

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 43 Rosedale St		Owner: Forgit, Andrew		Phone:		Permit No: 970683	
Owner Address: SAA PT1d, ME 04103		Lessee/Buyer's Name:		Phone: 773-5582		BusinessName:	
Contractor Name: Owner		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: JUL - 1 1997 CITY OF PORTLAND </div>	
Past Use: 1-fam		Proposed Use: Same w/dormer		COST OF WORK: \$ 8,000.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:		PERMIT FEE: \$ 60.00 INSPECTION: Use Group <i>A</i> Type <i>5B</i> Signature: <i>[Signature]</i>	
Proposed Project Description: Construct Dormer		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		Zone: <i>R-3</i> CBL: 159-C-001/002/003 Zoning Approval: <i>[Signature]</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>(A-436)</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>foreman</i> <input type="checkbox"/> Subdivision <i>unit</i> <input type="checkbox"/> Site Plan <i>major</i> <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> Zoning Appeal <i>[Signature]</i>	
Permit Taken By: Mary Gresik		Date Applied For: 24 June 1997					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

[Signature]
 SIGNATURE OF APPLICANT Andrew Forgit ADDRESS: _____ DATE: 24 June 1997 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED WITH REQUIREMENTS

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: 6/25/97

[Signature]

CEO DISTRICT 6
A. Rowle

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Permit Taken By: Mary Gresik	Date Applied For: 24 June 1997			Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED WITH REQUIREMENTS

CEO DISTRICT 6

COMMENTS

7-17-97 Drums has been all put up & framed

7

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

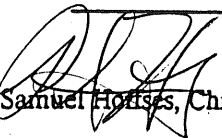
DATE: 30 June 97 ADDRESS: 213 Rose Dale ST.
REASON FOR PERMIT: To Construct dormer
BUILDING OWNER: Andrew Fargit
CONTRACTOR: Owner
PERMIT APPLICANT: ↑ APPROVAL: *1 *9 *12 *16 ~~DENIED~~

CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
 3. Precaution must be taken to protect concrete from freezing.
 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
 8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
 9. Headroom in habitable space is a minimum of 7'6".
 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's.
 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 3. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
- 22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- 26. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
- 27. _____
- 28. _____
- 29. _____


P. Samuel Hennes, Chief of Code Enforcement

Lt. McDougall, PFD
Marge Schmuckal

Tuesday, June 24, 1997

Building Inspector
Building & Electrical Inspector & Permits
389 Congress St
Portland, Maine 04101

Subject: Building Permit for 43 Rosedale St, Portland.
Account # F23810-97 159-C-1-2-3

Dear Inspector:

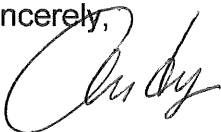
At this time I respectfully request a permit for construction for improvement at the above address.

This addition will be a raised roof or dormer to the upstairs and rear of the cape style single family home. See drawings page 2 & 3.

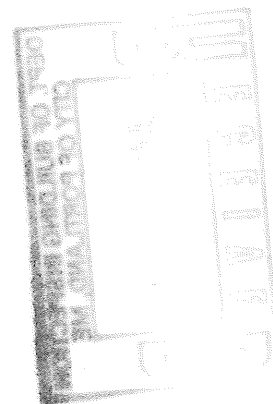
Roof joists will be 2 X 10's and walls 2 X 6's. Exterior walls, 5/8 plywood covered with Tyvek house wrap and cedar shakes. Interior, R-19 Fiberglas insulation and 1/2" wallboard (sheetrock).

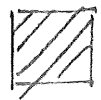
Carpenter/Builder will be Kevin Poitras, and Electrician Michael Menario.

