

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0742	Issue Date: 11/25/02	CBL: 159 C016001
Location of Construction: 11 Rosedale St	Owner Name: Kibbee Mary A Trustee	Owner Address: 436 Ocean Ave
Business Name: n/a	Contractor Name: Advanced Siding & Window, Comp	Contractor Address: 335 RT 125 Brentwood
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings
		Zone: R-3

Past Use: Single Family	Proposed Use: Single Family / Add 3 Seasonal 10' x 12' Sunroom on existing deck.	Permit Fee: \$121.00	Cost of Work: \$13,600.00	CEO District: 2
Proposed Project Description: Add 3 Seasonal 10' x 12' Sunroom on existing deck.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R-3 Type: 5B BOCA 1999 Signature: JMB
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 07/08/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/11/02 JMB	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 7/11/02 JMB
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

02 0742

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

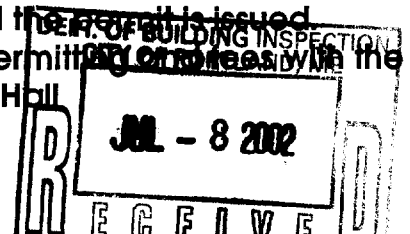
Location/Address of Construction: <u>11 Rosedale St</u> <u>436 Ocean Ave Portland ME.</u>		
Total Square Footage of Proposed Structure <u>120</u>	Square Footage of Lot <u>5220</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>159</u> Block# <u>C</u> Lot# <u>11</u>	Owner: <u>MARY KIBBEE</u> <u>436 OCEAN AVE</u> <u>PORTLAND, ME 04103</u>	Telephone: <u>207-772-0857</u>
Lessee/Buyer's Name (If Applicable) <u>MARY KIBBEE</u>	Applicant name, address & telephone: <u>ADVANCED SIDING + WINDOW</u> <u>335 RT 125 BRENTWOOD N.H.</u> <u>03833 - 1800-519-9944</u>	Cost Of Work: \$ <u>13,600.00</u> Fee: \$ <u>121.00</u>
Current use: <u>PRIVATE RESIDENCE.</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>PATIO ROOM (SEASONAL)</u>		
Project description: <u>3 SEASON SUN ROOM ON EXISTING DECK.</u>		<u>10X12</u>
Contractor's name, address & telephone: <u>ADVANCED SIDING + WINDOW, CO.</u>		
Who should we contact when the permit is ready: <u>STEVE MCPHERSON</u>		
Mailing address: <u>335 RT 125 BRENTWOOD, N.H. 03833</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>1-800-519-9944</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u> <u>STEVE MCPHERSON</u>	Date: <u>7/8/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting on projects with the Planning Department on the 4th floor of City Hall.



Applicant: Advanced Siding & Window

Date: 7/11/02

Address: 335 Rt. 125 Brentwood, NH
03853

C-B-I: 159-C-018-17

CHECK-LIST AGAINST ZONING ORDINANCE
Permit # 02-0742

Date - Existing 11 Rosedale St.

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - 3-Season Sun Room on Existing Deck

Sewage Disposal -

Lot Street Frontage - N/A

Front Yard - 25' Req - 50' shown

Rear Yard - N/A

Side Yard - 8' Req - 17 & 17' shown

Projections - N/A

Width of Lot - 75'

Height - Max 35' - 12' shown

Lot Area - ~~14,909~~ 7627 #

Lot Coverage/Impervious Surface -

$$\begin{array}{r} 672 \\ 200 \\ \hline 872 \end{array}$$
 \leftarrow 25% allowed 1906 # OK

Area per Family - ✓

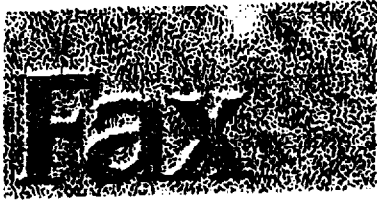
Off-street Parking - ✓

Loading Bays - ✓

Site Plan - ✓

Shoreland Zoning/Stream Protection - ✓

Flood Plains - ✓



Date: 7/16/02

To: Jeanie Burke

From: ADVANCED SIDING & WINDOW CO.

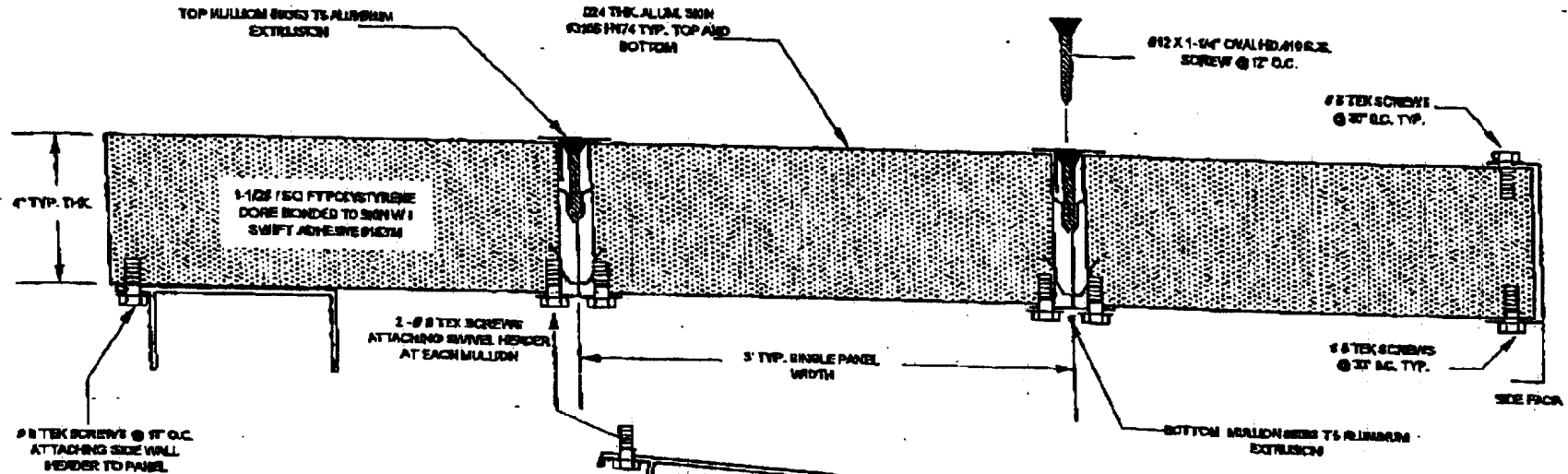
Phone: 800-519-9944

Fax: 603-679-2844

Pages: 2

Subject: Kibbel Job

CLIMATE MASTER ROOF SPAN CHART



INTER ET-240 ROOF PANEL TEST RESULTS

PANEL THICKNESS	SPAN	MAX LOAD PSF
3-3/4"	15'	85
3"	12'	60

*Per Sharon
@ Advanced
Siding*

Kubler Job

CLIMATE MASTER ROOF

joyce
MFG. CO.

1123 DELAWARE PKWY
LAKESIDE, OHIO 44021
TEL: 1-800-874-7986
FAX: 440-234-1877

Designed and approved by

Jack E. Thomas, Jr.
State of Ohio J.E.C. - 44124

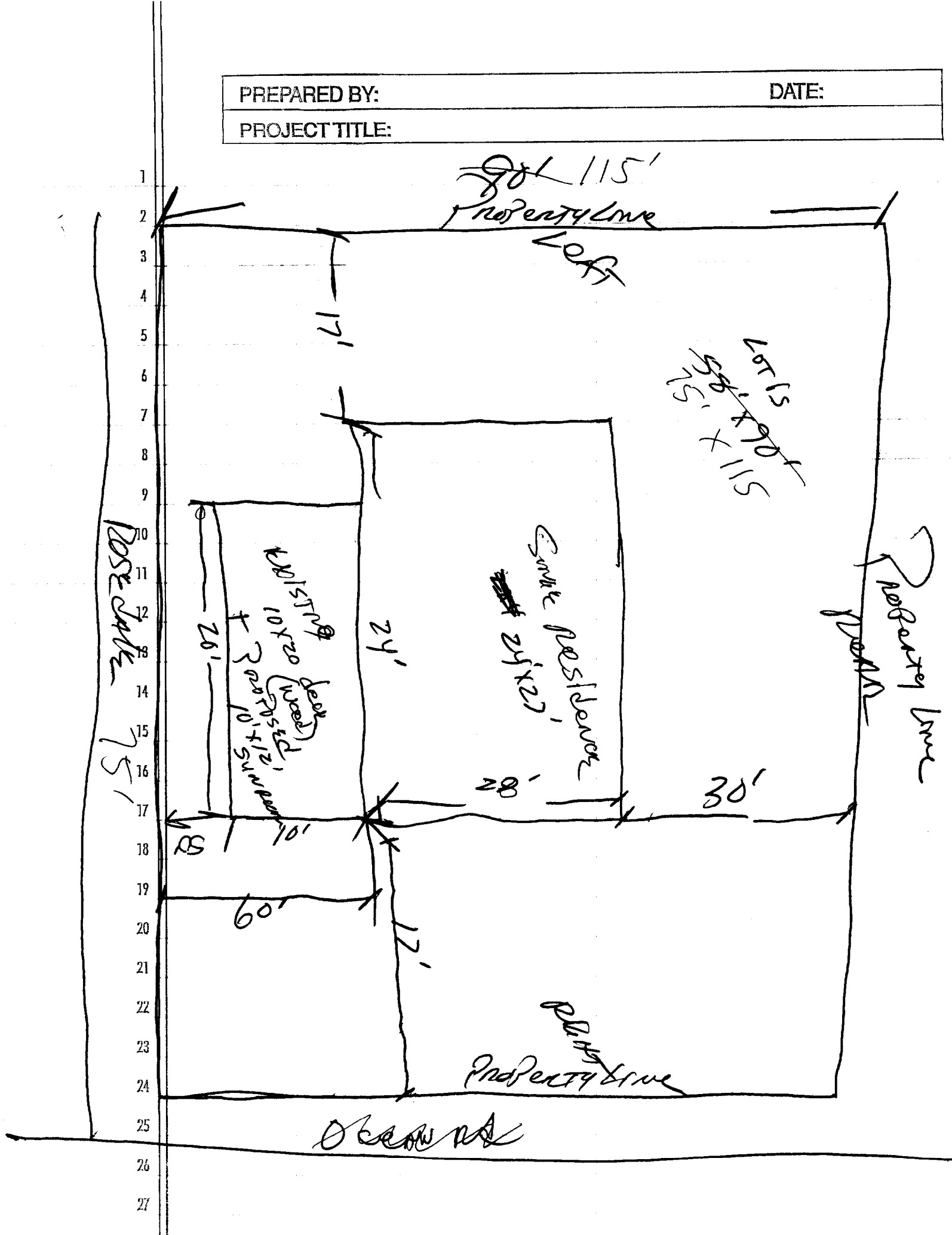
DATE: 12/18/95

JOB NO: JMF02A

DRAWN BY: G.T.P.

