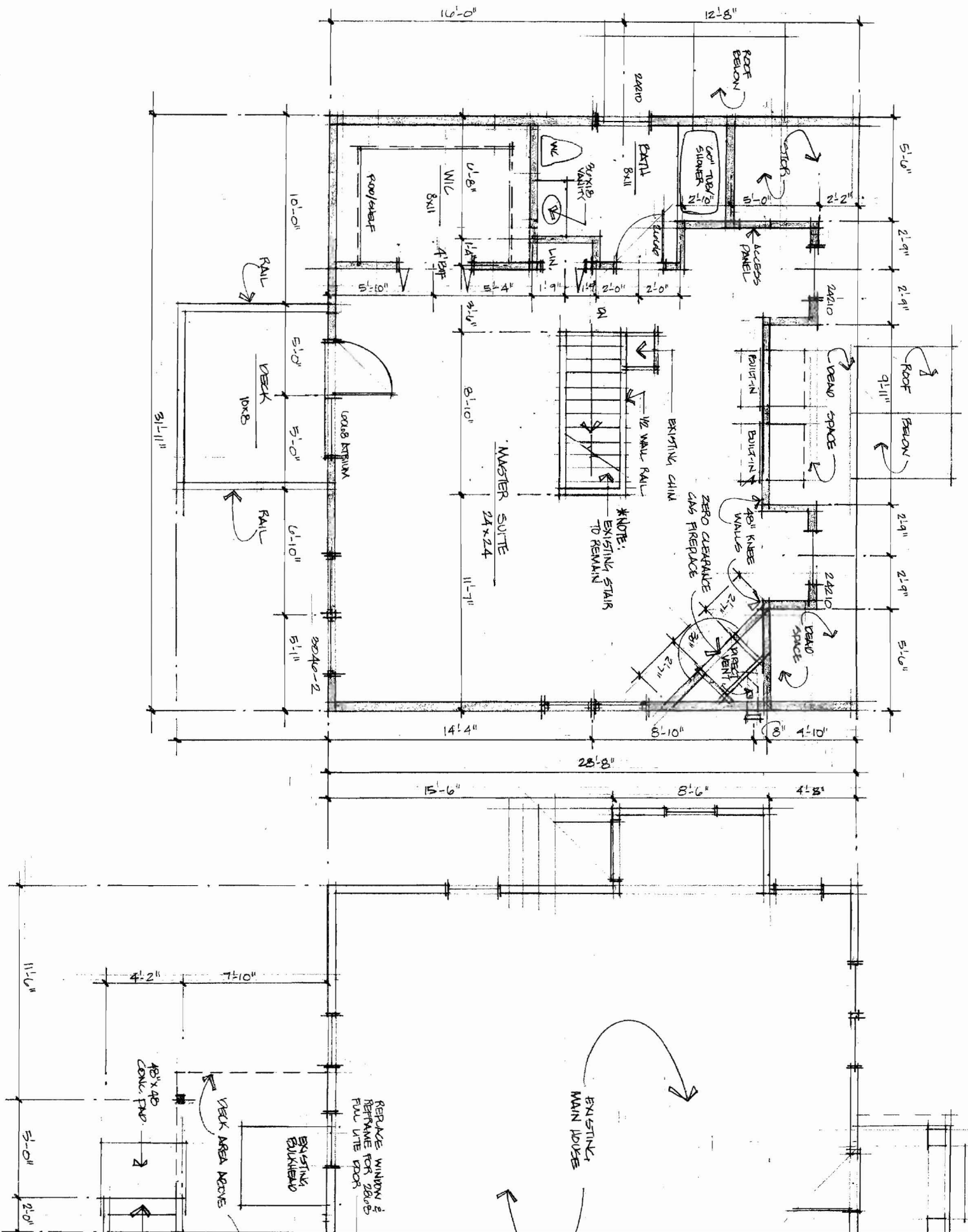


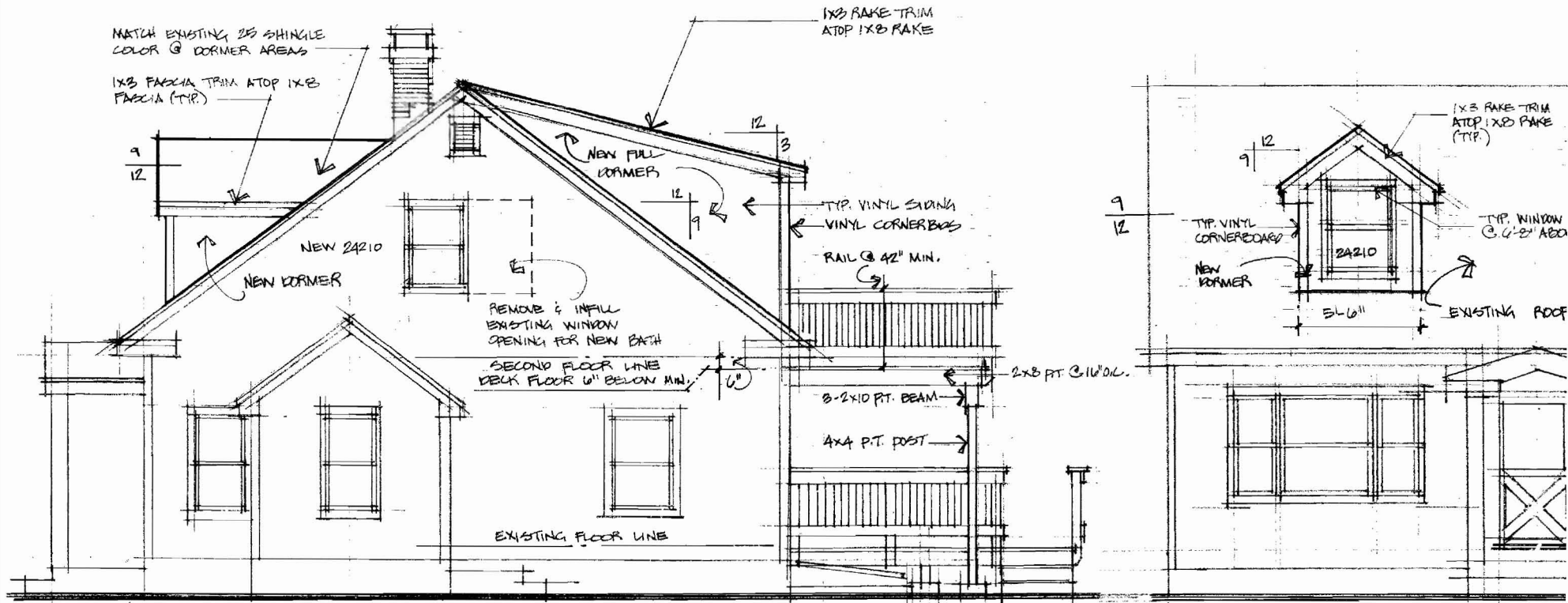
34'-4"
