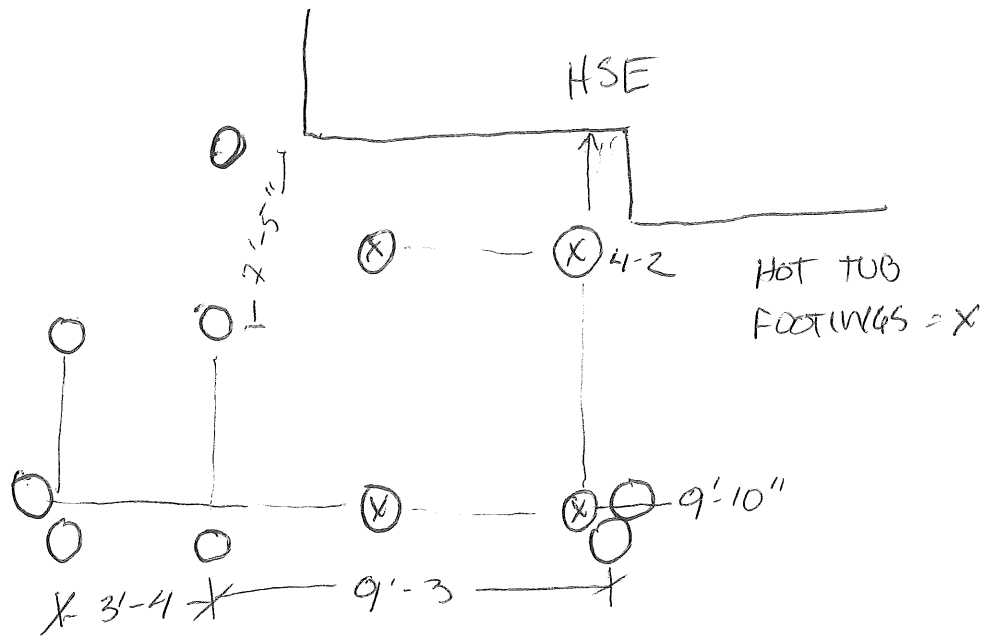


10-15-12



12-10-12 GF

BKL

DECK - PASS

NO ELEC. PERMIT PULLED FOR HOT TUB
SOME VIOLATIONS EXIST - SEE BKL

- 1) GFCI NOT TR-WR
- 2) 6' - to 10' FROM HOT TUB
- 3) BONDING ISSUES WITHIN 5' OF TUB

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4777-ALTR	Date Applied: 8/22/2012	CBL: 159- B-026-001	
Location of Construction: 22 ROSEDALE ST	Owner Name: MARGARET PACHUTA & HOLLY HOWARD	Owner Address: 22 ROSEDALE ST PORTLAND, ME 04103	Phone: 207-774-8755
Business Name:	Contractor Name: Matt Hossfeld	Contractor Address: 17 Arlington St., Portland ME 04101	Phone: (207) 272-6999
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family	Proposed Use: Same - Single family - build a 12' x 10'8.5" deck with landing & stairs	Cost of Work: 7000.000000	CEO District:
Proposed Project Description: Add deck for Hot Tub		Fire Dept:	Inspection: Use Group: R-3 Type: SB TRC 09 Signature: [Signature]
Permit Taken By: Gayle			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Historic Preservation	
<input type="checkbox"/> Not in Dist or Landmark	
<input type="checkbox"/> Does not Require Review	
<input type="checkbox"/> Requires Review	
<input type="checkbox"/> Approved	
<input type="checkbox"/> Approved w/Conditions	
<input type="checkbox"/> Denied	
Date: [Signature]	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that MARGARET M PACHUTA

Located At 22 ROSEDALE ST

Job ID: 2012-08-4777-ALTR

CBL: 159- B-026-001

has permission to Add deck for Hot Tub

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development

Jeff Levine

Job ID: 2012-08-4777-ALTR

Located At: 22 ROSEDALE ST

CBL: 159- B-026-001

Conditions of Approval:

Building

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

The minimum carrying beam size shall be 2- 2" x 10"-s.

There shall be a graspable handrail on one side of the stairs and it shall return at the top and bottom.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>22 Rosedale Street</u>		
Total Square Footage of Proposed Structure/Area <u>177.60</u>	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>159</u> Block# <u>B</u> Lot# <u>26427</u>	Applicant: (must be owner, lessee or buyer) Name <u>Holly Howard</u> Address <u>22 Rosedale St.</u> City, State & Zip <u>Portland ME. 04103</u>	Telephone: <u>H 774 8755</u> <u>W 632-3275</u>
Lessee/DBA	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: <u>\$6500.-</u> C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ <u>6500.-</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>—</u> Proposed Specific use: <u>Home</u> Is property part of a subdivision? <u>No</u> If yes, please name Project description: <u>Residential home build 12'x10'8 1/2" deck - w/ landing steps</u>		
Contractor's name: <u>Matt Hassfeld</u> Email: <u>Hassfeld@unif.maine.edu</u> Address: <u>17 Arlington St.</u> City, State & Zip <u>Portland ME 04101</u> Telephone: <u>272 6999</u> Who should we contact when the permit is ready: <u>Holly Howard</u> Telephone: <u>632-3275</u> Mailing address: <u>22 Rosedale St. Portland ME 04103</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