DRWG NO: 1 OF 1

PREPARED BY:	DATE:
PROJECT TITLE:	



PREPARED BY:

DATE:

PROJECT TITLE:

EXISTING

10x20' slab

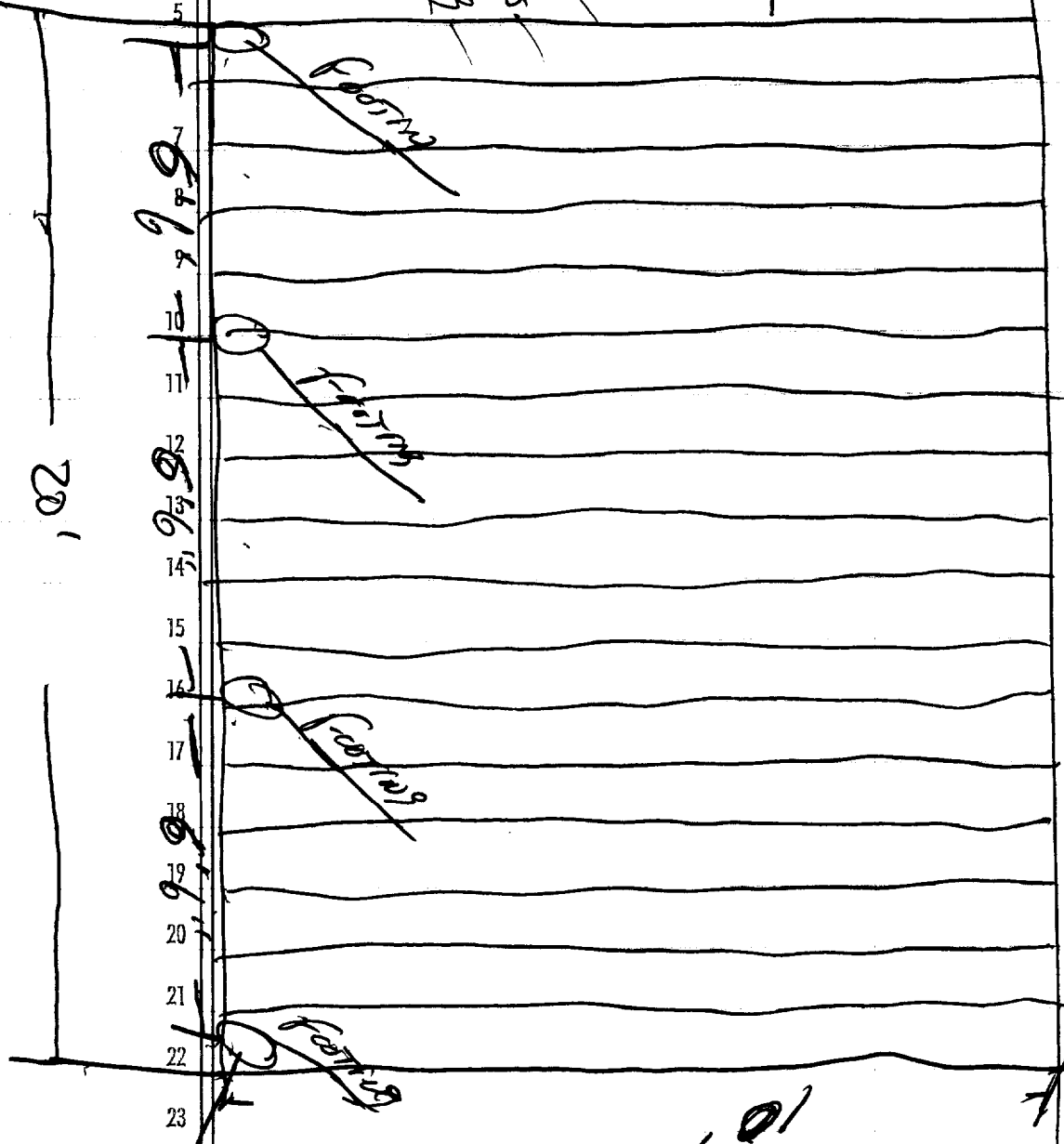
CONSIST OF

2x8 FT @ 16" OC

4 - 8" x 48" FOOTINGS

5/4x6 FT DECKING

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18
- 19
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- 21
- 22
- 23
- 24
- 25
- 26
- 27
- 28



EXISTING
Footing

20'

10'

5' 6"

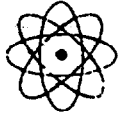
5' 6"

5' 6"

5' 6"



ADVANCED SIDING AND WINDOW Co.



SIDING / WINDOW / ROOFING SPECIALISTS

SOLARIUMS, GREENHOUSES, AND PATIO ROOMS

335 RT 125 ~ BRENTWOOD, NH 03833

Phone 800-519-9944 ~ Fax 603-679-2844 ~ Email aswc@ttlc.net

License Numbers: MA _____ • Also Licensed in Maine, Vermont, & N.H.

NAME (Mr., Mrs., Ms.) Mary Kibbee
 ADDRESS 436 Ocean Ave
 CITY Portsmouth ST ME. ZIP 04103
 PHONE Home (207) 772-0877 Work _____
 COUNTY _____ TOWNSHIP _____
 LEGAL DESCRIPTION 4- SEASON
GLASS KNEE WALL 24"

DIRECTIONS _____

PERMIT REQUIRED: YES NO HOMEOWNER TO ACQUIRE

JOB SPECIFICATIONS:
 ENCLOSURE: Size 12 x 10 Outside Dimensions (Approximate)
 Wall Style White
 Frame Color White Window/Door Color White
 Kneewall: Height 24" Style GLASS
 Transoms: Yes No Style _____
 Sliding Windows: Yes No # _____
 Sliding Doors: Yes No # _____
 Fixed Lights: Yes No # _____
 Glass Type LOW-E Tempered Yes No
 Swing Doors: Screen Self Storing Steel Full View 1/2 Lite
 Hinge (from inside): Right Left Swing: In Out
 ROOF: Size 12 x 10 Thickness 3" 3-3/4"
 Color White Style SHED

Overhang: 1 Foot Other _____
 Skylites: Yes No Fixed Venting # OPEN
 Gutter Color White Downspout Color White
 Fascia Color White Trim Color White
 DECK: Size 10 x 19

_____ InsulDeck™ Floor System
 _____ Pressure Treated Lumber
 Exterior 3/4" Plywood Decking 3/4" T&G OSB
 _____ 5/4 x 6" Decking
 Install on Existing
 Steps _____
 Skirting _____ Lattice _____ Vinyl _____ Wood
 Other _____

CONCRETE: Size _____ x _____
 _____ Install on Existing
 _____ Footers Size _____
 _____ Foundation Wall _____ Poured _____ Block
 _____ Slab (4") _____ Wire
 _____ Brick Wall Height _____ Style _____
 _____ Steps _____ Poured _____ Precast _____ Other
 _____ Sizes _____ Railing Yes No
 _____ Saw Cut #Ft. _____
 _____ Insulation Perimeter Floor
 _____ Vapor Barrier (Visquene)
 _____ Dirt Haul Away _____ Leave _____ Where? _____
 _____ Additional Slab Size _____

CONTRACT DATE 5/9/02
 Mortgage Survey: Yes No
 Picture of Customer's Home: Yes No
 Tear Out: Yes No Initial _____
 Describe _____ Haul Away _____

ELEVATION LAYOUT OR PHOTO

Size _____ x _____
 Front Wall Height _____
 Back Wall Height _____
 Right Wall Height _____
 Loft Wall Height _____
 Attach To: _____ Overhang Wall
 Gutter _____ Remove
 House Wall _____ Leave
 Existing Roof _____ Ranch
 Condition _____ 2-Story

Floor Height Above Grade _____ Distance Below House Floor _____

SKETCH:
 (use reference points, doors, windows, etc.)
INDICATE OPERATIONS OF DOORS

ASWC agrees to obtain and bear the expense of obtaining a building permit. In the event variances or certified plot plans are required. ASWC will make arrangements, and the homeowners shall bear the expense.

NOTE: EXISTING DECKS MAY REQUIRE ADDITIONAL FOOTINGS (NOT QUOTES HEREIN). THE COST PER FOOTING IS \$250 EACH.

TOTAL INVESTMENT: \$ ~~12,500.00~~ 13,600.00
PAYMENT SCHEDULE: DEPOSITS
 Deposit 30% 4,080.00 Delivery 25% 3,400.00
 Remeasure 30% 4,480.00 Completion 15% 2,040.00

ATTENTION: Please keep this as your record of the style of patio room being manufactured for you. The sales representative has completed this form in my/our presence and has explained all of the above information to my/our satisfaction. I/We understand that our order will be placed into production three working days from the date and following that an installation mechanic will visit my/our home for a pre-installation inspection. I/We agree to all provisions of this Agreement including the reverse side hereof which are incorporated herein by reference, and acknowledge that I/we received a copy of this Agreement before I/we signed below.

Insulation Perimeter Floor
Vapor Barrier (Visquene)
Dirt Haul Away _____ Leave _____ Where? _____
Additional Slab Size _____

PAYMENT SCHEDULE:

DEPOSIT
Deposit 30% 4,488.00 Delivery 25% 3,906.00
Remeasure 30% 4,488.00 Completion 15% 2,040.00

ATTENTION: Please keep this as your record of the style of patio room being manufactured for you. The sales representative has completed this form in my/our presence and has explained all of the above information to my/our satisfaction. I/We understand that our order will be placed into production three working days from the date and following that an installation mechanic will visit my/our home for a pre-installation inspection. I/We agree to all provisions of this Agreement including the reverse side hereof which are incorporated herein by reference, and acknowledge that I/we received a copy of this Agreement before I/we signed below.