← TO PROF. LINE



FOUNDATION / 1

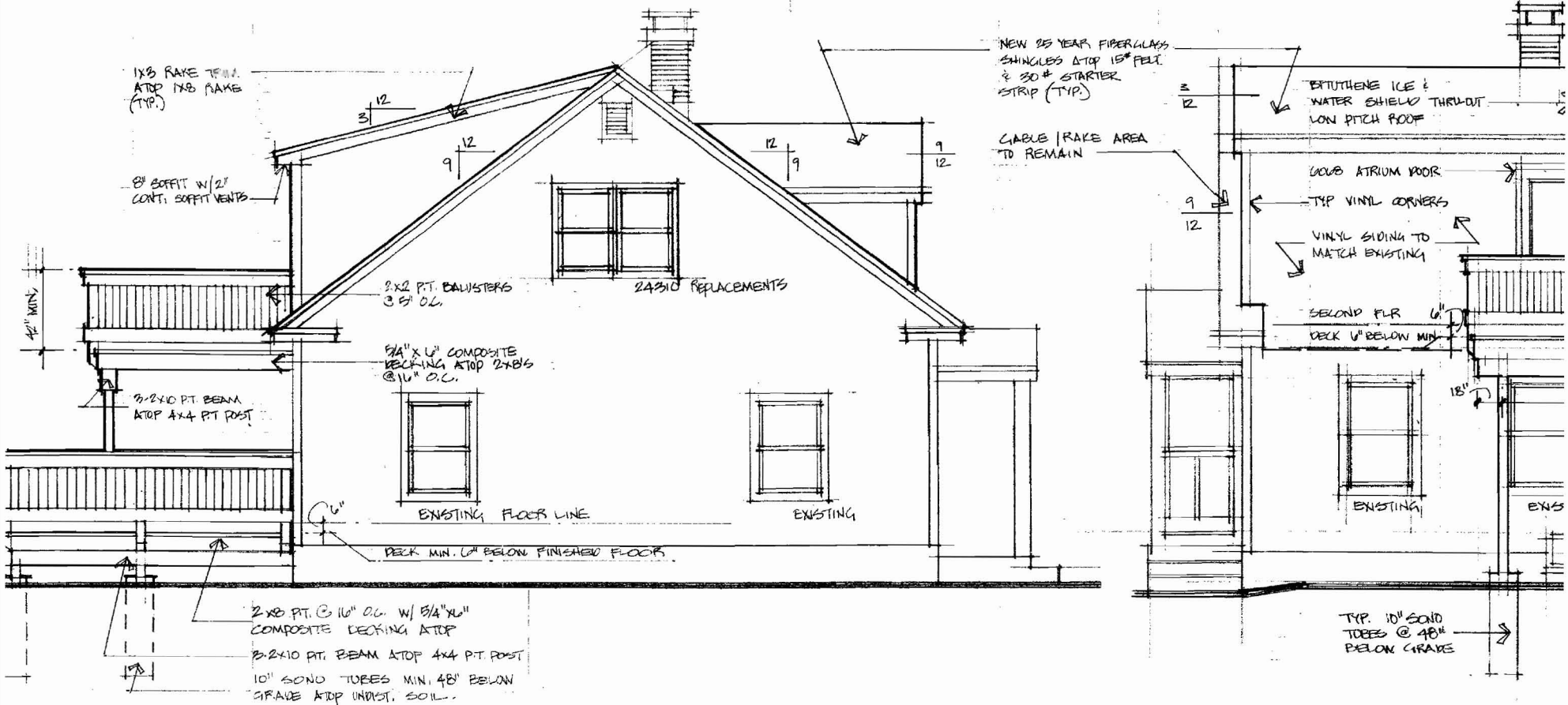
SECOND FLOOR PLAN 1/4"=1'-0"