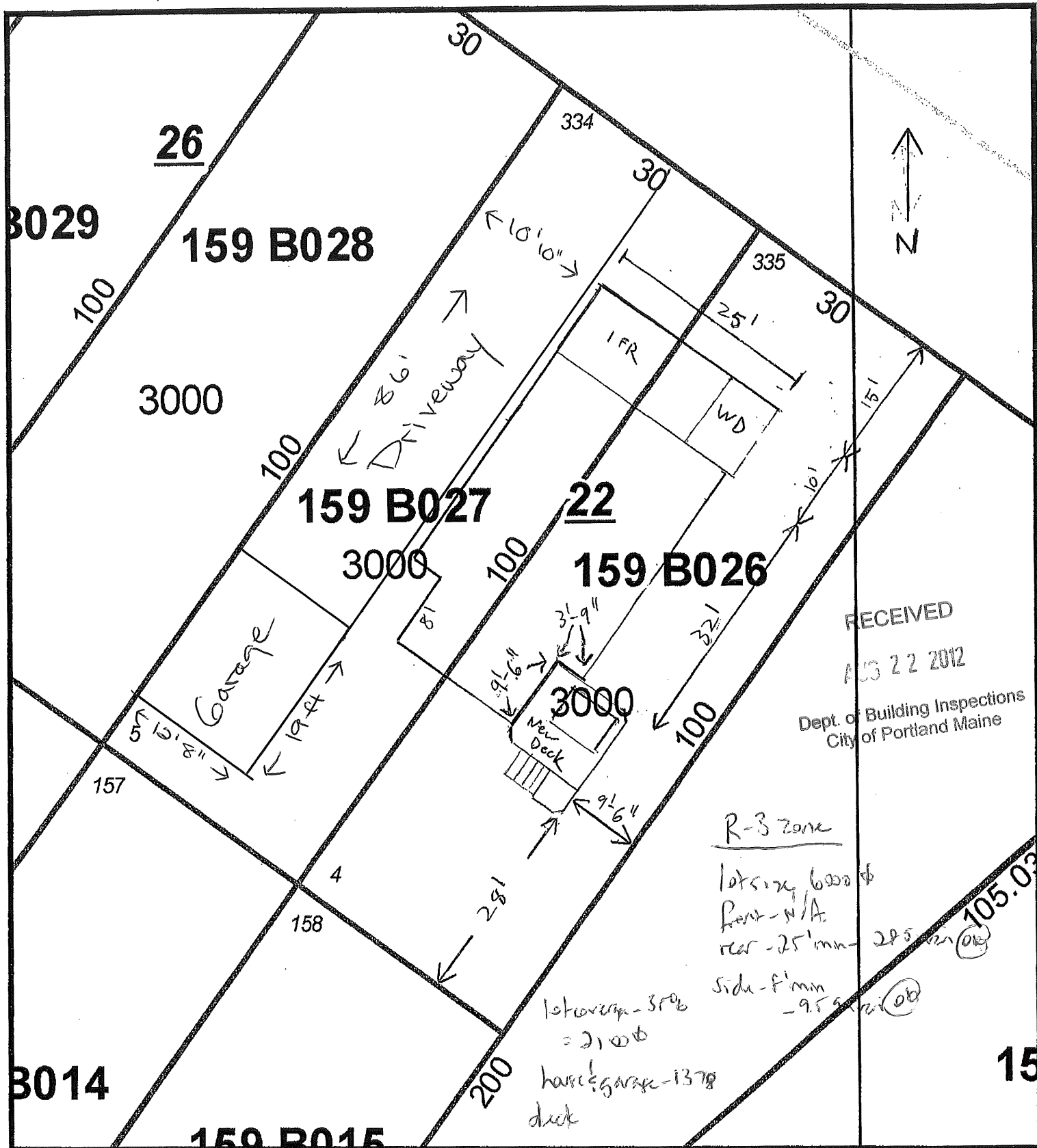
Signature: Margaret Hahl Date: 8/22/12

This is not a permit; you may not commence ANY work until the permit is issued

22 Rosedale Deck

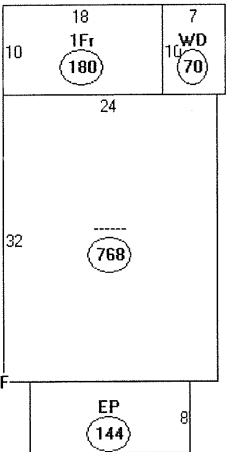
8/1/12

Site Plan Sk-0



* All Dimensions are $\frac{1}{8}$

Scale. $1/16'' = 1'-0''$



Descriptor/Area

- A:
768 sqft
- B: 1Fr
180 sqft
- C: WD
70 sqft
- D: EP
144 sqft
- E: RG1
216 sqft
- F: RS1
~~32 sqft~~

BUILDING A DECK???

INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- a. Diameter of concrete filled tube or pre cast concrete pier size 10"
- b. depth below grade (minimum 4'-0" below grade) + 4'
- c. anchorage of column to footing 5/8" x 10" "L" Bolt embedded in conc, Simpson post base
- d. spacing and location of tubes/piers 10' 6" O.C. max span

3. Framing Members

- a. Columns - wood size and location (members supporting framing of floor system) 4x4
- b. Ledger size attached to building 2x8
- c. Fastener size and spacing attaching ledger 32" O.C. 5/8" x 4 1/2" Lags
- d. Girder Size and spans carrying floor system 2x8 12' max span
- e. Joist size, span, and spacing 2x8 12" O.C. 12' max span
- f. Joist hangers or ledger Simpson strong tie 2x8 hangers @ 4' connections

4. Guardrails & Handrail Details

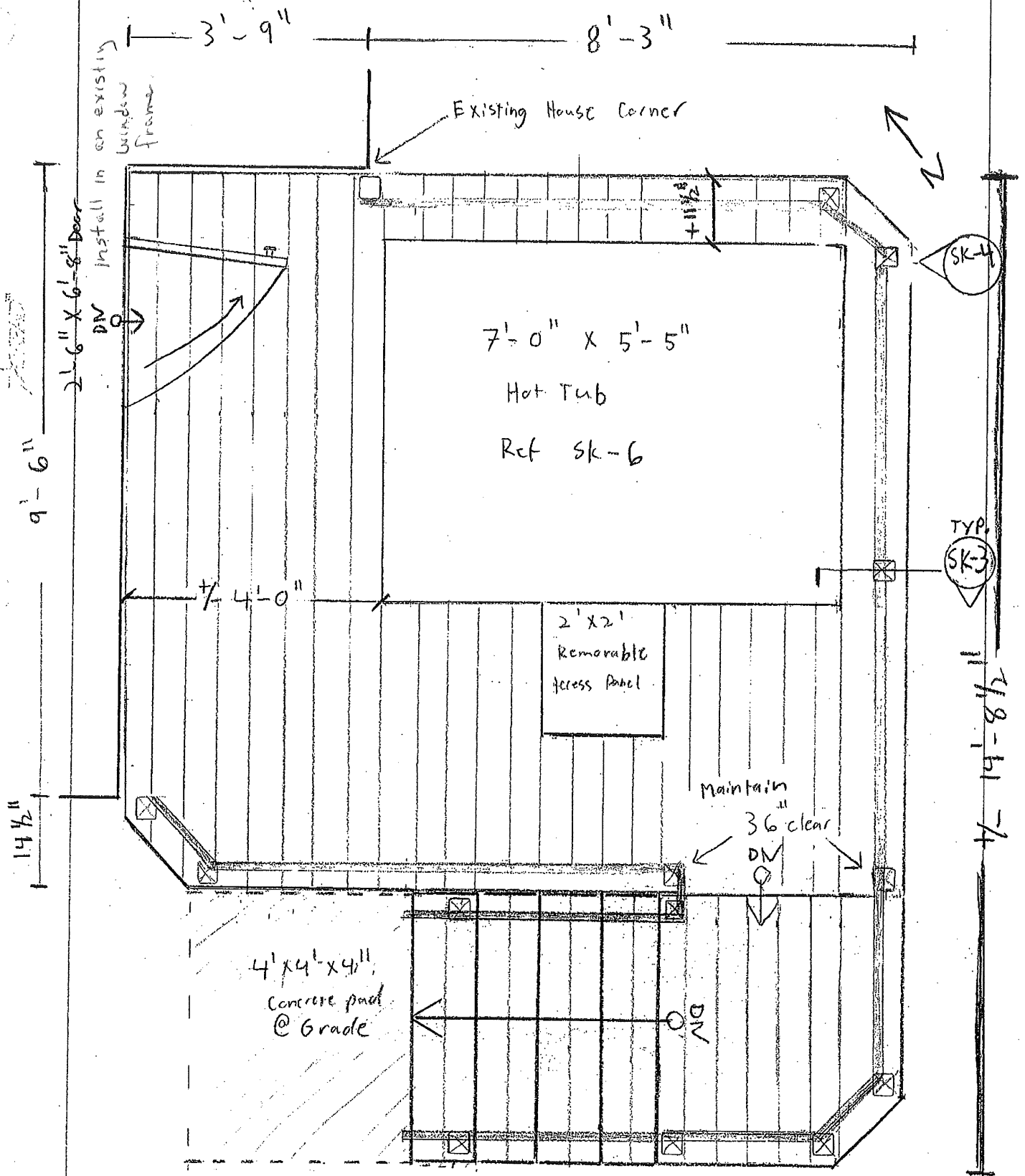
- a. Guardrail height 36"
- b. Baluster spacing 5" O.C. (4" sphere rule)
- c. Handrail height 36"

5. Stair Details

- a. Tread depth (measured nosing to nosing) 11"
- b. Riser height 7 3/4" max
- c. Nosing on tread 3/4" overhang
- d. Width of stairs 48" → 36" clear @ rail