The Contractor represents that it carries Workmen's Compensation and Public Liability Insurance in amount equal to or greater than \$500,000. **PROMISE TO PAY:** Owner(s) agree to pay this balance in full to the Installation Mechanics on the date of substantial completion. **GOVERNING LAW:** The terms of this agreement shall be governed by the laws of the state in which the work is being performed. This Contract may be rescinded by the Buyer until midnight of the third business day following the date hereof by giving written notice of recession to the Contractor at his place of business given in this Contract. IF after the recession period but prior to the time the Contractor starts performance of this Contract, Buyer fails or refuses to accept delivery of the goods or performance of the services covered hereby, Buyer agrees to pay to Contractor as liquidated damages an amount equal to 1/3 the Cash Price stated herein.

IN WITNESS OF, the parties have hereunto signed their names this 9 day of May 2002.

Bruce McKinley
Marketing Representative

ACCEPTED: _____
OFFICER OF ADVANCED SIDING, INC.

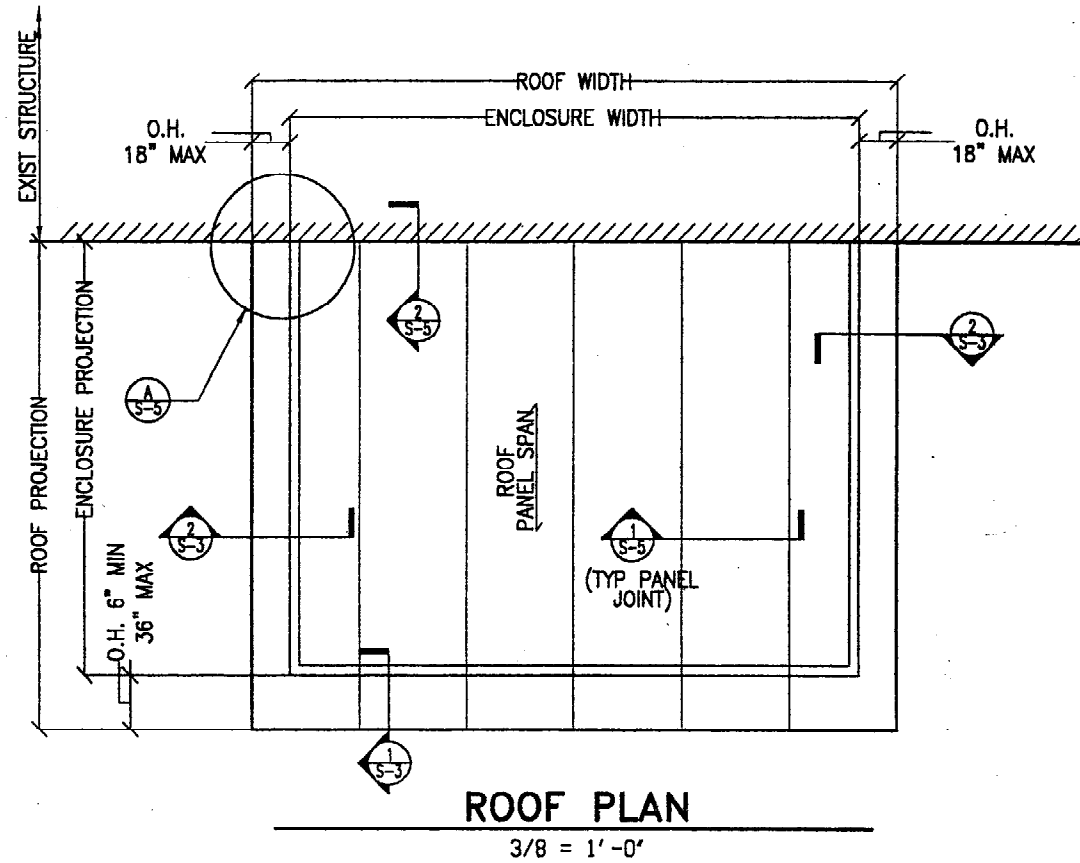
SIGNED: Mary Black Killee
OWNER

BY: _____
AUTHORIZED SIGNATURE TITLE

SIGNED: _____
OWNER

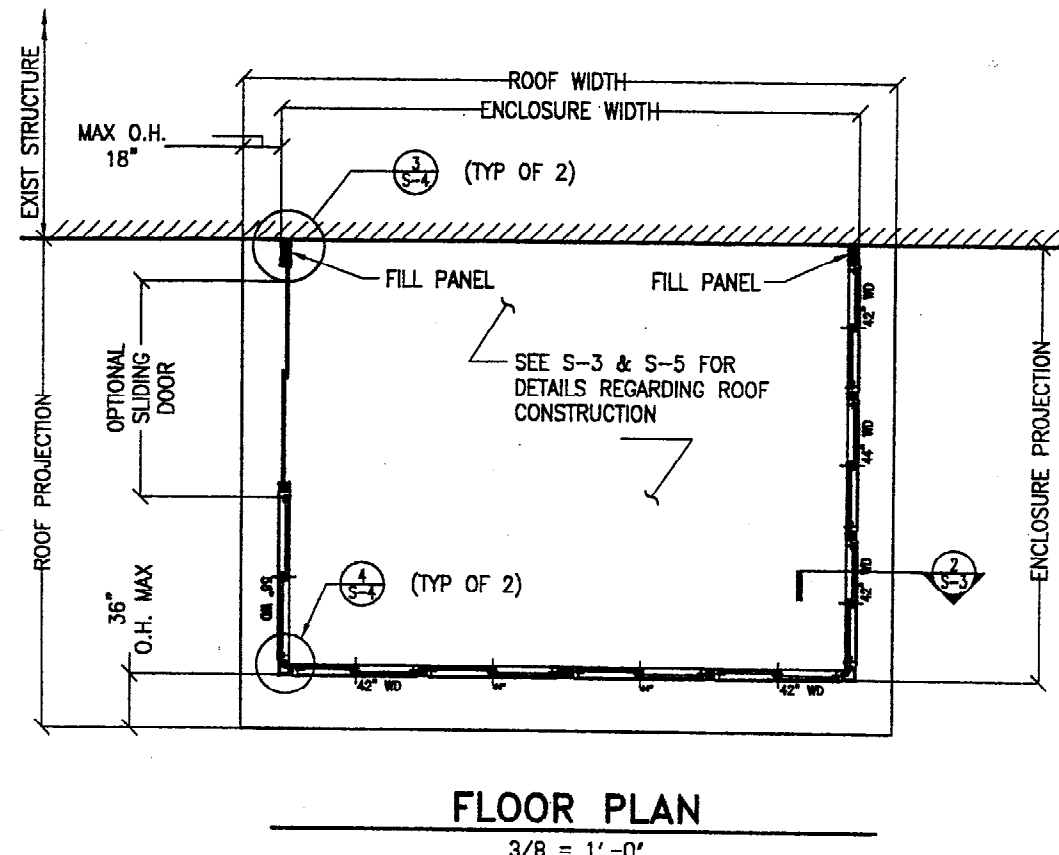
NOTICE: The terms of this agreement are contained on both sides of this page.

PRELIMINARY, NOT FOR CONSTRUCTION



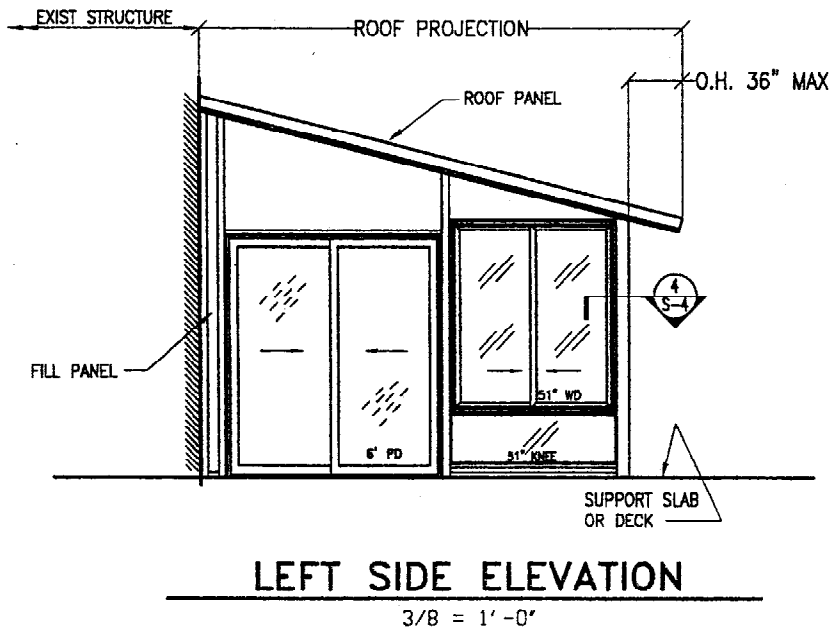
ROOF PLAN

3/8 = 1'-0"



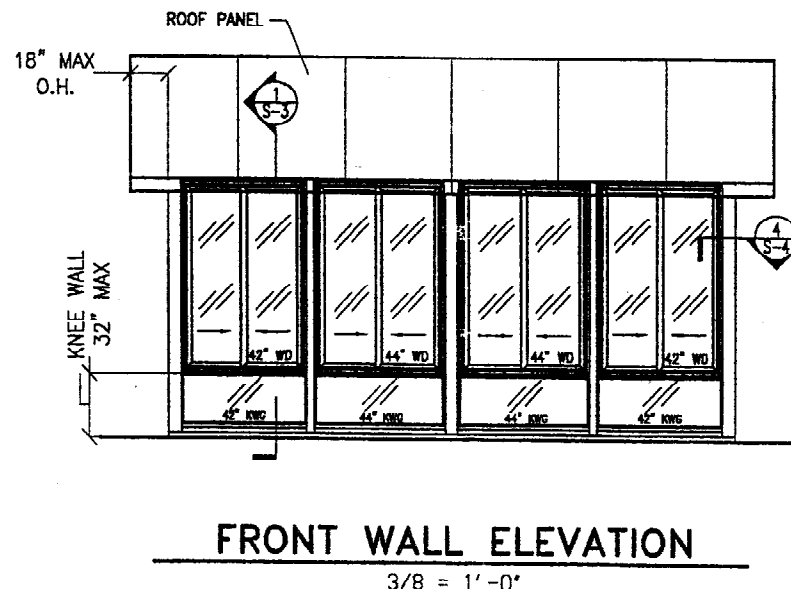
FLOOR PLAN

3/8 = 1'-0"