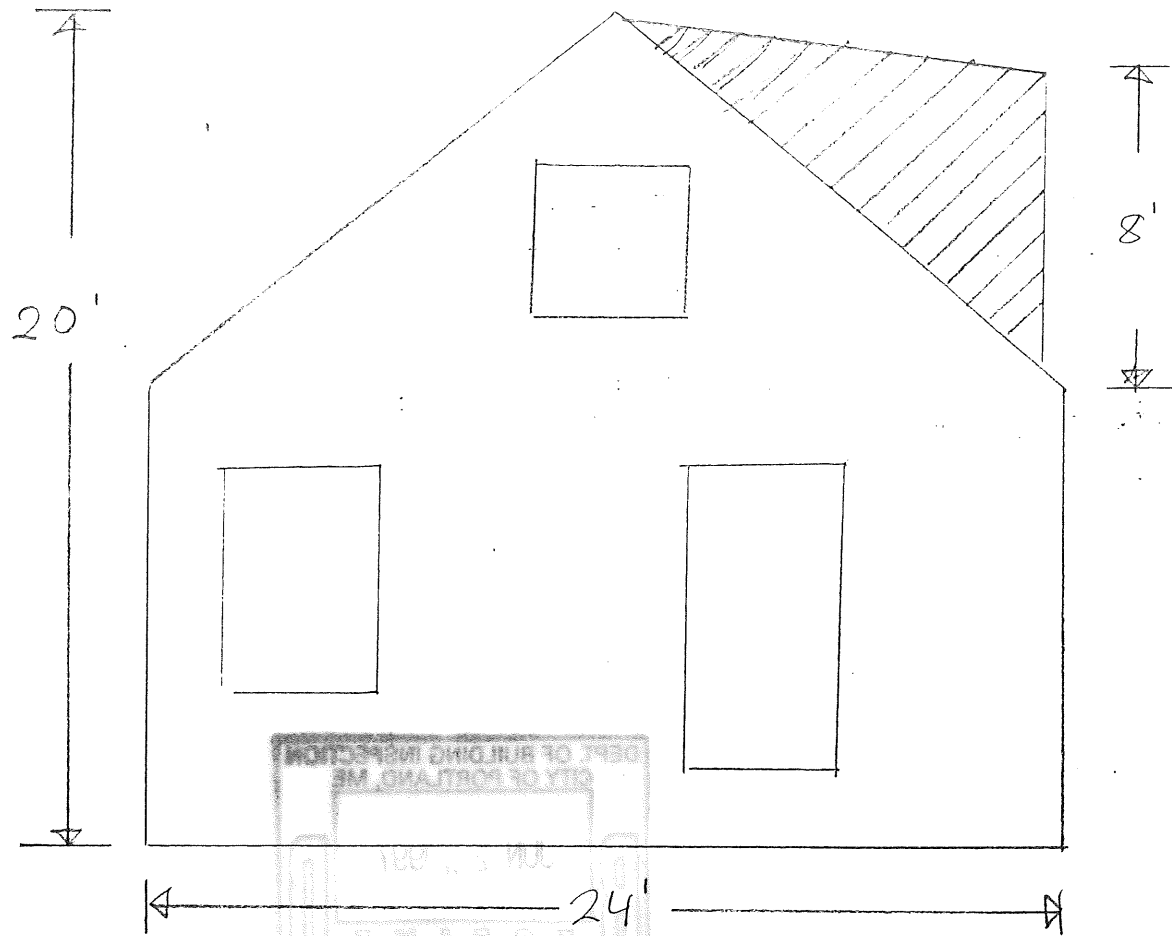
Sincerely,



Andrew R. Forgit
43 Rosedale St., Portland, ME 04103
773-5582



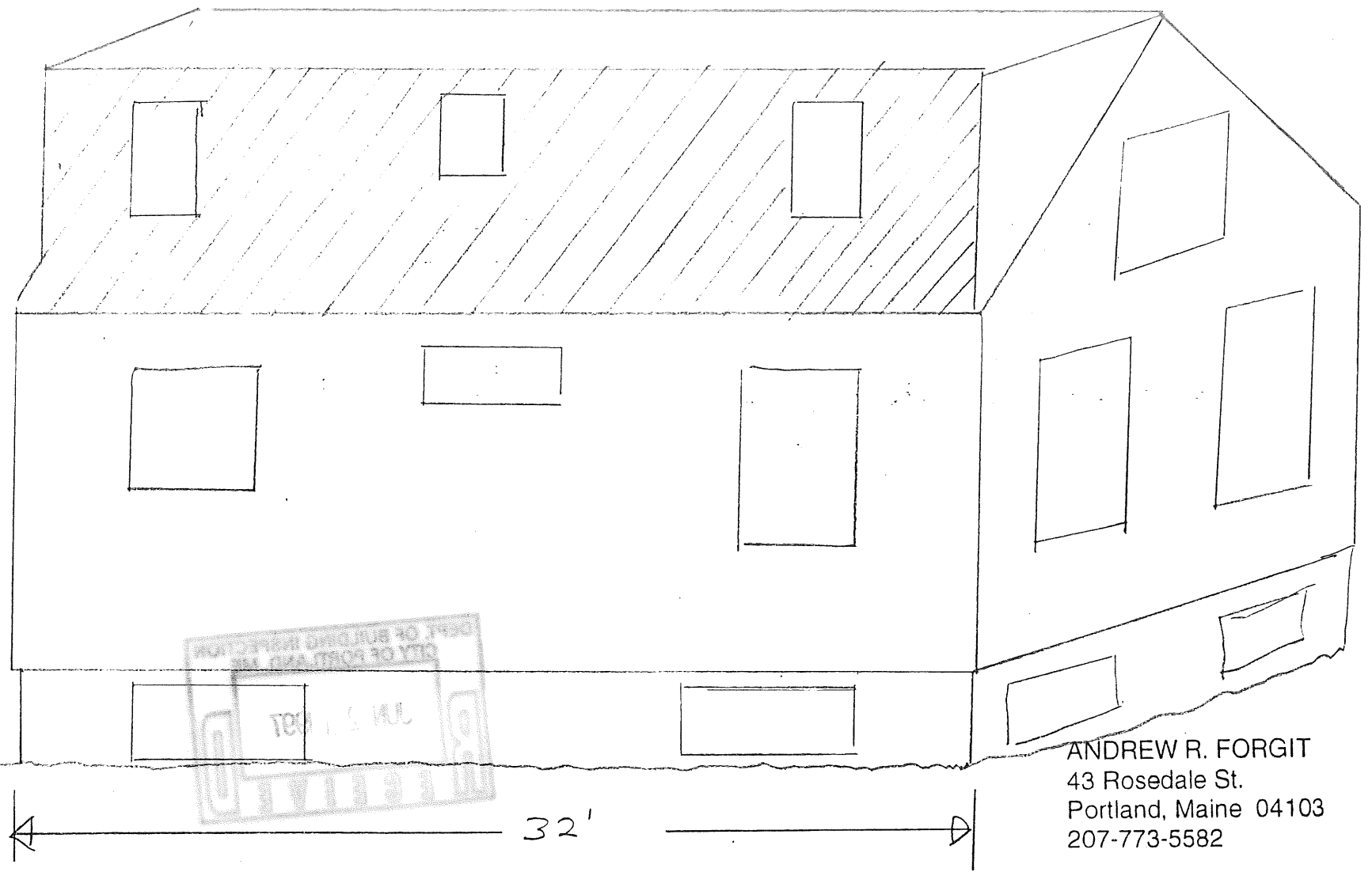
 = Proposed addition of raised full dormer
Roofing joists 2x10's, 16" on center.
Walls 2x6's 16" on center
Outside sheathing 5/8 plywood, covered with
Tyvek house wrap and cedar shakes.



ANDREW R. FORGIT
43 Rosedale St.
Portland, Maine 04103
207-773-5582



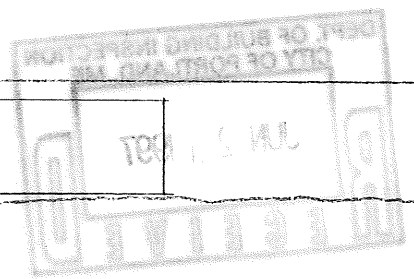
Proposed addition Raised Roof Full Dormer



ANDREW R. FORGIT
43 Rosedale St.
Portland, Maine 04103
207-773-5582



MECCANICA NOVA
MECHANICAL SPECIALTIES - SPECIAL GRINDING MAINTENANCE



THIS IS NOT A BOUNDARY SURVEY

INSPECTION OF PREMISES

I HEREBY CERTIFY TO Old Port Title Co.,

43 Rosedale Street
Portland Maine

Job Number: 268-70

Inspection Date: 3-28-96

Scale: 1" = 30'