RECEIVED
AUG 22 2012
Dept. of Building Inspections
City of Portland Maine

- Use $5/8"$ x $4\frac{1}{2}"$ Lags @ $32"$ O.C. for Ledger Board
- 2x8 P.T. Framing @ $12"$ O.C.
- 4x4 P.T. posts anchored w/ Simpson post bases
- All sewer tubes are $10"$ dia @ min. 4ft below grade
- 16d galv framing nails used for hanger toe nails, 10d galv hanger nails @ all other hanger locations.
- Simpson 2x8 and 4x8 Joist hangers to be used @ perpendicular intersections from Ledger/Girt to joists.
- All Pickets to be fastened w/ (4) $2\frac{1}{4}"$ S.S. screws
- All posts to be carriage bolted w/ (2) staggered $1/2"$ x $5\frac{1}{2}"$ galv. bolts
- All Simpson post bases to be bolted to concrete via $1/2"$ x $9"$ L bolts
- Stair to land on $4' \times 4' \times 4"$ concrete pad.
- New outswing $2' \times 6"$ x $6' \times 8"$ Fiberglass door to be installed for deck access.



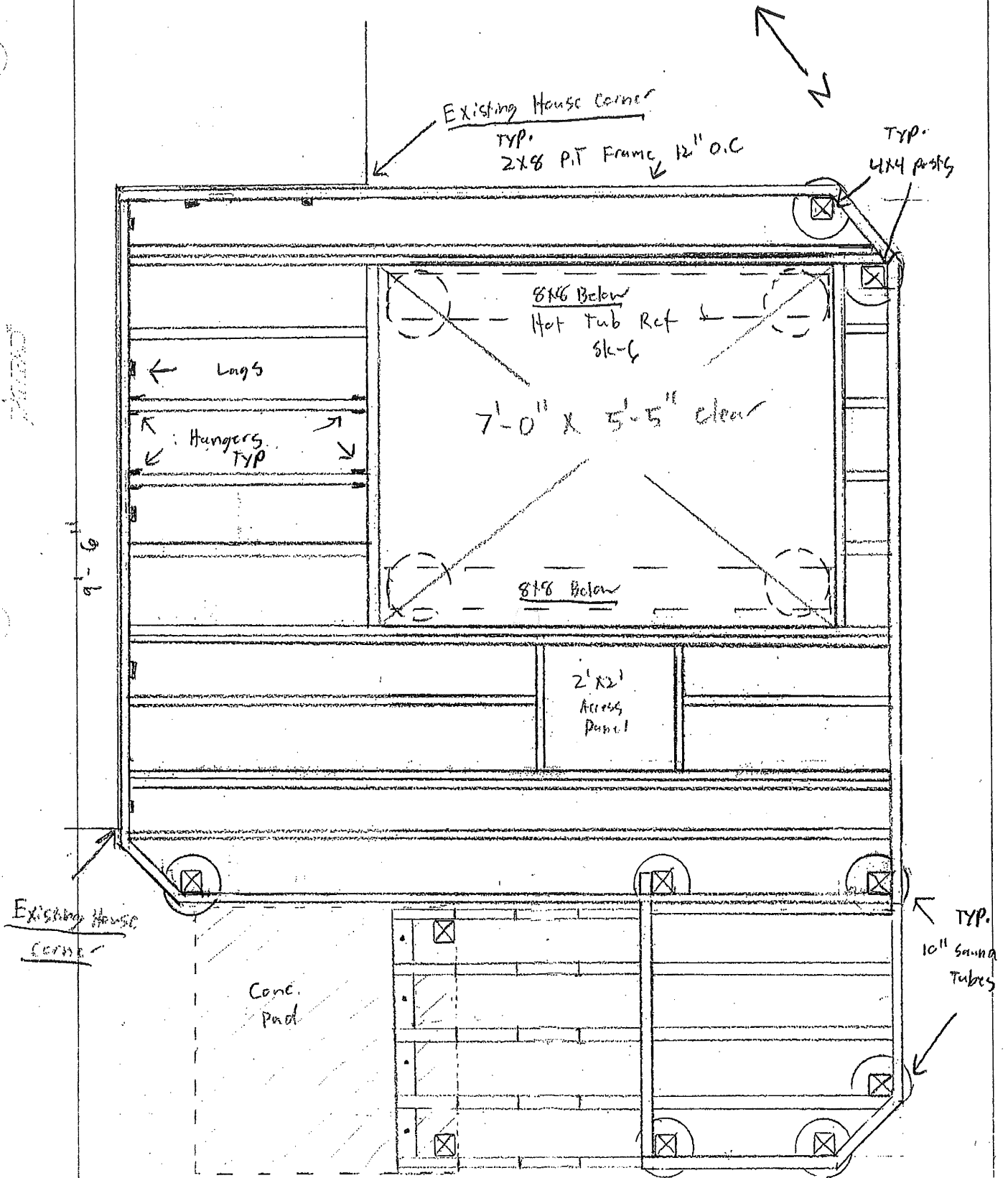
- 1 step down to landing @ 7 3/4" max rise
- 4 steps from landing to conc. pad @ 7 3/4" max rise w/ 11" run

Scale: 1/2" = 1'-0"