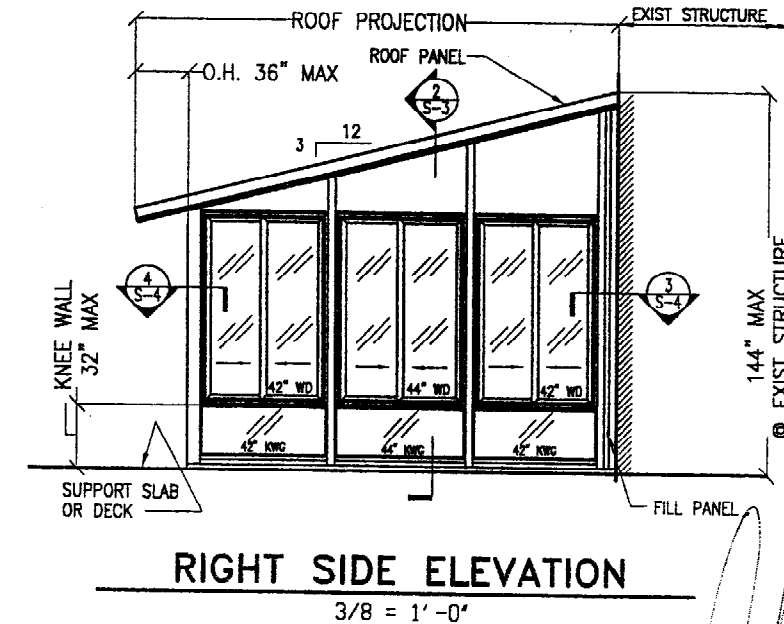
LEFT SIDE ELEVATION

3/8 = 1'-0"



FRONT WALL ELEVATION

3/8 = 1'-0"

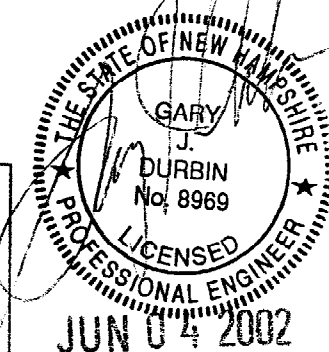
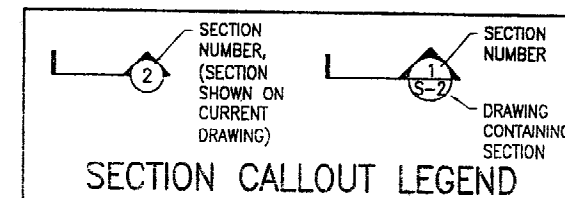


RIGHT SIDE ELEVATION

3/8 = 1'-0"

TYPICAL STUDIO STYLE ENCLOSURE

3/8 = 1'-0"

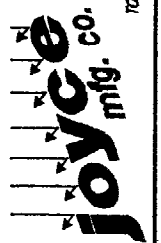


THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TITLE
LEISURE ROOM 3000
ELEVATIONS, ROOF PLAN,
FLOOR PLAN

ORDER NUMBER: STANDARD SET
DRAWN BY: G. DURBIN
CHECKED BY: G. DURBIN
SCALE: AS NOTED
DATE: APRIL 2, 2002

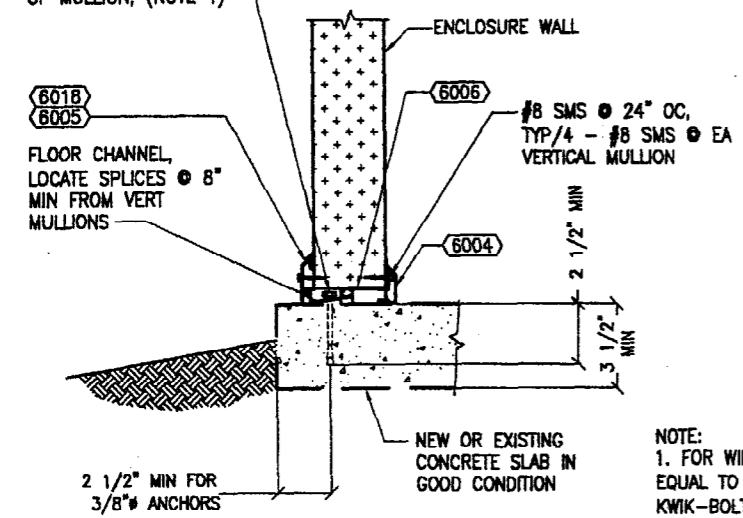
1125 BEREA RD. PMB. 7
BEREA, OH 44017
PH: (440) 239-9100
FAX: (440) 239-1812
TOLL FREE: (800) 824-7088



REV.	DATE	BY	COMMENT

SIZE: D
SHEET NO.
S-1
SHEET 1 OF 5

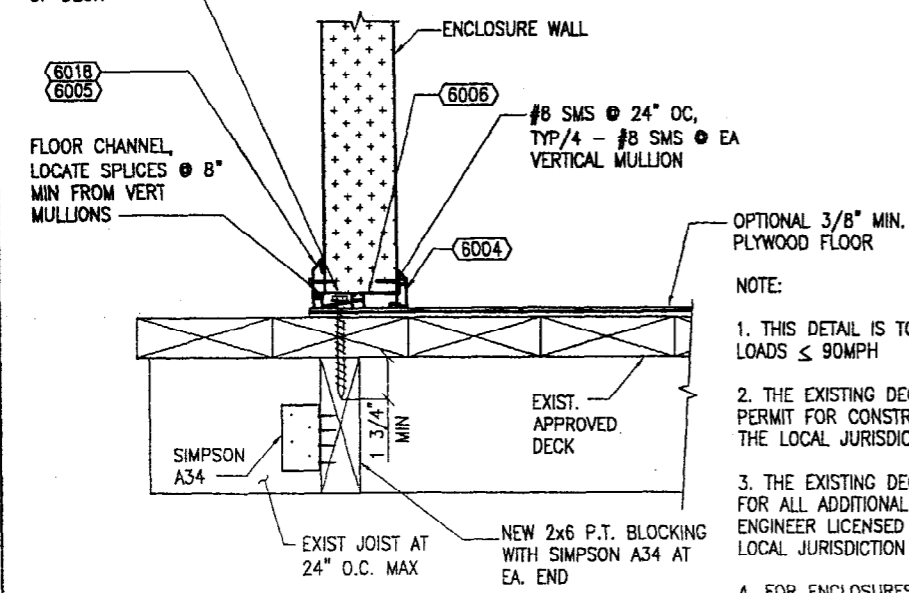
FLOOR CHANNEL SECURED TO CONC. WITH 3/8" HILTI KWIK-BOLT II, WITH 2 1/2" MIN EMBED @ CL OF MULLION, (NOTE 1)



DETAIL A
3" = 1'-0"

NOTE:
1. FOR WIND ZONES GREATER THAN OR EQUAL TO 90 MPH USE 2 - 3/8" HILTI KWIK-BOLT II W/ 2 1/2" MINIMUM EMBEDMENT, 1 ANCHOR @ 1 1/2" EA SIDE OF CL OF MULLION

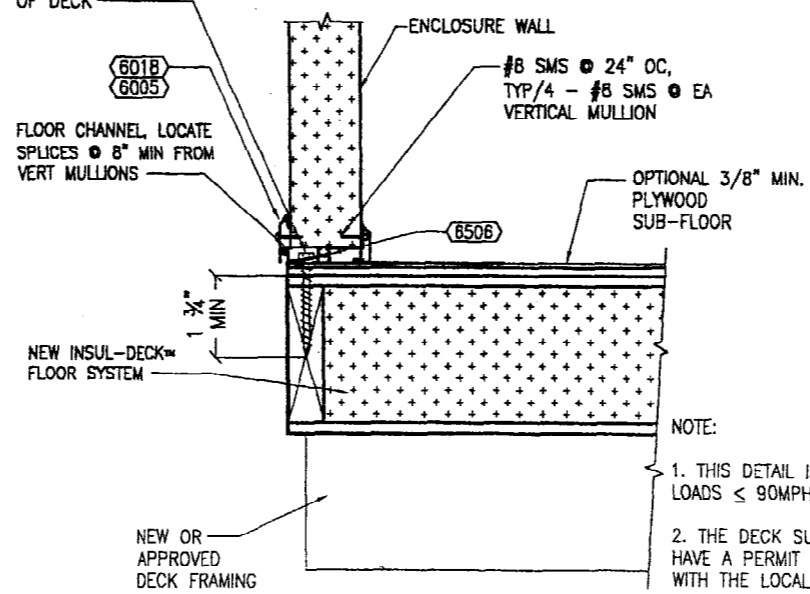
FLOOR CHANNEL SECURED TO DECK WITH 5/16"x4" HOT DIPPED GALV. LAG BOLT AT 18" O.C. - PERIMETER OF DECK



DETAIL B
3" = 1'-0"

NOTE:
1. THIS DETAIL IS TO BE USED FOR WIND LOADS ≤ 90MPH
2. THE EXISTING DECK SHALL HAVE A PERMIT FOR CONSTRUCTION ON FILE WITH THE LOCAL JURISDICTION
3. THE EXISTING DECK SHALL BE QUALIFIED FOR ALL ADDITIONAL LOADS BY AN ENGINEER LICENSED TO PRACTICE IN THE LOCAL JURISDICTION
4. FOR ENCLOSURES ATTACHED TO DECKS, THE MAXIMUM HEIGHT OF THE ROOM SHALL BE 12'-0" MEASURED FROM THE GROUND TO THE ROOF

FLOOR CHANNEL SECURED TO DECK WITH 5/16"x4" HOT DIPPED GALV. LAG BOLT AT 18" O.C. - PERIMETER OF DECK



DETAIL C
3" = 1'-0"

