

10. DUE DILIGENCE: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Neither Seller nor Licensee makes any warranties regarding the condition, permitted use or value of Sellers' real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
2. SOILS TEST Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
3. SEPTIC SYSTEM DESIGN Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
4. LOCAL PERMITS Purpose: <u>obtain a building permit for a single family home</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	45	buyer	buyer
5. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
6. UTILITIES Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
7. WATER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
8. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
9. DEP/LURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
10. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
11. HABITAT REVIEW/WATERFOWL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
12. MDOT DRIVEWAY/ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
13. DEED RESTRICTION Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
14. TAX EXEMPT STATUS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
15. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____

Further specifications regarding any of the above: n/a

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any investigation or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any investigation or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an investigation is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

July 2007

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Buyer(s) Initials

AT *AL*

Seller(s) Initials

MM *JM*

11. FINANCING: This Agreement is is not subject to Financing. If subject to Financing:
- This Agreement is subject to Buyer obtaining a construction loan of 80.000 % of the purchase price, at an interest rate not to exceed prevailing % and amortized over a period of 30 years.
 - Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within 10 days from the Effective Date of the Agreement. If Buyer fails to provide Seller with such letter within said time period, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
 - Buyer to provide Seller with loan commitment letter from lender within 30 days of the Effective Date of the Agreement. If Buyer fails to provide Seller with this loan commitment letter within said time period, Seller may deliver notice to Buyer that this Agreement is terminated three days after delivery of such notice unless Buyer delivers the loan commitment letter before the end of the three-day period. If the Agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to Buyer.
 - Buyer hereby authorizes, instructs and directs its lender to communicate the status of the Buyer's loan application to Seller or Seller's licensee.
 - After (b) or (c) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed under the terms of the financing. Any failure by Buyer to notify Seller within two days of receipt by Buyer of notice from the lender shall be a default under this Agreement.
 - Buyer agrees to pay no more than 0 points. Seller agrees to pay up to \$ n/a toward Buyer's actual pre-pays, points and/or closing costs, but no more than allowable by Buyer's lender.
 - Buyer's ability to obtain financing is is not subject to the sale of another property. See addendum Yes No.
 - Buyer may choose to pay cash instead of obtaining financing. If so, buyer shall notify seller in writing and the Agreement shall no longer be subject to financing, and Seller's right to terminate pursuant to the provisions of this paragraph shall be void.

12. BROKERAGE DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following relationships:

<u>n/a</u> Licensee	of	<u>n/a</u> Agency	is a	<input type="checkbox"/> Seller Agent	<input type="checkbox"/> Buyer Agent
				<input type="checkbox"/> Disc Dual Agent	<input type="checkbox"/> Transaction Broker
<u>n/a</u> Licensee	of	<u>n/a</u> Agency	is a	<input type="checkbox"/> Seller Agent	<input type="checkbox"/> Buyer Agent
				<input type="checkbox"/> Disc Dual Agent	<input type="checkbox"/> Transaction Broker

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

13. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form.

14. MEDIATION: Earnest money disputes subject to the jurisdiction of small claims court will be handled in that forum. For all other disputes or claims arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: Yes Explain: n/a No

20. EFFECTIVE DATE/NOTICE: Any notice, communication or document delivery requirements hereunder may be satisfied by providing the required notice, communication or documentation to the party or their licensee. Withdrawals of offers and counteroffers will be effective upon communication, verbally or in writing. This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated which shall be the Effective Date. Licensee is authorized to fill in the Effective Date on Page 1 hereof. Except as expressly set forth to the contrary, the use of the term "days" in this Agreement, including all addenda made a part hereof, shall mean business days defined as excluding Saturdays, Sundays and any State/Federal holidays (including but not limited to Patriots Day, Columbus Day, Martin Luther King Holiday, etc.) Deadlines in this Agreement, including all addenda, expressed as "within x days" shall be counted from the Effective Date, unless another starting date is expressly set forth, beginning with the first day after the Effective Date, or such other established starting date, and ending at 5:00 p.m. Eastern Time on the last day counted. Unless expressly stated to the contrary, deadlines in this Agreement, including all addenda, expressed as a specific date shall end at 5:00 p.m. Eastern Time on such date.

21. CONFIDENTIALITY: Buyer and Seller authorize the disclosure of the information herein to the real estate licensees, attorneys, lenders, appraisers, inspectors, investigators and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the lender and/or closing agent preparing the entire closing statement to release a copy of the closing statement to the parties and their licensees prior to, at and after the closing.

22. OTHER CONDITIONS: Mike Michaud, one of the sellers, is a licensed real estate agent in the State of Maine.

The property being conveyed is shown as "Lot #2" on a survey titled "Proposed Lot Split Plan for a Single Family Dwelling Kineo Street, Portland, Maine" completed for Michael Michaud by Back Bay Boundary and dated January 23, 2007 and revised on January 28, 2008. Lot #2 consists of approximately 12,357.9 sq ft.

A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Revenue Services.

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Buyer's Mailing address is 35 Ray St., Portland, ME 04103

Anne Theriault 2/27/08
BUYER DATE
Anne Theriault

Eric Theriault 2/27/08
BUYER DATE
Eric Theriault

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay agency a commission for services as specified in the listing agreement.

Seller's Mailing address is 8 Fernald Terrace, Portland, ME 04103

Joy E. Michaud 2/26/08
SELLER Joy Michaud DATE

Mike Michaud 2/26/08
SELLER Mike Michaud DATE

COUNTER-OFFER

Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions:

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) _____ (time) _____ AM _____ PM.