22 Rose Dale Deck

8/1/12

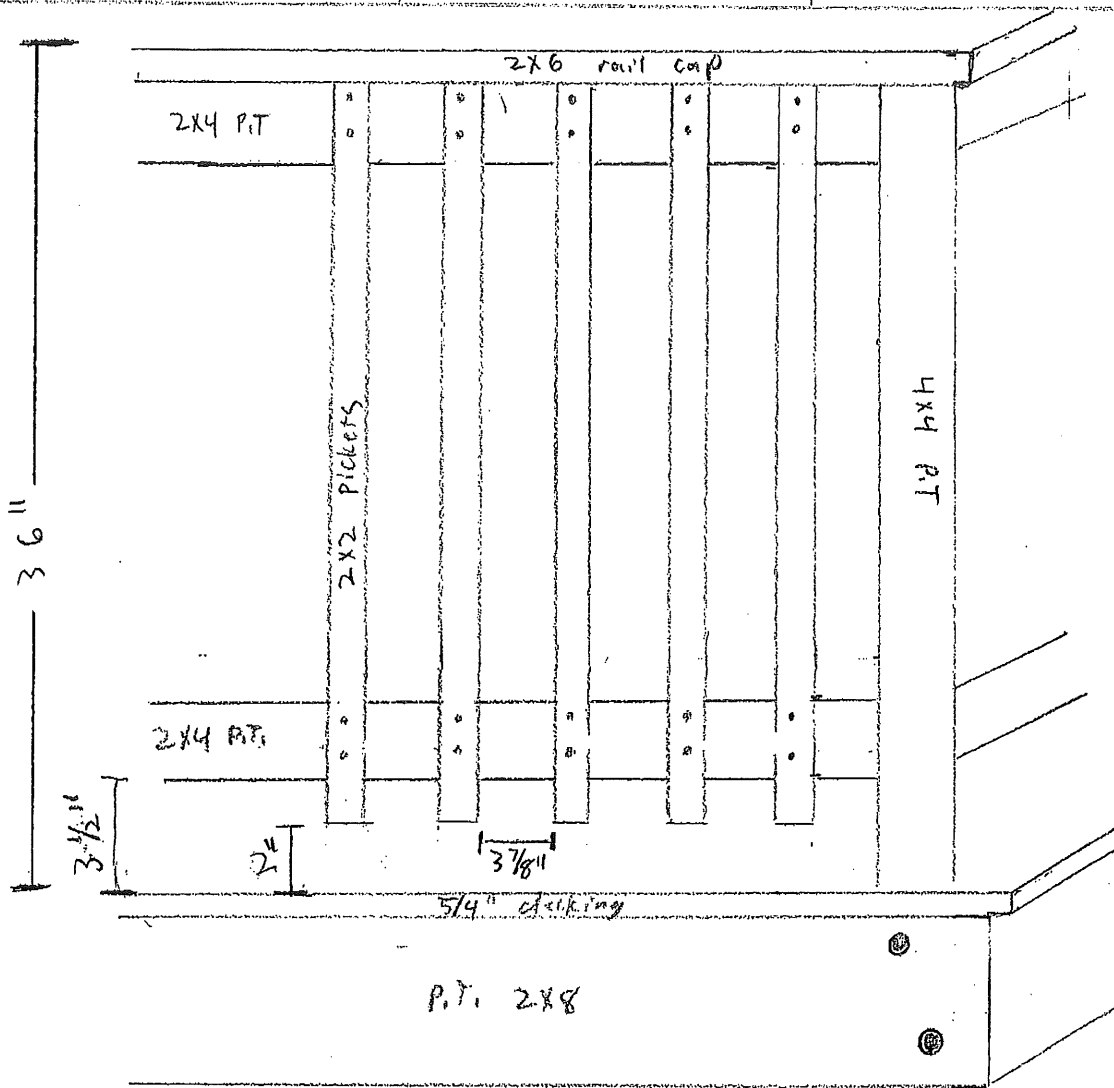
Framing Plan SK-2



22 Rose dale Deck

8/1/12

Rail Elevation sk-4



Simpson post base
fastened w/ 10d nails

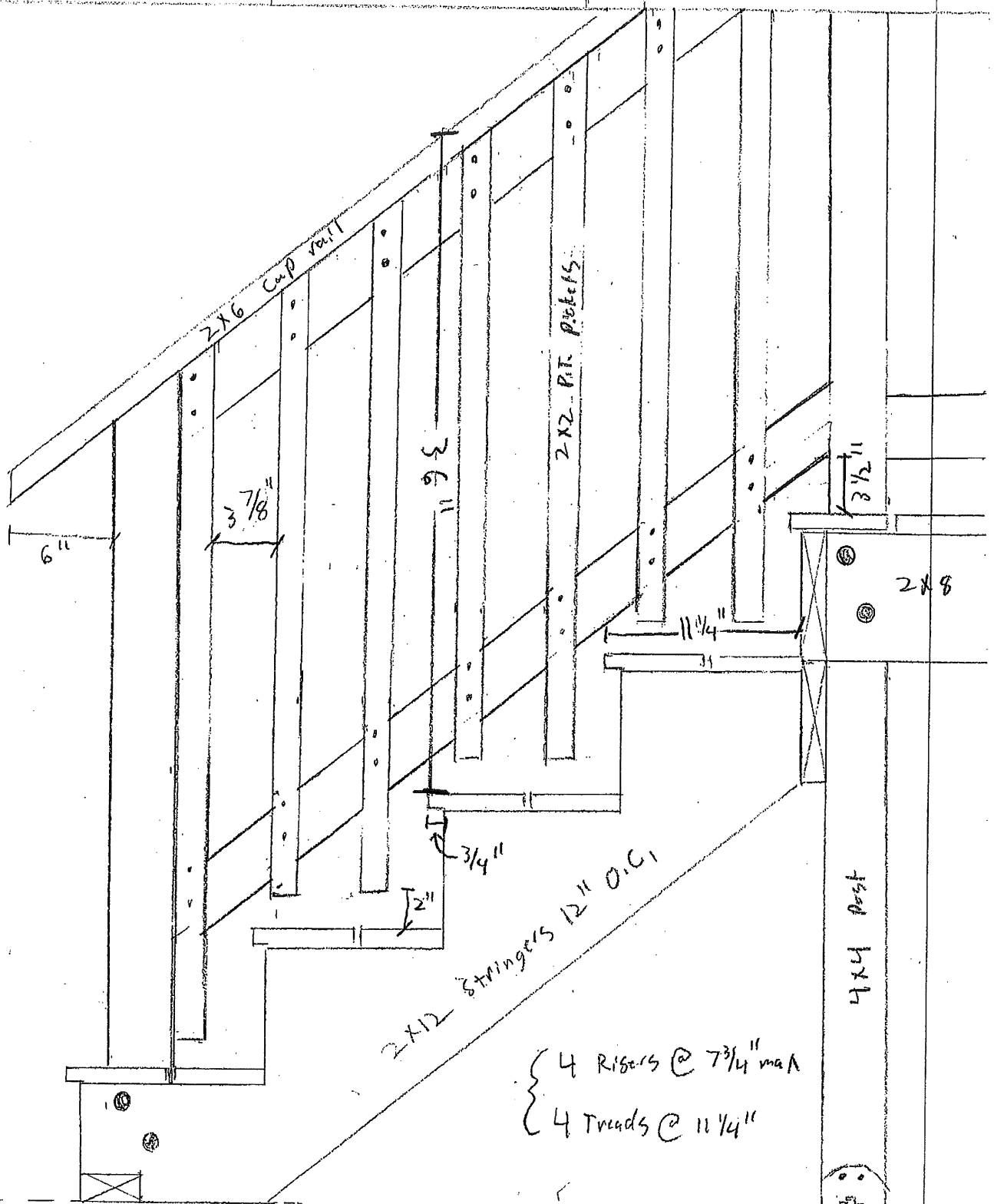
10" dia. saum tube
+ 4' below grade

"L" bolt embed
into concrete

22 Rosedale Deck

8/1/12

Stringer Profile SK-5



Conc. Pad

Grade

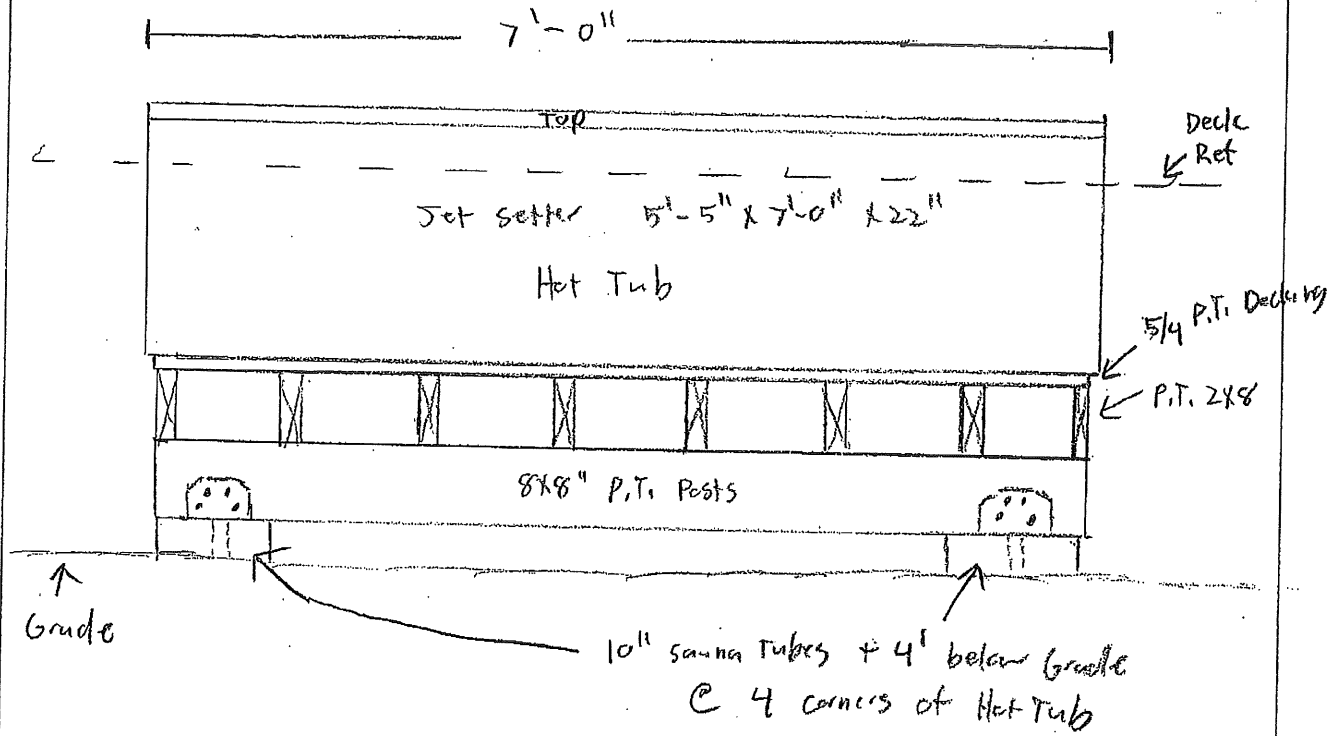
10" Sanitary
Tube
4' below Grade

22 Roseclate Deck

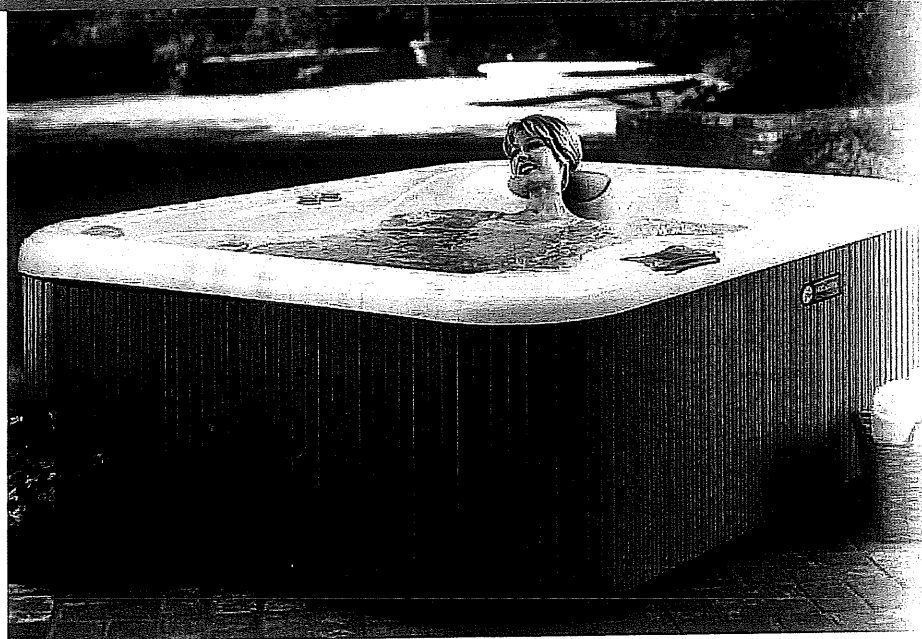
8/1/12

Hot Tub Base

SLC-6



- Hot Tub is carried by independent deck system



Jetsetter®

Seating Capacity	3 adults
Dimensions	7' x 5'5" x 29"H/2.13m x 1.65m x .74mH
Water Capacity	225 gallons/852 litres