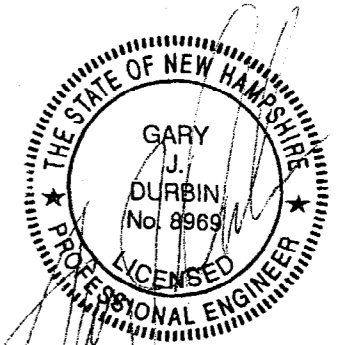
NOTE:
1. THIS DETAIL IS TO BE USED FOR WIND LOADS ≤ 90MPH
2. THE DECK SUPPORT FRAMING SHALL HAVE A PERMIT FOR CONSTRUCTION ON FILE WITH THE LOCAL JURISDICTION
3. THE PROPOSED DECK FRAMING SHALL BE QUALIFIED FOR ALL LOADS BY AN ENGINEER LICENSED TO PRACTICE IN THE LOCAL JURISDICTION
4. FOR ENCLOSURES ATTACHED TO DECKS, THE MAXIMUM HEIGHT OF THE ROOM SHALL BE 12'-0" MEASURED FROM THE GROUND TO THE ROOF

ABBREVIATIONS

#	DIAMETER	FDN	FOUNDATION	RAD	RADIUS
AB	ANCHOR BOLT	FTG	FOOTING	REF	REFERENCE/REFER
ADDL	ADDITIONAL			REINF	REINFORCE (D,-ING)
AL	ALUMINUM	GA	GAGE	REQD	REQUIRED
ANCH	ANCHOR	GALV	GALVANIZED	REV	REVISION
APPROX	APPROXIMATE(LY)	GN	GENERAL NOTE	RL	ROOF LIVE LOAD
BAL	BALANCE	HGT	HEIGHT	SD	STEEL ENTRY DOOR
BLDG	BUILDING	HOR	HORIZONTAL	SHT	SHEET
BM	BEAM	INFO	INFORMATION	SIM	SIMILAR
B.O.	BOTTOM OF			SMS	SHEET METAL SCREWS
BOT	BOTTOM			SP	SPACE (S, ED)
		KWF	KNEEWALL, FILL	SPEC	SPECIFICATION, SPECIFIED
		KWG	KNEEWALL, GLASS	SQ	SQUARE
C/C	CENTER TO CENTER	LC	LONG	SST	STAINLESS STEEL
CL	CENTERLINE	LVL	LAMINATED VENEER	STAG	STAGGERED
CLR	CLEARANCE		LUMBER	STD	STANDARD
COL	COLUMN			STIF	STIFFENER
CONC	CONCRETE			STL	STEEL
CONN	CONNECTION	MATL	MATERIAL	STRUC	STRUCTURE (S, URAL)
CONT	CONTINUOUS	MAX	MAXIMUM	SYM	SYMMETRICAL
CTR	CENTER (ED)	MB	MACHINE BOLT		
		MFR	MANUFACTURER	T&B	TOP AND BOTTOM
		MIN	MINIMUM	THD	THREADED
DET	DETAIL	NA	NOT ALLOWED	THK	THICK (NESS)
DF	DOUG FIR LARCH	NR	NOT REQUIRED	T.O.	TOP OF
DIA	DIAMETER	NTS	NOT TO SCALE	TRG	TRANSOM GLASS INSERT
DIM	DIMENSION			TRF	TRANSOM FILL INSERT
DL	DEAD LOAD			TYP	TYPICAL
DWG(S)	DRAWING(S)	OC	ON CENTER	UON	UNLESS OTHERWISE NOTED
		OD	OUTSIDE DIAMETER		
		OH	OVER HANG		
		OPNG(S)	OPENING(S)	VERT	VERTICAL
		OPP	OPPOSITE		
		OPT	OPTION (AL)		
				W/	WITH
		PD	PATIO DOOR	W/O	WITHOUT
		PL	PLATE	WD	WINDOW, SLIDING
		PROJ	PROJECTION	WDF	WINDOW, FIXED
		PLWD	PLYWOOD	WS	WOOD SCREW
				WT	WEIGHT

GENERAL NOTES AND SPECIFICATIONS

- CHAPTER 31 OF THE 1997 UNIFORM BUILDING CODE APPENDIX IS THE REGULATION COVERING THESE STRUCTURES. ALL PATIO COVERS SHALL BE USED FOR RECREATIONAL/OUTDOOR LIVING PURPOSES ONLY.
- ENCLOSURE WALL SYSTEM SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THE MAXIMUM HEIGHT OF THE WALL SYSTEM (INCLUDING KNEE WALL) IS 12'-0" AND MINIMUM IS 6'-8".
 - THE OPEN AREA OF THE LARGER WALL AND ONE ADDITIONAL WALL IS 65% OR MORE OF THE AREA BELOW 6'-8" MEASURED FROM THE GROUND FOR EACH WALL. OPEN AREA MAY BE EITHER INSECT SCREENING, READILY REMOVABLE TRANSLUCENT PLASTIC OR TEMPERED GLASS NOT MORE THAN 0.125" THICK, WHICH IS APPROVED BY THE 1997 UNIFORM BUILDING CODE.
- ROOF PANEL, WHICH COMPLIES WITH THE REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE AND WHICH APPLIES TO THE CONDITIONS OF THE SUBJECT ENCLOSURE, MAY BE USED. WHERE ALLOWABLE PANEL SPANS SHALL BE LIMITED TO THOSE SHOWN IN THE PANEL'S CERTIFICATION REPORT. REGARDLESS OF PANEL USED, PANEL SKIN SHALL BE 3105-H174 ALUMINUM OR STRONGER MATERIAL WITH ALUMINUM THICKNESS OF 0.024". THE CORE MATERIAL SHALL BE EXPANDED POLYSTYRENE ADHERED TO THE PANEL WITH AN APPROVED ADHESIVE. THE MAXIMUM DEAD LOAD FOR THE ROOF PANEL SHALL BE 2.0 PSF.
- THE WALL FILLER PANEL WHICH COMPLIES WITH THE REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE AND WHICH APPLIES TO THE CONDITIONS OF THE SUBJECT ENCLOSURE, MAY BE USED.
- MAXIMUM ROOF PANEL OVERHANGS (O.H.) SHALL BE AS FOLLOWS:
 - COVERS W/O ENCLOSURE: O.H. (MAX) = 1'-0"
 - COVERS W/ ENCLOSURE:
 - LL = 10.0 psf, O.H. (MAX) = 3'-0"
 - LL = 20.0 psf, O.H. (MAX) = 2'-0"
 - LL = 30.0 psf, O.H. (MAX) = 1'-0"
- IN ORDER FOR AN EXISTING CONCRETE SLAB TO BE USED IT MUST BE IN GOOD SOUND CONDITION (MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI) WITH NO EVIDENCE OF EXTENSIVE CRACKING, WATER SEEPAGE, OR UNSTABLE FOUNDATION CHARACTERISTICS.
- ALUMINUM SHALL BE ALLOY AND TEMPER 6063-T5, (UON).
- ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE COATED IN ACCORDANCE WITH THE 1997 UNIFORM BUILDING CODE.
- POP RIVETS SHALL BE ALUMINUM ALLOY 5056 WITH CARBON STEEL MANDREL AS MANUFACTURED BY U.S.M. CORPORATION.
- SHEET METAL SCREWS (S.M.S.) SHALL BE STAINLESS STEEL, ZINC PLATE, GALVANIZED STEEL OR 2024-T4 ALUMINUM.
- EXPANSION ANCHORS SHALL BE 3/8" HILTI "KWIK BOLT II" OR APPROVED EQUAL ANCHORS SHALL BE AS DESCRIBED BY AND INSTALLED PER ICBO ES REPORT #4627.
- WHERE ATTACHMENT TO EXISTING STRUCTURE OCCURS, THE WOOD OF THE EXISTING STRUCTURE SHALL HAVE A MINIMUM SPECIFIC GRAVITY OF 0.5, SUCH AS DF LARCH.
- WHERE SCREWS ARE INSTALLED INTO WOOD FRAMING, THE CONTRACTOR SHALL VERIFY, THROUGH NONDESTRUCTIVE MEANS, THAT EACH SCREW HAS A MINIMUM OF 1/2" SIDE COVER ON ALL SIDES OF THE SCREW.



JUN 04 2002

THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

GENERAL NOTES - ABBREVIATIONS AND FOUNDATION DETAIL OPTIONS

TITLE

STANDARD SET

ORDER NUMBER: G. DURBIN

DRAWN BY: G. DURBIN

CHECKED BY: G. DURBIN

SCALE: AS NOTED

DATE: APRIL 2, 2002

1/25 BEREA RD. PWY. BEREA, OH 44017
PH: (440) 239-9100
FAX: (440) 239-1012
TOLL FREE: (800) 824-7868

Joyce Co. mfg.