SELLER DATE

SELLER DATE

The Buyer hereby accepts the counter offer set forth above.

BUYER DATE

BUYER DATE

EXTENSION:

The time for the performance of this Agreement is extended until _____ DATE

BUYER DATE

SELLER DATE

BUYER DATE

SELLER DATE



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Produced with ZipForm™ by RE FormsNet, LLC 18025 Fifteen Mile Road, Clinton Township, Michigan 48035 www.zipform.com



Michaud & Ther

6 Type of Heating System	not shown	Direct Vent
Means of Egress (Sec R311 & R312) Basement Number of Stairways Interior / Exterior 0 Treads and Risers (Section R311.5.3) 10" T 7 1/4" R } OK Width (Section R311.5.1) 3'-0" + - OK Headroom (Section R311.5.2) 6'-8" - OK Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) - OK		
Smoke Detectors (Section R313) Location and type/Interconnected	noted 44-#6	
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
1 Deck Construction (Section R502.2.1)	not shown	

08-0294

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL				
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	OK			
① Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Not shown			
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A			
Anchor Bolts/Straps, spacing (Section R403.1.6)	OK - noted on S1			
Lally Column Type (Section R407)	3-2x12's			
Girder & Header Spans (Table R 502.5(2))	OK			
Built-Up Wood Center Girder Dimension/Type	↓			
Sill/Band Joist Type & Dimensions	2x6 PT			
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's			
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x8's			

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10's	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8" Roof / 1/2" Wall / 3/4" Floor	
Fastener Schedule (Table R602.3(1) & (2))	Pir IRC	
Private Garage (Section R309) Living Space? <i>Yes</i> (Above or beside)		
Fire separation (Section R309.2)	OK Shows 5/8" walls + clng	
Opening Protection (Section R309.1)	not shown noted AS	
Emergency Escape and Rescue Openings (Section R310)	not noted - Egress windows	
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)	Not shown	22 x 30 scottel Hatch
Chimney Clearances/Fire Blocking (Chap. 10)	Note 4 - All - OK	
Header Schedule (Section 502.5(1) & (2))	Garage —	All Headers to be 2x10
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Shows R-38 clng R-19 walls R-19 floors	Ext Walls R-19 Ceilings R-38

U-Value windows = 0.35 or better



SITE LOCATION MAP:



MAGNETIC NORTH 2008

DUDLEY STREET
UNDEVELOPED PAPER STREET

LOT #2
12,357.9 SQ. FT.

N/F
FREDERICK ISBISTER
18740/174
LOT 198
LOT 197

N/F
FREDERICK ISBISTER
18740/174
LOT 84

Used for zoning



PARCEL TO BE CONVEYED TO THE CITY OF PORTLAND

PROPOSED GUARDRAIL—WOOD OR STEEL

1.5" TYP (HELD)

PROPOSED 5' O/S 100'

REVISIONS:

REVISED 04-10-2008: ROTATED HOUSE TO REFLECT SIDE SETBACK ON PAPER STREET
REVISED 04-07-2008: ADDED DECK AND "DOG-HOUSE" & REVISED CONTOURS.
REVISED 02-18-2007: PER PID ENGINEER COMMENTS; ADDED NEW SHEETS FOR CLARITY.
REVISION 01-23-2007: CHANGES PER DPW ADDED STREET TIES, DRAINS ETC.
REVISION 10-25-2006: ADDED LOT #2, CHANGED NOTES REFLECT LOT.
LOCATION: SOUTHWESTERLY END OF KINEO STREET PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND COUNTY SS
REGISTRY OF DEEDS

RECEIVED 2008
AT : H M. AND RECORDED IN
PLAN BOOK PAGE

0' 30' 60' 90'