Weight	450 lbs./204 kg dry; 2,852 lbs./1,294 kg filled*

Spa Shell & Everwood® Cabinet Options

Champagne Opal, Pearl or Sand	Coastal Gray, Espresso or Redwood
Sterling Marble	Coastal Gray or Espresso
Lighting System	Luminescence® multi-color four-zone

Entertainment Systems (Optional)

	Integrated MP3 Sound System
	Wireless Sound System
	Wireless TV & Sound System

Jets - 14 total (all with stainless steel trim)	1 Moto-Massage® DX jet (2), 1 JetStream® jet, 2 Rotary Hydromassage jets, 1 Directional Hydromassage jet, 4 HydroStream® jets, 4 Directional Precision® jets
--	---

Energy Efficiency	Certified to the California Energy Commission (CEC) in accordance with California law
-------------------	--

Control System	IQ 2020® 115v/20 amp (includes G.F.C.I. protected power cord) or 230v/50amp, 60 Hz**
----------------	---

Heater	No-Fault®, 1500w/115v or 6000w/230v
--------	-------------------------------------

Jet Pump	Wavemaster® 7000; One-speed, 1.65 HP Continuous Duty, 3.5 HP Breakdown Torque
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Circulation Pump	SilentFlo 5000®
------------------	-----------------

Effective Filtration Area	90 sq. ft., top loading, 100% no-bypass filtration
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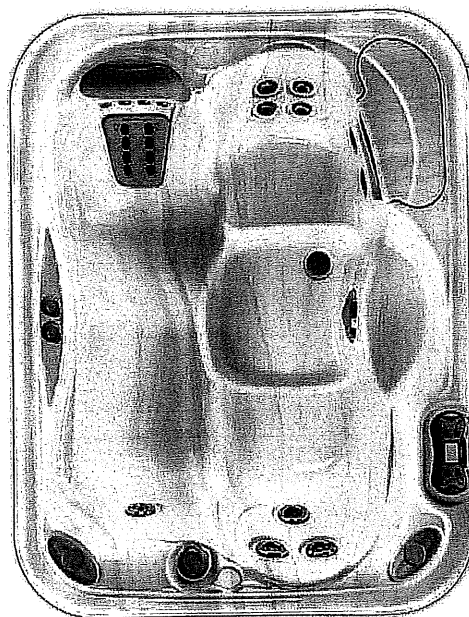
Ozone System	FreshWater® III Corona Discharge
--------------	----------------------------------