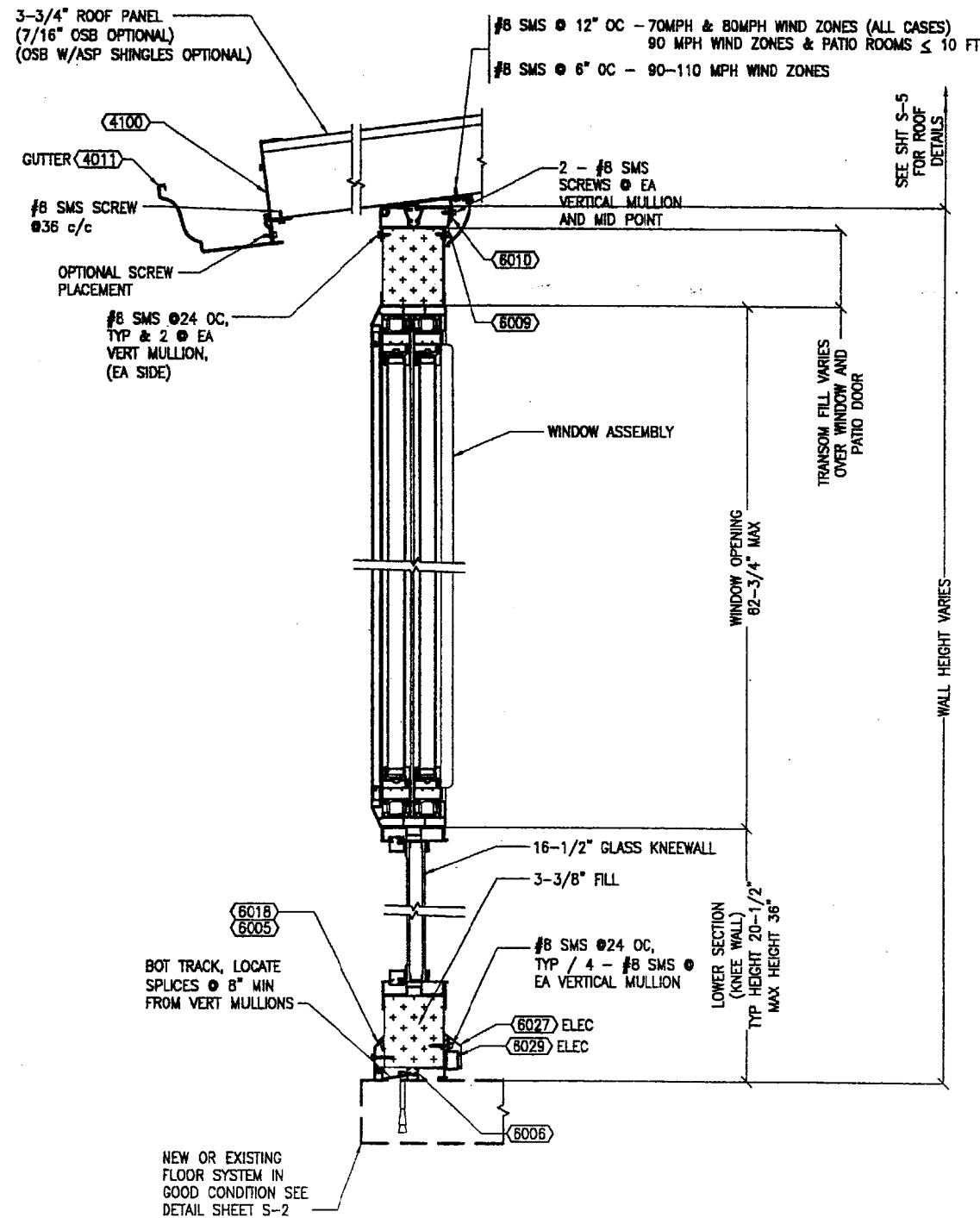
REV. DATE BY COMMENT

SIZE: D

SHEET NO. S-2

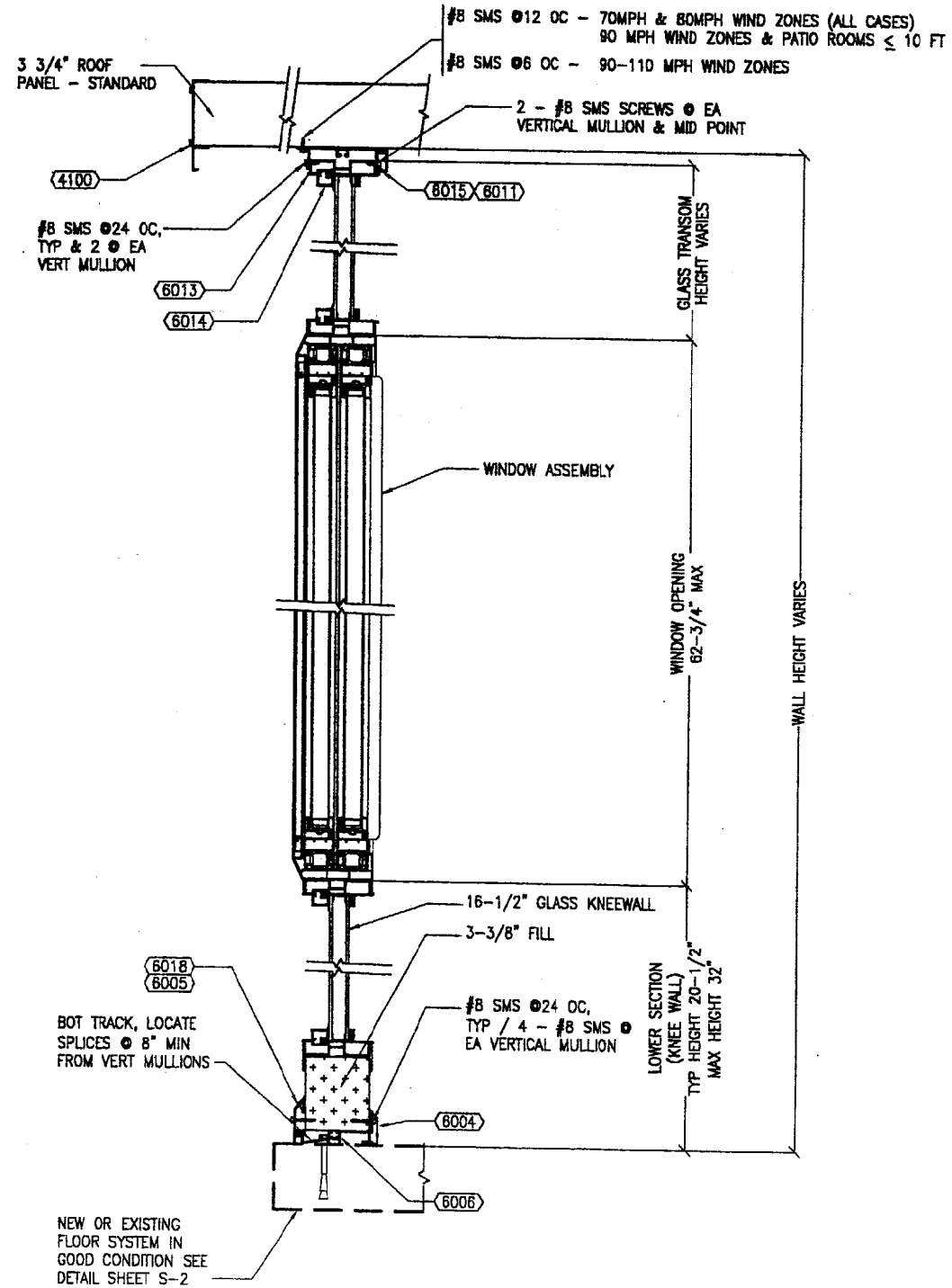
SHEET 2 OF 5

PRELIMINARY, NOT FOR CONSTRUCTION



BEARING WALL

SECTION 1
3" = 1'-0" S-3



NON-BEARING WALL SECTION

SECTION 2
3" = 1'-0" S-3

THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TITLE
TYPICAL WALL SECTIONS

ORDER NUMBER: STANDARD SET
DRAWN BY: G. DURBIN
CHECKED BY: G. DURBIN
SCALE: AS NOTED
DATE: APRIL 2, 2002

1125 BERRY RD. PRVT.
BERRY, OH 44017
PH: (440) 239-9100
FAX: (440) 239-1912
TOLL FREE: (800) 824-7868



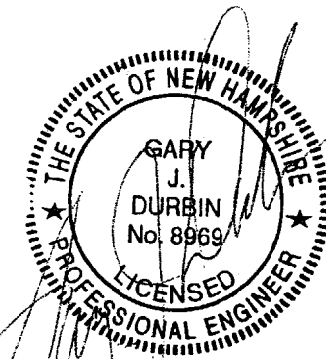
REV.	DATE	BY	COMMENT

SIZE: D

SHEET NO.