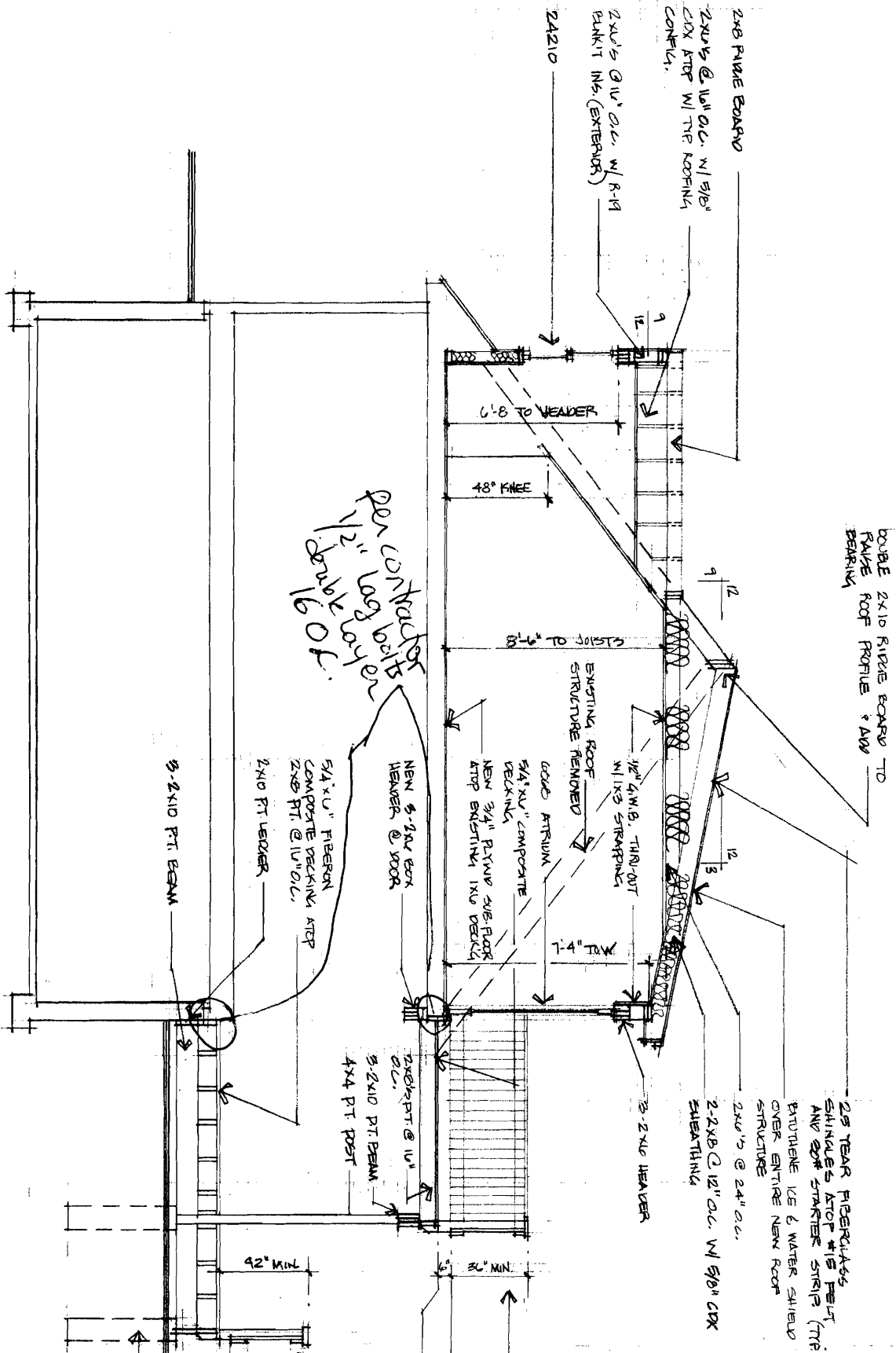
RIGHT ELEVATION 1/4" = 1'-0"

FRONT ELEVATION 1/4" = 1'-0"



LEFT ELEVATION 1/4" = 1'-0"

REAR ELEVATION 1/4" = 1'-0"



BUILDING SECTION

1/4" = 1'-0"