Water Care Systems (Optional)	ACE® Salt Water Sanitizing System EverFresh® System
-------------------------------	--

Vinyl Cover	3.5" to 2.5" tapered, 1.5 lb. density foam core Ash, Espresso, Rust or Spruce
-------------	--

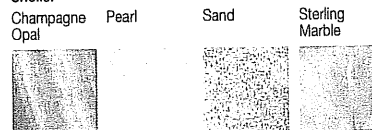
Cover Lifter (Optional)	CoverCradle®, CoverCradle II, Lift 'n Glide® or UpRite®
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Steps (Optional)	Everwood or Polymer
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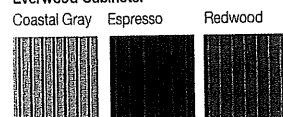


Jetsetter spa shell shown in Sterling Marble

Shells:

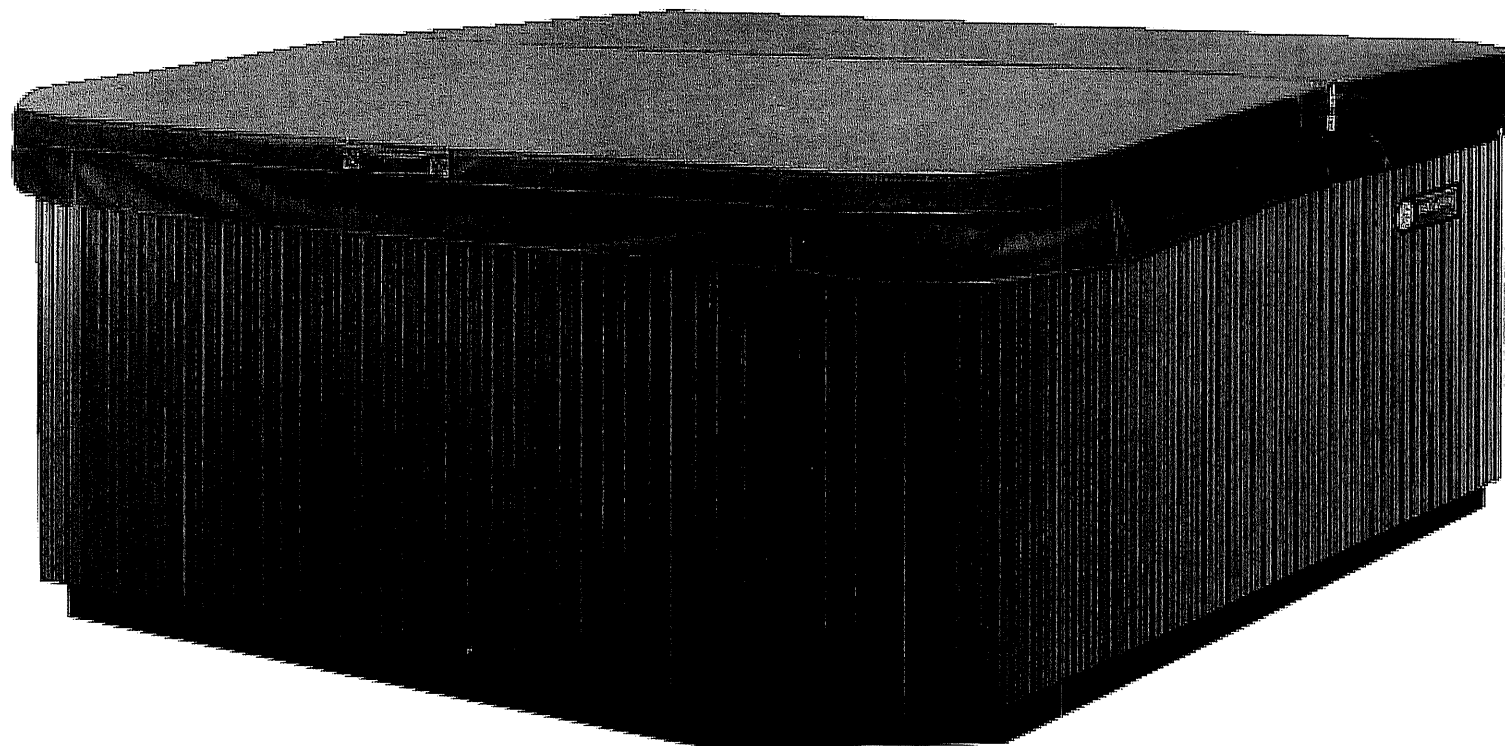


Everwood Cabinets:



* Includes water and 3 adults weighing 175 lbs. each

** G.F.C.I. protected sub-panel required in 230v mode
Export models available in 230v, 50 Hz, 1500w Heater



Ash



Espresso



Rust



Spruce