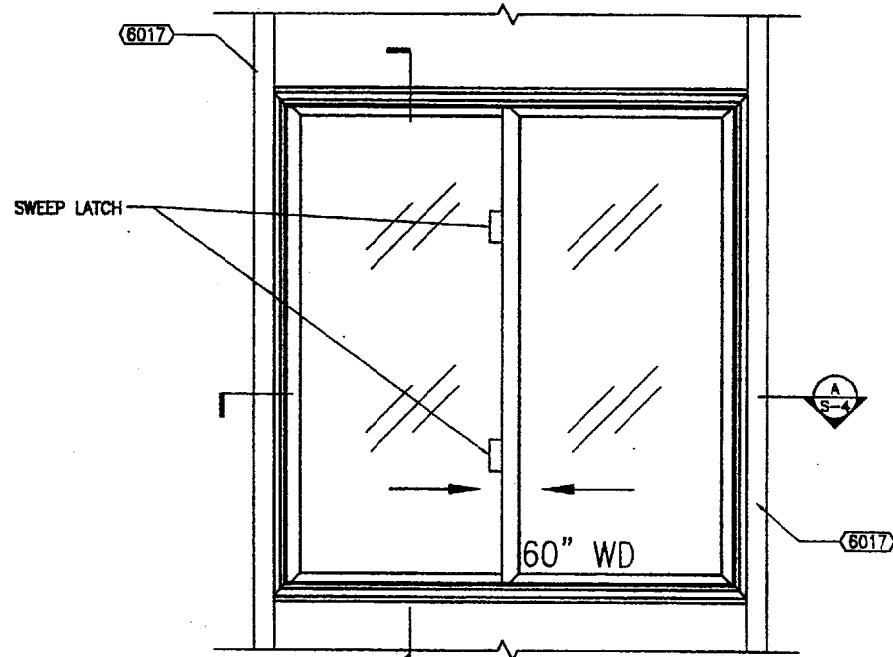
S-3

SHEET 3 OF 5

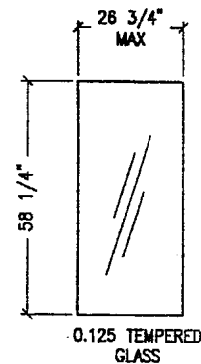


JUN 04 2002

PRELIMINARY, NOT FOR CONSTRUCTION

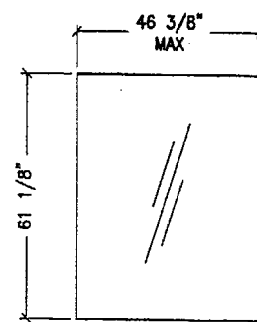


WINDOW ELEVATION
DETAIL 1
1' = 1'-0" S-4

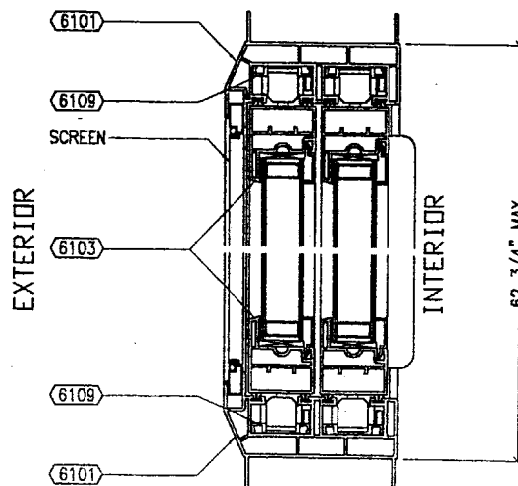


GLAZING - SLIDING

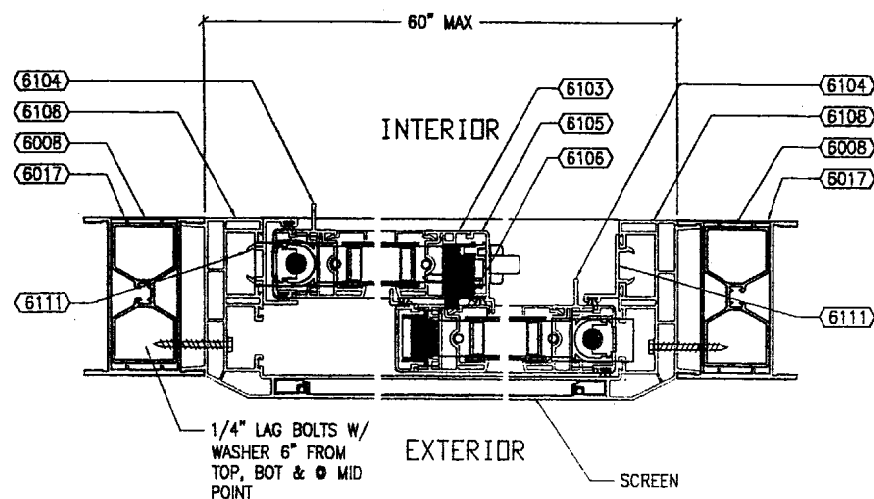
DETAIL 2
1/2' = 1'-0" S-4



GLAZING - FIXED



SECTION B
HALF S-4



SECTION A
HALF S-4

LABELING REQUIREMENTS FOR TEMPERED GLASS

Uniform Building Code (UBC)

UBC Section 2402 - Identification (extract)

Each light shall bear the manufacturer's label designating the type and thickness of glass. When approved by the building official, labels may be omitted, provided an affidavit is furnished by the glazing contractor certifying that each light is glazed in accordance with approved plans and specifications.

UBC Section 2406.2 - Identification (extract)

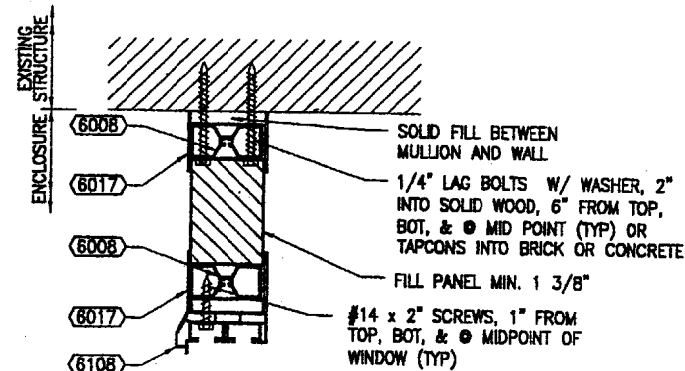
Each light of safety glazing material installed in hazardous locations as defined in section 2406.4 of the code shall be identified by a permanent label which specifies the labeler, whether the manufacturer or installer, and state that safety glazing material has been utilized in such installation.

Each unit of tempered glass shall be permanently identified by the manufacturer. The identification shall be etched or ceramic fired on the glass and be visible when the unit is glazed. Tempered spandrel glass is exempted from permanent labeling but such glass shall be identified by the manufacturer with a removable paper label.

UBC STANDARD 24-2

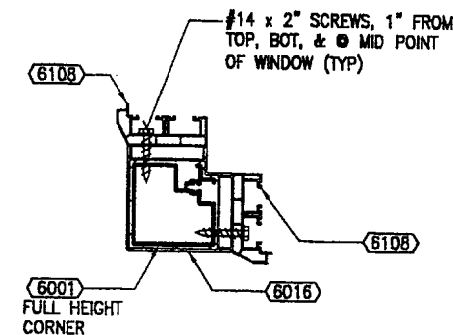
SECTION 24.203 (EXTRACT)

The category class as noted in table 24-2-A, shall be specified as part of a permanent label. Volume 3, 1997 U.B.C.



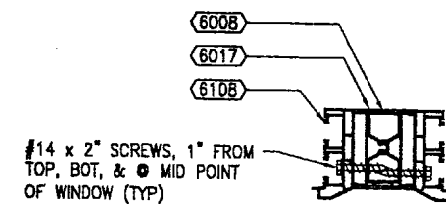
CONNECTION AT EXIST. STRUCTURE

DETAIL 3
3' = 1'-0" S-4



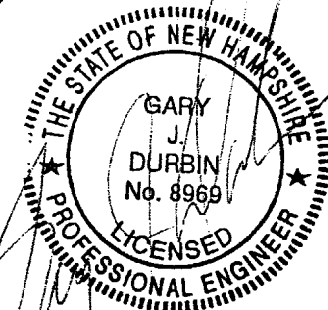
CORNER MULLION

DETAIL 4
3' = 1'-0" S-4



3" MULLION

DETAIL 5
3' = 1'-0" S-4



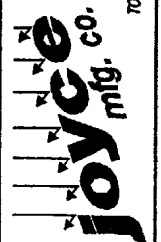
JUN 04 2002

THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TITLE
WINDOW AND WALL DETAILS - ATTACHMENT TO EXISTING BUILDING DETAIL

ORDER NUMBER: STANDARD SET
DRAWN BY: G. DURBIN
CHECKED BY: G. DURBIN
SCALE: AS NOTED
DATE: APRIL 2, 2002

1125 BETA RD. PMB. 1125
BETA, OH 44017
PH: (440) 239-9100
FAX: (440) 239-1912
TOLL FREE: (800) 824-7888



REV. DATE BY COMMENT

SIZE: D

SHEET NO.

S-4

SHEET 4 OF 5

THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TITLE
ROOF SYSTEM SECTIONS, DETAILS AND ATTACHMENTS

ORDER NUMBER: STANDARD SET
 DRAWN BY: G. DURBIN
 CHECKED BY: G. DURBIN
 SCALE: AS NOTED
 DATE: APRIL 2, 2002

1125 BEREA RD. PKWY.
 BEREA, OH 44017
 PH: (440) 239-9100
 FAX: (440) 239-1812
 TOLL FREE: (800) 824-7988



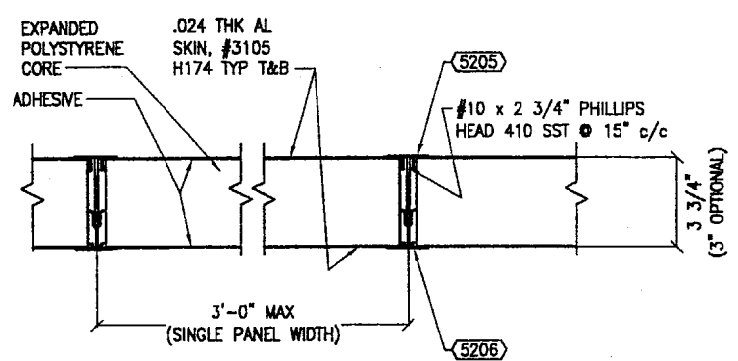
REV.	DATE	BY	COMMENT

SIZE: D

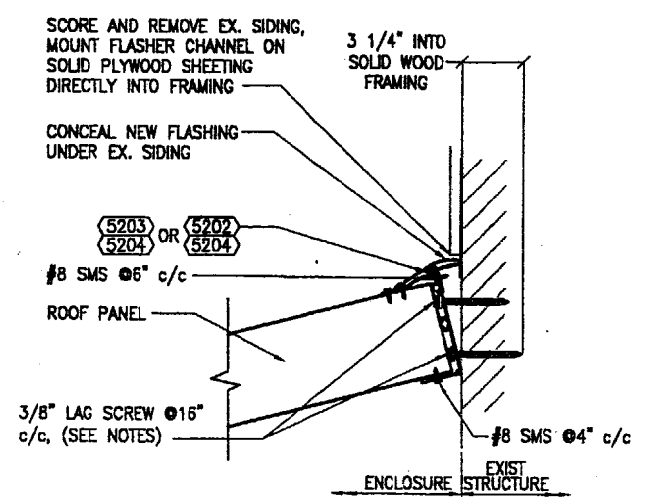
SHEET NO.

S-5

SHEET 5 OF 5

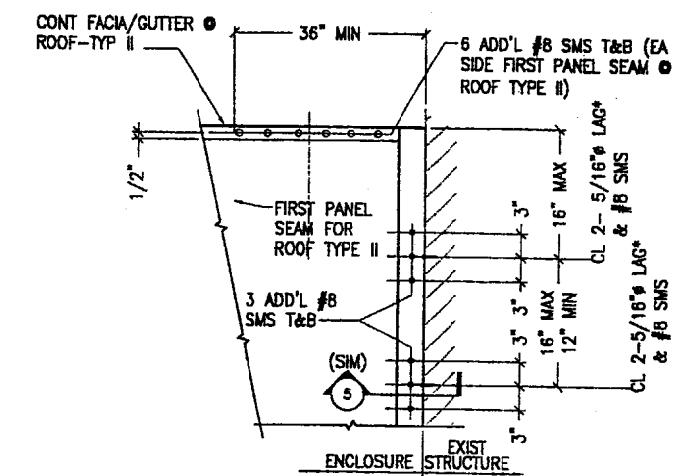


TYPICAL ROOF PANEL SECTION 1
 3' = 1'-0"



HANG RAIL AT EXISTING BUILDING SECTION 2
 3' = 1'-0"

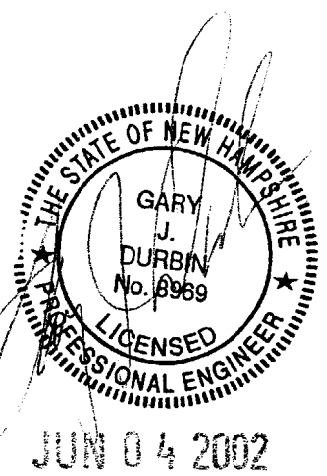
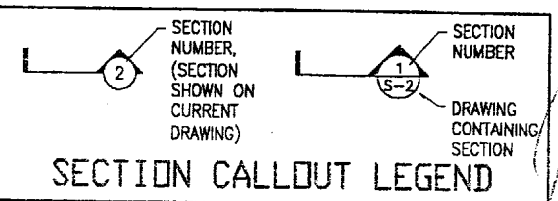
NOTE:
 1. USE 3/8" HILTI HIT HY20 W/ 6" MIN EMBED @16 c/c FOR MASONRY/BRICK (NOT ALLOWED FOR RLL ≥ 40 PSF) OR 3/8" HILTI HIT HY150 W/ 3 1/2" MIN EMBED (HFA INSERTS) @16 c/c FOR CONCRETE OR 1/4" HILTI KWIK-BOLK II W/ 2" MIN EMBED @16 c/c FOR CONCRETE. (Ø12 c/c FOR RLL ≥ 40 PSF)
 2. 3/8" LAG SCREW FOR RLL ≥ 40 PSF.