Atlantic Bank and its Title Insurers

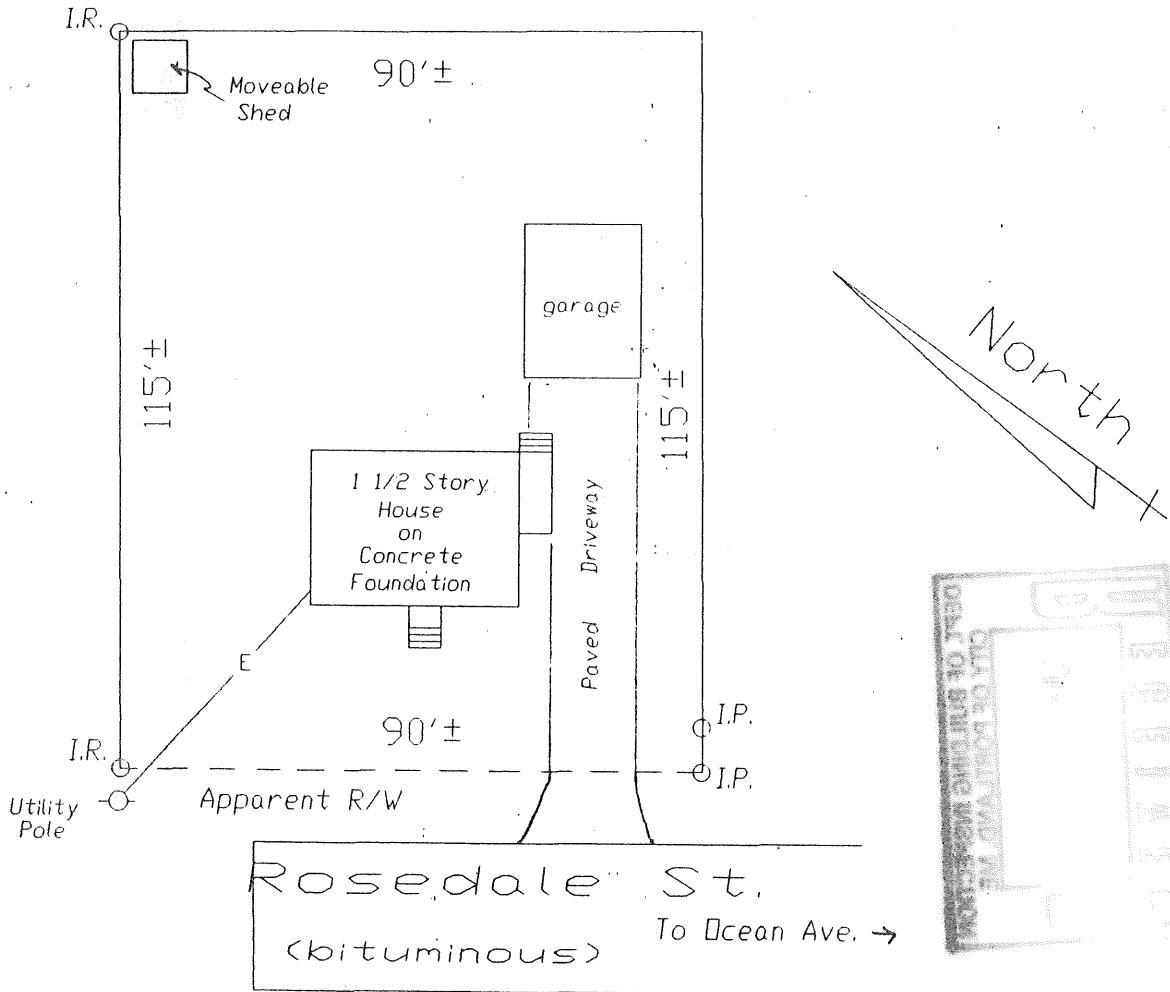
The monumentation is in harmony with current deed description.

The building setbacks are in conformity with town zoning requirements.

The dwelling does not fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

The land does not fall within the special flood hazard zone as indicated on community-panel # 230051 0007 R.

Owner: Andrew R. Forgit & Mary Ann Forgit



THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN.

THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ABUTTING DEEDS.

[Handwritten signature]

BRUCE R. BOWMAN, INC.
P.O. Box 12 A
Cumberland, Maine 04021
Phone: (207) 829-3959
Fax: (207) 829-3522



PLAN BOOK 15 PAGE 41 LOT 309-311
DEED BOOK PAGE COUNTY Cumberland

THIS PLAN IS NOT FOR RECORDING Drawn by: JAM

PHOTOGRAPH ADDENDUM

Owner Forgit, Andrew & Mary Ann

Property Address 43 Rosedale Street

City Portland

County Cumberland

State ME

Zip Code 04103

Lender AtlanticBank, NA



FRONT OF
SUBJECT PROPERTY



REAR OF
SUBJECT PROPERTY