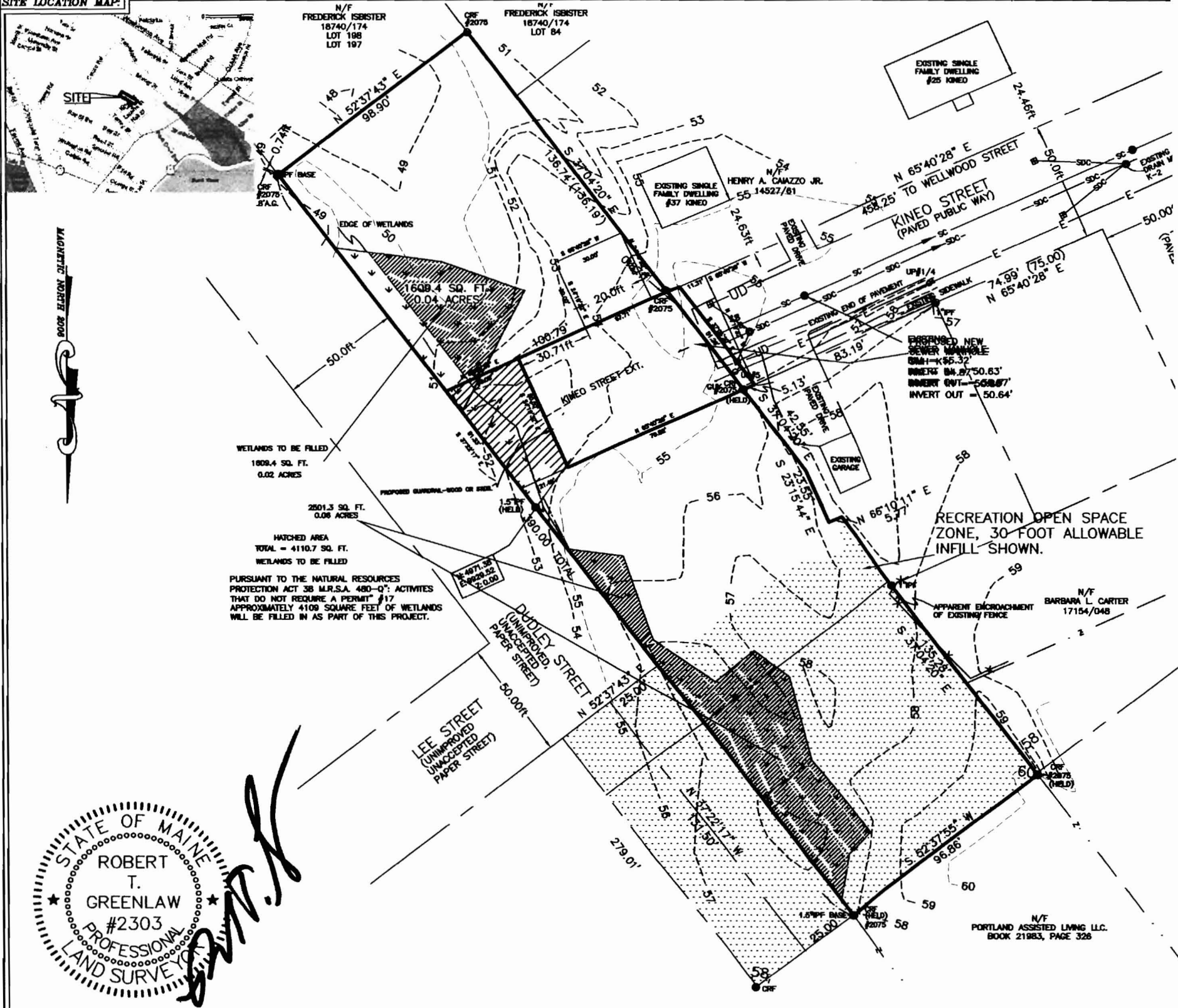
GRAPHIC SCALE

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY FOR PROFESSIONAL LAND SURVEY 2001 WITH THE FOLLOWING EXCEPT:
a) NO WRITTEN REPORT
b) NO NEW CORNERS WERE SET

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY

SITE LOCATION MAP:



WETLANDS TO BE FILLED
1808.4 SQ. FT.
0.02 ACRES

2501.3 SQ. FT.
0.06 ACRES

HATCHED AREA
TOTAL = 4110.7 SQ. FT.
WETLANDS TO BE FILLED

PURSUANT TO THE NATURAL RESOURCES
PROTECTION ACT 38 M.R.S.A. 480-Q: ACTIVITIES
THAT DO NOT REQUIRE A PERMIT #17
APPROXIMATELY 4109 SQUARE FEET OF WETLANDS
WILL BE FILLED IN AS PART OF THIS PROJECT.

STATE OF MAINE
ROBERT
T.
GREENLAW
#2303
PROFESSIONAL
LAND SURVEYOR

[Handwritten Signature]

REVISIONS:

REVISED 04-05-2007: PER CITY REVIEW, RELOCATED DRIVEWAYS LOTS 1 & 2.

REVISED 08-20-2007: PER PUD ENGINEER COMMENTS, ADDED NEW SHEETS FOR CLARITY.

REVISED 01-23-2007: CHANGED PER DPUL HOUSE TIES TO STREET LINE, DRAIN MANHOLES ETC.

REVISED 01-10-2007: ADDED 3' OFFSET MOVEMENT, ELEVATION MORE AND CLAND RAIL.

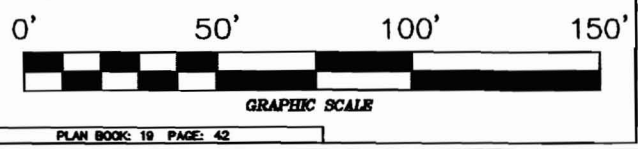
REVISED 01-08-2007: CHANGED EXT. OF KINCO AND TURN-A-ROUND. ALSO REVISED 11-28-2008

LOCATION: NORTHEASTERLY END OF KINCO STREET, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS

RECEIVED
AT : H J. AND RECORDED IN
PLAN BOOK PAGE

2007



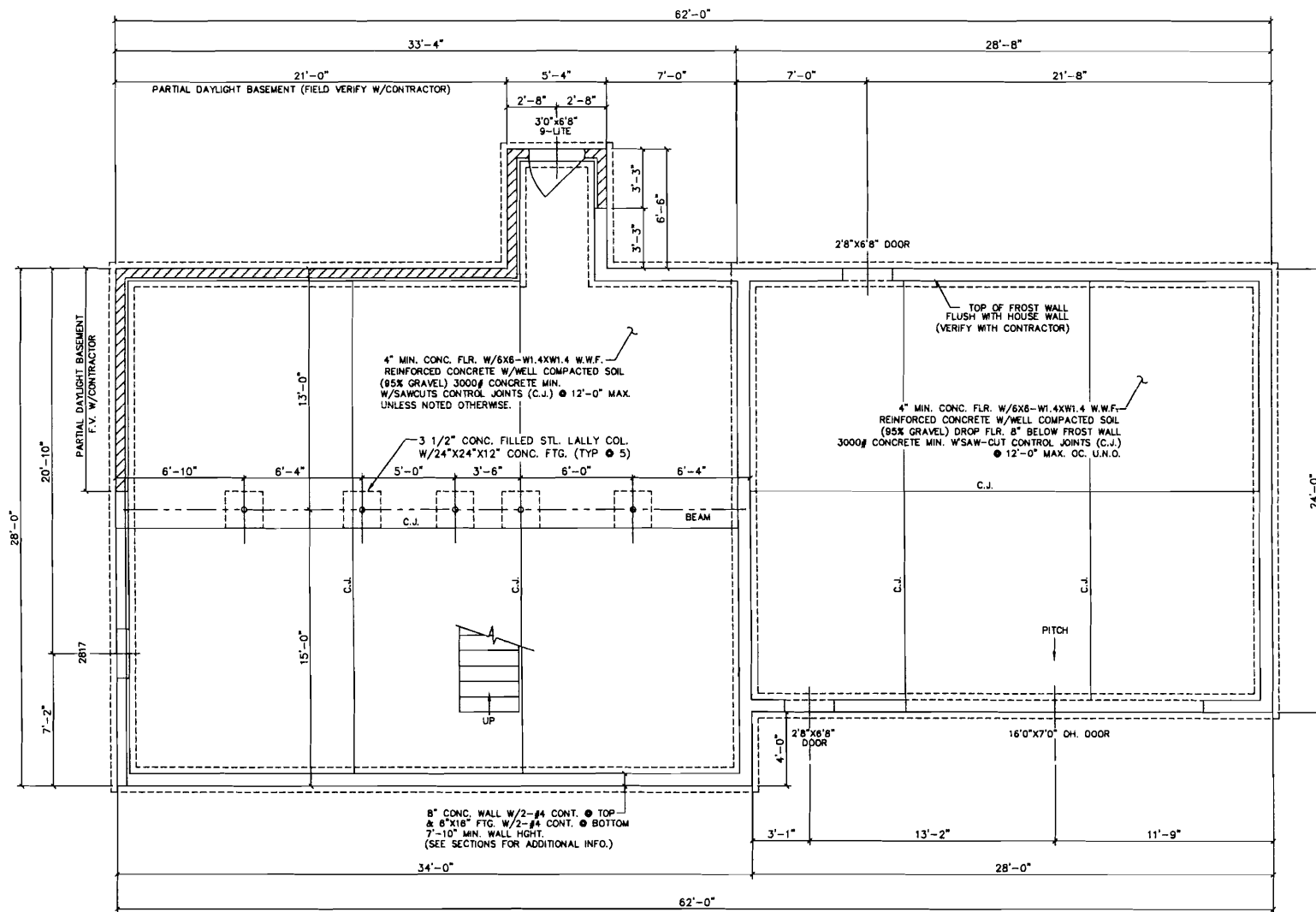
CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE
FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRA
2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION
b) NO NEW CORNERS WERE SET

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

REV
DAT



FOUNDATION NOTES:

1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS & AND ROUGH OPNGS. SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2" X 1'-0" HOOKED OR EQUIVALENT. 4'-0" MAX. OC. & 1'-0" MIN. FROM ALL CORNERS.
4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN & VERIFY PRODUCT (IE. BULKHEAD ETC.) DIMENSIONS & SPECS. BEFORE FORMS ARE SET.
8. CONTRACTOR SHALL ADJUST WALL AND FOOTINGS SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
9. (DO NOT) BACKFILL MORE THAN 3'-0" BEFORE 1ST FLR. FRAMING-JOIST & SUBFLOOR IS COMPLETE.
10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE WRAPPED IN FILTER FABRIC.
11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.
12. ALL CONCRETE SLABS SHALL HAVE SAW-CUT CONTROL JOINTS ● 12'-0" MAX. UNLESS NOTED OTHERWISE.

FOUNDATION PLAN

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING AND DESIGN ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE VERIFIED BY REGISTERED PROFESSIONAL. IF NOT IT SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.

REVISED 03-12-08

MORIN DRAFTING GORHAM, ME. 893-2462

THERIAULT RESIDENCE
Kineo Street, Portland, Maine

FOUNDATION PLAN

DRAWN: J. MORIN
SCALE: 1/4"=1'-0"
DATE: 12-29-07

S1



FRONT ELEVATION

REVISED 03-12-08

MORIN DRAFTING GORHAM, ME. 893-2462

THERIAULT RESIDENCE
Kineo Street, Portland, Maine

ELEVATION

DRAWN: J. MORIN

SCALE: 1/4"=1'-0"

DATE: 12-29-07

A1



36 INCH RAILS

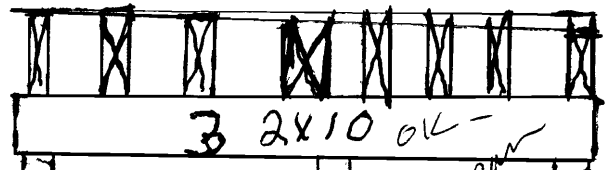
5 inch tube

12'-0" REAR ELEVATION

2x10 Joist

Deck framing 6x6 post

no steps per discussion w/ Eric Therault 4/10/07



6x6 post

9'5 post

6x6 post

2x10 Deck framing

(compost) Veranda Decking
Fiber Glass Rails

REVISED 03-12-08

4ft -10"

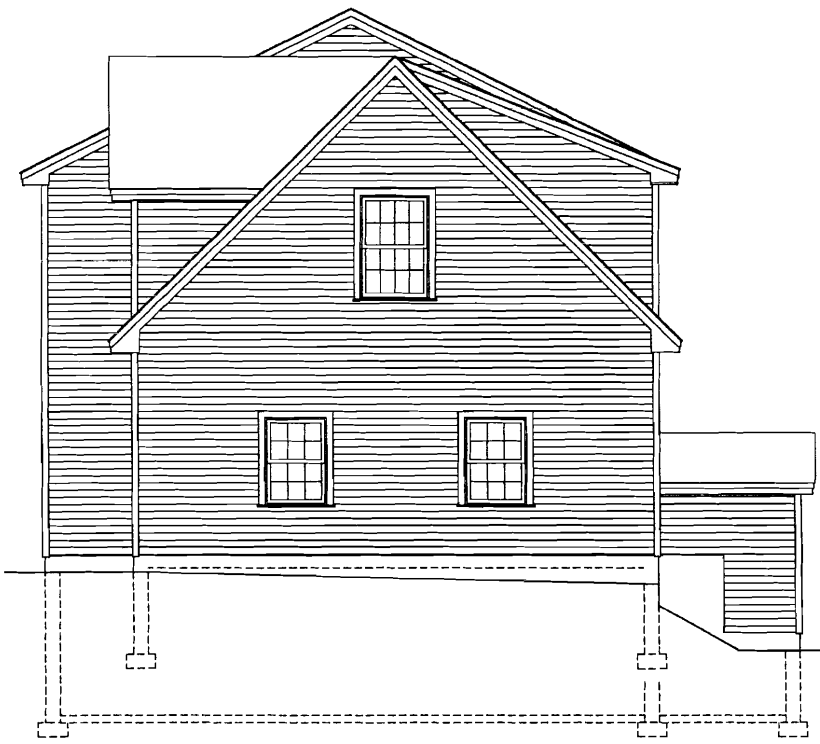
SONOTUBE 10" FOUR FEET DEEP

-10"

4ft

3" Rails 4" on center balusters

MORIN DRAFTING GORHAM, ME. 893-2462	
THERIAULT RESIDENCE Kineo Street, Portland, Maine	
ELEVATION	
DRAWN: J. MORIN	A2
SCALE: 1/4"=1'-0"	
DATE: 12-29-07	



LEFT SIDE ELEVATION

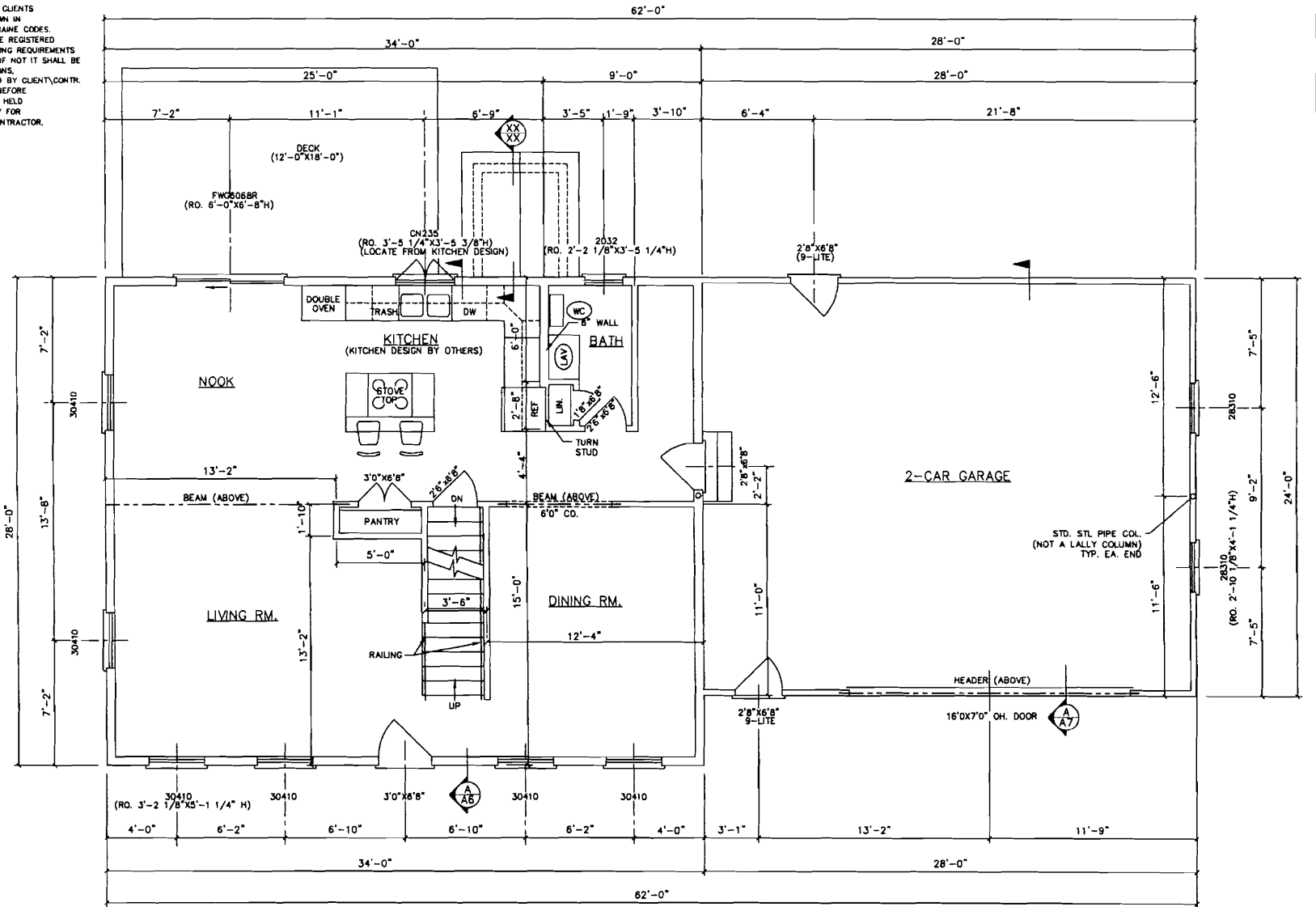


RIGHT SIDE ELEVATION

REVISED 03-12-08

MORIN DRAFTING GORHAM, ME. 893-2462	
THERIAULT RESIDENCE Kineo Street, Portland, Maine	
ELEVATION	
DRAWN: J. MORIN	A3
SCALE: 1/4"=1'-0"	
DATE: 12-29-07	

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING AND DESIGN ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE VERIFIED BY REGISTERED PROFESSIONAL. IF NOT IT SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.



FIRST FLOOR

GENERAL CONSTRUCTION NOTES:

(THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY. THEY SHOULD NOT BE INTERPRETED AS CODE OR VIEWED AS THE COMPLETE CODE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE TOWN ADOPTED CODE BEFORE ANY CONSTRUCTION BEGINS.)

- ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE CODE FASTENER SCHEDULE.
- ALL STAIRS SHALL COMPLY WITH THE TOWN ADOPTED STAIR CODE.
OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" ABOVE SURFACE OF TREAD. OPENINGS BETWEEN BALLUSTERS SHALL BE LESS THAN 4".
- ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS.
- ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER CODE REQUIREMENTS.
- THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
- ONE SMOKE DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND HARD WIRED WITH A BATTERY BACK-UP.
- PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT. OPENINGS BETWEEN BALLUSTERS SHALL BE LESS THAN 4".
- TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS:
-GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 60" FROM ANY VERTICAL SURFACE.
-GLAZING LESS THAN 60" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION.
-GLAZING BOTTOM LESS THAN 18" ABOVE THE FLOOR.
-GLAZING ENCLOSING STAIRWAY LANDINGS OR WITHIN 60" OF TOP & BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE.
- ALL EGRESS REQUIRED WINDOWS SHALL MEET NET OPENING REQUIREMENTS OF 5.0 SQ. FT. (GRADE FLOOR) AND 5.7 SQ. FT. (SECOND FLOOR) WITH A MINIMUM OPENING HEIGHT OF 24" AND A MIN. WIDTH OF 20" WITH MAX. SILL HEIGHT OF 44"

REVISED 03-12-08

MORIN DRAFTING GORHAM, ME. 893-2462

THERIAULT RESIDENCE
Kineo Street, Portland, Maine

FLOOR PLAN—FIRST FLOOR

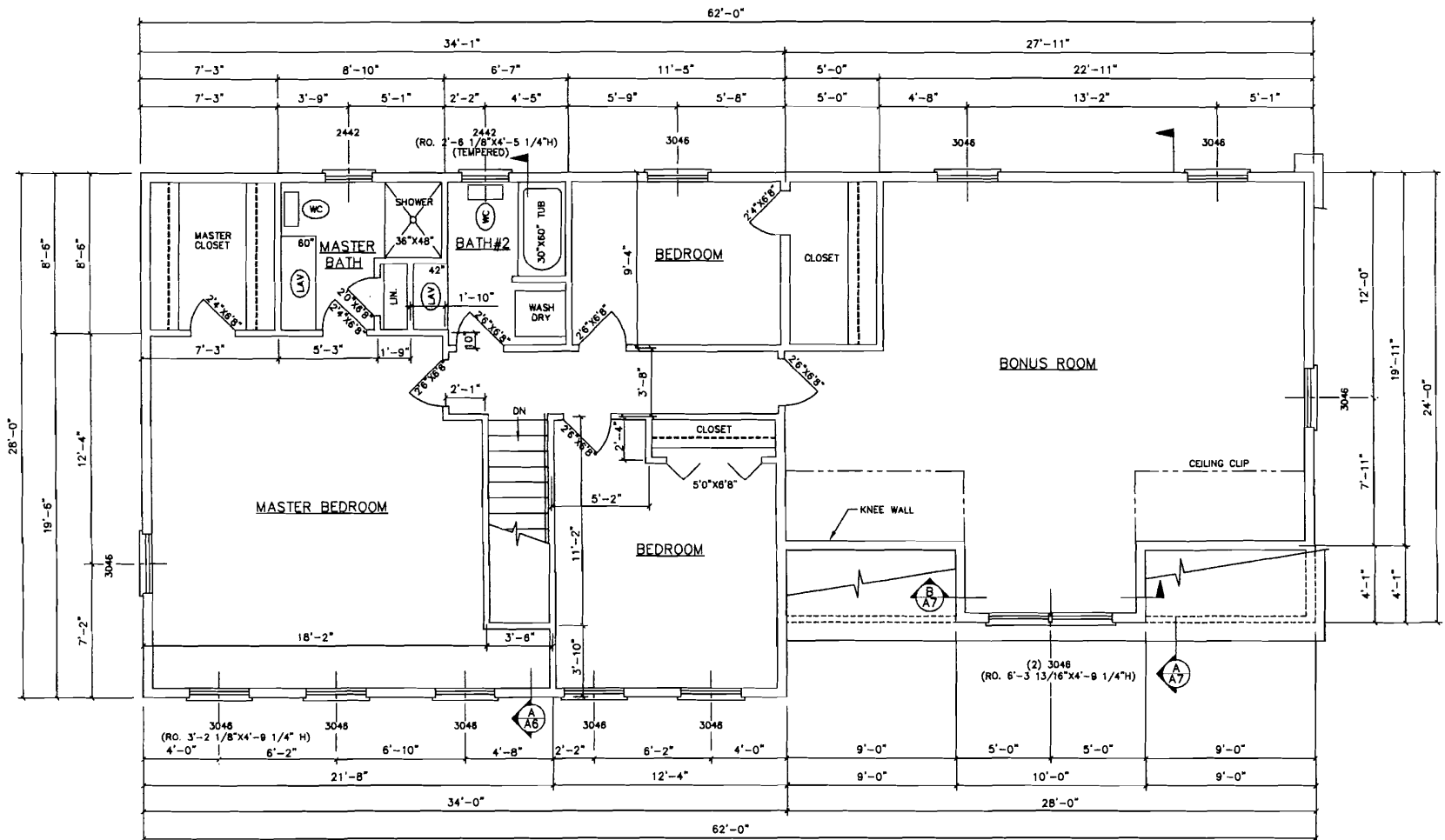
DRAWN: J. MORIN

SCALE: 1/4"=1'-0"

DATE: 12-29-07

A4

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SECOND FLOOR

GENERAL CONSTRUCTION NOTES:

(THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY. THEY SHOULD NOT BE INTERPRETED AS CODE OR VIEWED AS THE COMPLETE CODE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE TOWN ADOPTED CODE BEFORE ANY CONSTRUCTION BEGINS.

1. ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE CODE FASTENER SCHEDULE.
2. ALL STAIRS SHALL COMPLY WITH THE TOWN ADOPTED STAIR CODE.
OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" ABOVE SURFACE OF TREAD.
OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
3. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS.
4. ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER CODE REQUIREMENTS.
5. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
6. ONE SMOKE DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND HARD WIRED WITH A BATTERY BACK-UP.
7. PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
8. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS.
-GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 60" FROM ANY VERTICAL SURFACE.
-GLAZING LESS THAN 60" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION.
-GLAZING BOTTOM LESS THAN 18" ABOVE THE FLOOR.
-GLAZING ENCLOSING STAIRWAY LANDINGS OR WITHIN 80" OF TOP & BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE.
9. ALL EGRESS REQUIRED WINDOWS SHALL MEET NET OPENING REQUIREMENTS OF 5.0 SQ. FT. (GRADE FLOOR) AND 5.7 SQ. FT. (SECOND FLOOR) WITH A MINIMUM OPENING HEIGHT OF 24" AND A MIN. WIDTH OF 20" WITH MAX. SILL HEIGHT OF 44"

REVISED 03-12-08

MORIN DRAFTING GORHAM, ME. 893-2462

THERIAULT RESIDENCE
Kineo Street, Portland, Maine

FLOOR PLAN-SECOND FLOOR

DRAWN: J. MORIN

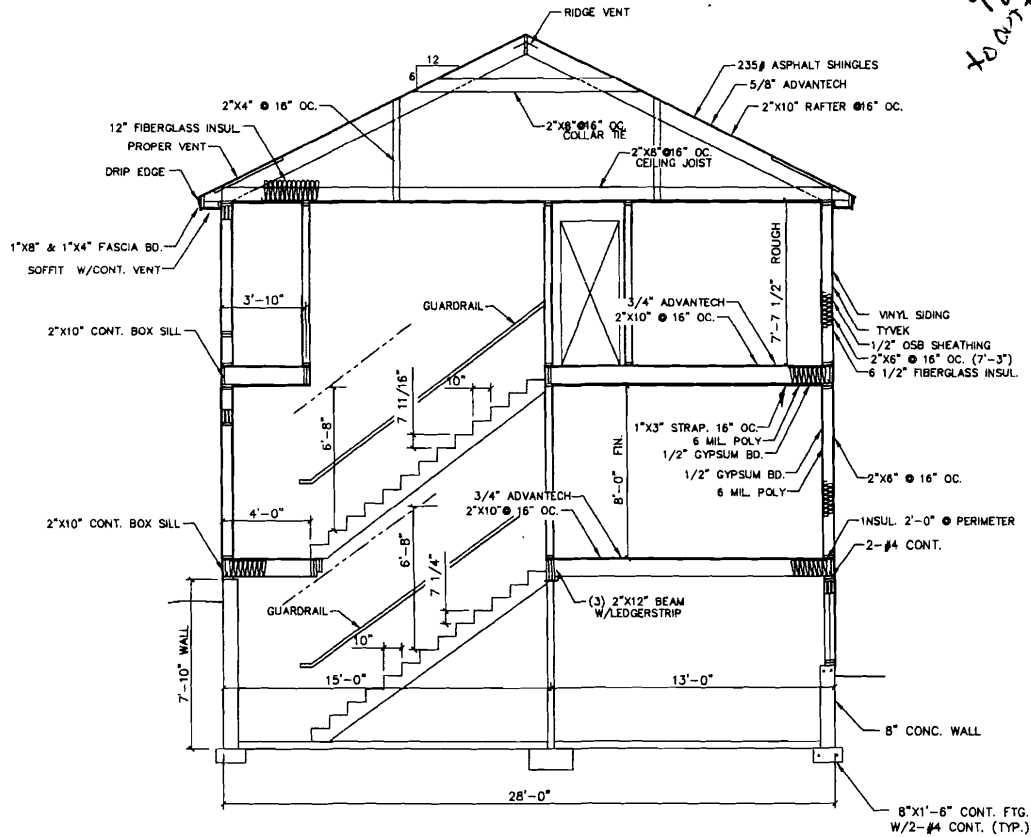
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DATE: 12-29-07

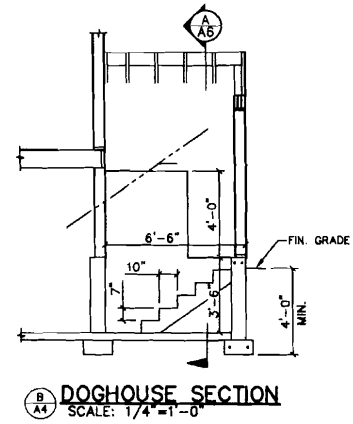
A5

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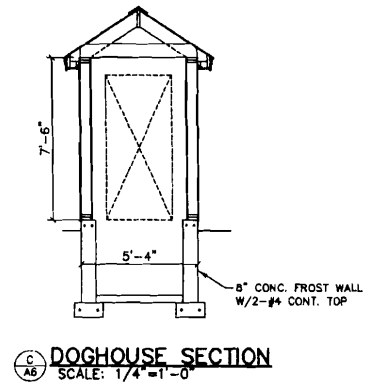
5/4
to
slab



SECTION @ HOUSE
SCALE: 1/4" = 1'-0"



DOGHOUSE SECTION
SCALE: 1/4" = 1'-0"



DOGHOUSE SECTION
SCALE: 1/4" = 1'-0"

REVISED 03-12-08

MORIN DRAFTING GORHAM, ME. 893-2462

THERIAULT RESIDENCE
Kinea Street, Portland, Maine

SECTION

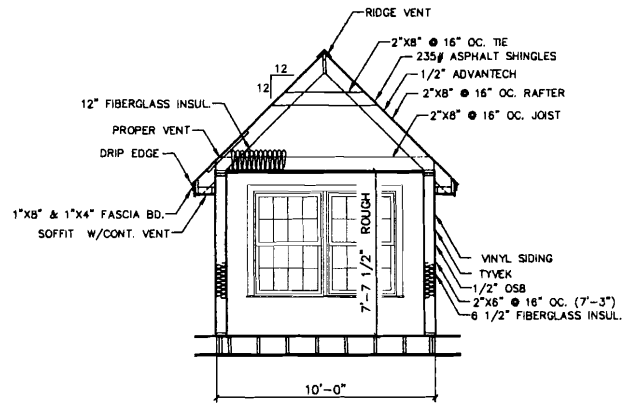
DRAWN: J. MORIN

SCALE: 1/4" = 1'-0"

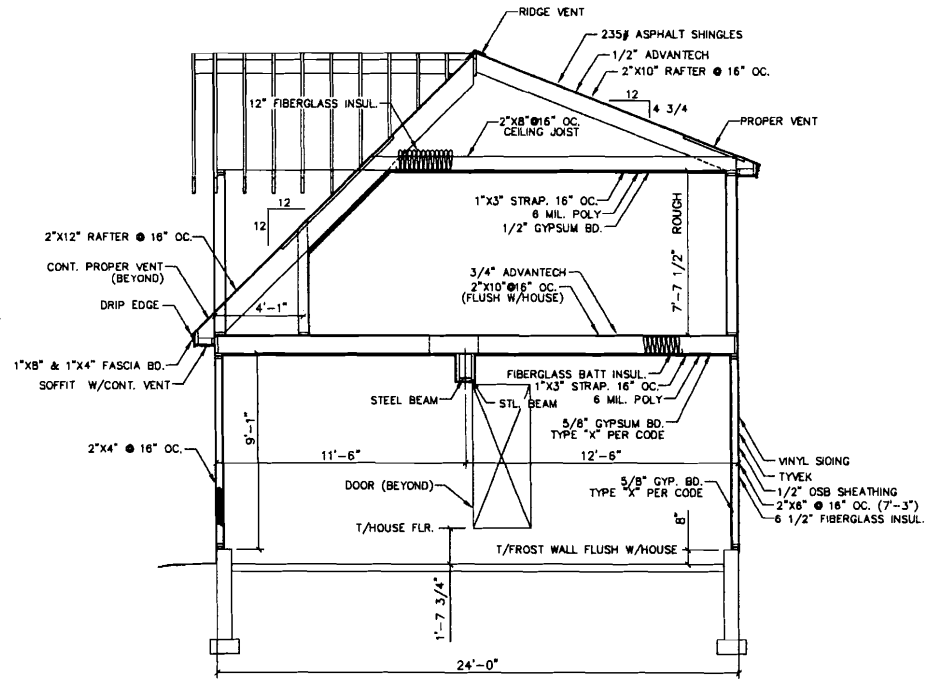
DATE: 12-29-07

A6

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SECTION @ DORMER
SCALE: 1/4"=1'-0"



SECTION @ GARAGE
SCALE: 1/4"=1'-0"

REVISED 03-12-08

MORIN DRAFTING GORHAM, ME. 893-2462

THERIAULT RESIDENCE
Kineo Street, Portland, Maine

SECTION

DRAWN: J. MORIN

SCALE: 1/4"=1'-0"

DATE: 12-29-07

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