CONNECTION OF ROOF AT EXISTING BUILDING DETAIL A
 1' = 1'-0"

MAX. ROOF PANEL SPAN CHART

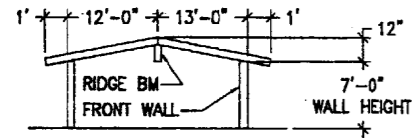
PANEL PROFILE	ROOF LIVE LOAD					THE MAXIMUM ALLOWABLE LOAD, FOR THESE PANELS WAS FOUND TO BE 95 PSF @ 15' SPAN USING ASTM E 72-60 TESTING PROCEDURES. THIS TABLE IS DERIVED BY APPLYING A SAFETY FACTOR OF 2.5 TO THE VARIOUS LOADING APPLICATIONS.
	10 PSF	20 PSF	30 PSF	40 PSF	50 PSF	
"ULTIMATE" ROOF PANEL 48" IN WIDTH 3 3/4" THICK 2.0 lb. EPSCORE WITH 0.030" 3105-H174 ALUM. SKINS AND 6063-T5 ALUMINUM MULLIONS	19.0 FT.	17.0 FT.	15.5 FT.	14.0 FT.	NO DATA	TEST DATA FOR THIS PANEL BY PROFESSIONAL SERVICE INDUSTRIES INC. (PSI) TEST REPORT 827-96098, SPT 90107, DATED OCT. 5, 1989. ENGINEERING ANALYSIS BY S.M. HAW ASSOC.
"DELUXE CLIMATE MASTER" ROOF PANEL 36" IN WIDTH 3 3/4" THICK 1.5 lb. EPSCORE WITH 0.024" 3105-H174 ALUM. SKINS AND 6063-T5 ALUMINUM MULLIONS	18.0 FT.	15.8 FT.	11.7 FT.	10.2 FT.	9.1 FT.	TEST DATA FOR THESE PANELS BY TERRAPIN TESTING, INC. PROJECT NO. 59904-B ENGINEERING ANALYSIS BY TJC AND ASSOCIATES, INC. TJC PROJECT NO. 19919, JUNE 3, 1999.
"DELUXE CLIMATE MASTER" ROOF PANEL 36" IN WIDTH 3" THICK 1.5 lb. EPSCORE WITH 0.024" 3105-H174 ALUM. SKINS AND 6063-T5 ALUMINUM MULLIONS	18.0 FT.	13.7 FT.	10.1 FT.	9.0 FT.	7.8 FT.	



EXAMPLE USE OF TABLES --

I. GIVEN:

A. ENCLOSURE CONFIGURATION



- B. LIVE LOAD = 10 psf
C. WIND LOAD = 70 mph
D. WALL MULLION SPACING = 4'-0"
E. MULLION TYPE I
F. FRONT WALL (BEARING) HEIGHT = 7'-0"
G. SIDE WALL (NON-BEARING) HEIGHT = 7'-6"
H. ROOM PROJECTION (OUT OF PAGE) = 12'-0"
I. RIDGE BEAM IS 1 3/4"x14" MICROLAM BEAM
J. BEAM POST IS 4x6 DOUGLAS FIR LARCH

II. FIND:

A. MAXIMUM BEARING WALL HT.

STEP 1 - DETERMINE TRIBUTARY PANEL SPAN TO WALL USING TABLE 1

TABLE 1: Tributary Panel Span (ft.) table showing span vs. front wall support overhang for various mullion heights.

STEP 2 - SELECT MAXIMUM WALL HEIGHT USING TABLE 5

TABLE 5: Maximum Allowable Wall Mullion Height (ft.) table with columns for wind speed and mullion type.

STEP 3 - ANSWER: MAXIMUM WALL HT = 9'-10" > 7'-0" - OK

B. MAXIMUM NON-BEARING WALL HEIGHT.

STEP 1 - TRIBUTARY PANEL SPAN = 0'-0"

STEP 2 - SELECT MAXIMUM WALL HEIGHT USING TABLE 5

STEP 3 - ANSWER: ALLOWABLE WALL HEIGHT = 10'-6" > 7'-6" - OK

C. MAXIMUM ROOM WIDTH/PROJECTION RATIO

STEP 1 - DETERMINE NEED FOR SPECIAL ENGINEERING FROM TABLE 2

TABLE 2: Allowable Enclosure Width / Projection Combinations table with columns for enclosure projection and average mullion height.

STEP 2 - ANSWER: SPECIAL ENGINEERING IS NOT REQUIRED

D. EAVE ATTACHMENT

STEP 1 - USE TABLE 3 TO DETERMINE MAXIMUM EAVE PROJECTION & USE TABLE 4 TO DETERMINE ANCHORAGE TO EXISTING STRUCTURE

E. BEAM CONFIGURATION (IF REQUIRED)

STEP 1 - DETERMINE TRIBUTARY PANEL SPAN TO BEAM USING TABLE 1

TABLE 1: Tributary Panel Span (ft.) table (repeated).

STEP 2 - SELECT MAXIMUM ALLOWABLE SPAN USING TABLE 6

TABLE 6a: Maximum Allowable Ridge Beam Span table with sub-tables for Douglas Fir-Larch and Microlam beams.

STEP 3 - ANSWER: MAXIMUM BEAM SPAN = 15'-7" > 12'-0" - OK

F. DETERMINE POST FOOTING SIZE USING TABLE 7

STEP 1 - DETERMINE TRIBUTARY PANEL SPAN TO BEAM USING TABLE 1 SEE STEP E

STEP 2 - SELECT FOOTING SIZE USING TABLE 7.

TABLE 7: Footing Schedule table showing 2 ft. Deep Square Footing dimensions for various wind speeds and tributary panel spans.

STEP 3 - ANSWER: USE 2x2x2 DEEP FOOTING

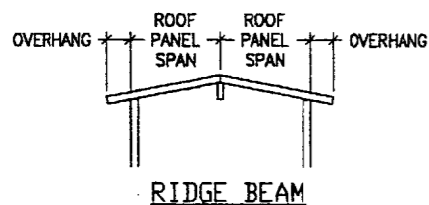
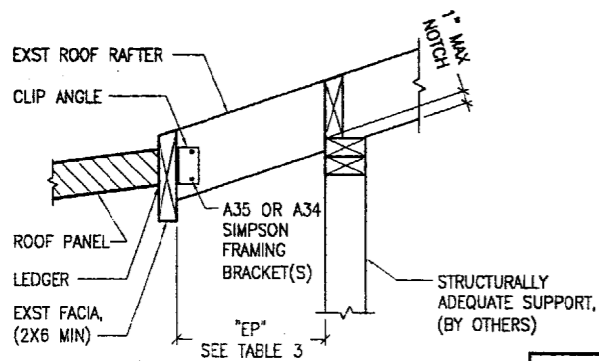


TABLE 1: TRIBUTARY PANEL SPAN (FT.) table with columns for roof panel span, front wall support overhang, and ridge beam height.

ALL DIMENSIONS IN FEET (UON)



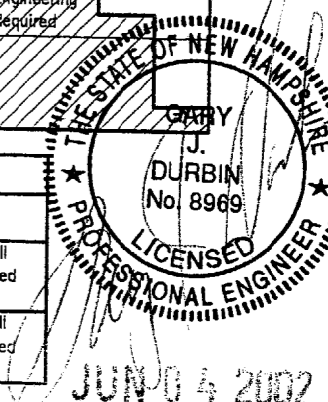
NOTES: 1. THE NOTCHED PROJECTIONS (E.G. 2x6 NOTCH) GIVEN IN THE TABLE ABOVE, ARE FOR BEAMS WITH A 1" NOTCH. FOR BEAMS WITH A 1/2" TO 1" NOTCH, L MAY BE INCREASED BY 4". FOR BEAMS WITH A 1" TO 1.5" NOTCH, DECREASE L BY 5". DO NOT USE A NOTCH GREATER THAN 1" FOR 30 AND 40 PSF PATIO LOADS.

TABLE 3: MAX. ALLOW. EAVE PROJECTION (EP) (IN.) table with columns for rafter size and patio load.

TABLE 2: ALLOWABLE ENCLOSURE WIDTH / PROJECTION COMBINATIONS table with columns for enclosure projection, average mullion height, and wind speeds (70, 80, 90, 110 mph).

TABLE 4: LEDGER ATTACHMENT NON-EAVE STRUCTURES table with columns for live load, stud wall, exist. eave, block or brick, and concrete.

NOTE: RAFTER AND FACIA SHALL HAVE A MINIMUM SPECIFIC GRAVITY OF 0.5, SUCH AS DF.



Vertical sidebar containing project title 'MISCELLANEOUS TABLES', order number, drawing and checked by 'G. DURBIN', scale, date 'APRIL 2, 2002', and logo for Joyce Co. Inc.



CITY OF PORTLAND, MAINE

Department of Building Inspections

7/8 20 02

Received from Advanced Sidney

Location of Work 436 OCEAN AVE

Cost of Construction \$ 13,600

Permit Fee \$ 121-

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 147-H001

Check #: 10383

Total Collected \$ 121-

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy