

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

PERMIT ISSUED

# CITY OF PORTLAND

JUL 26 2005

Permit Number: 050839

CITY OF PORTLAND

## PERMIT

Please Read Application And Notes, If Any, Attached

This is to certify that Brown Elizabeth D & /Owner

has permission to single family home with addition of 344 sq ft porch deck, 480 sq ft living space,

AT 65 Brookside Rd OR 158 A014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must begin and work in permit in progress before this building or part thereof is closed or enclosed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

DepartmentName

*Jeanie Bourke* 7/26/05  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>	
Issue Date: <b>JUL 26 2005</b>	CBL: 158 A014001
05-0839	

<b>Location of Construction:</b> 65 Brookside Rd	<b>Owner Name:</b> Brown Elizabeth D &	<b>Owner Address:</b> 65 Brookside Rd	<b>Phone:</b> 838-0497
<b>Business Name:</b>	<b>Contractor Name:</b> Owner	<b>Contractor Address:</b> Portland	<b>Phone:</b> 0777-2620
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	<b>Zone:</b> R3

<b>Past Use:</b> single family home	<b>(Proposed Use):</b> exterior renovations, including addition of 2nd floor, addition of living space and new deck	<b>Permit Fee:</b>	<b>Cost of Work:</b>	<b>CEO District:</b> 1-1913
		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group R3 Type SB IRC-2003	

<b>Proposed Project Description:</b> single family home with addition of 344 sq ft porch/deck, 480 sq ft living space, new second floor, interior and exterior renovations	<b>Signature:</b> JMB 7/21/05
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>	
<b>Action:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
<b>Signature:</b>	<b>Date:</b>

<b>Permit Taken By:</b> jharris	<b>Date Applied For:</b> 06/24/2005	<b>Zoning Approval</b>
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<p><b>Special Zone or Reviews</b></p> <p><input checked="" type="checkbox"/> Shoreland <i>Yes well over 15' to them</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/conditions</i></p> <p>Date: <i>JMB 7/12/05</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>JMB</i></p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

8/16/05 Setback inspection met w/ Wyatt. Measured.  
From pin to pin. Surveyor caps in place. Setbacks are ok.  
gave ok to pour ft

4/20/06 Framing inspection only. checked egress, T+R all ok.  
Contractor will call when Plumbing + Electric are ready for

4/9/06 Plumbing + Elect ok. Question re: are

faults. AR

also gas fire place will need permit AR

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-0839	<b>Date Applied For:</b> 06/24/2005	<b>CBL:</b> 158 A014001
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<b>Location of Construction:</b> 65 Brookside Rd	<b>Owner Name:</b> Brown Elizabeth D &	<b>Owner Address:</b> 65 Brookside Rd	<b>Phone:</b> ( ) 838-0497
<b>Business Name:</b>	<b>Contractor Name:</b> Owner	<b>Contractor Address:</b> Portland	<b>Phone</b> (207) 775-2620
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	
<b>Proposed Use:</b> single family home with interior and exterior renovations, including addition of 2nd floor, addition of living space and new deck		<b>Proposed Project Description:</b> single family home with addition of 344 sq ft porch/deck, 480 sq ft living space, new second floor, interior and exterior renovations	

Dept: Zoning      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 07/12/2005

**Note:** **Ok to Issue:** 

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 07/21/2005

**Note:** 7/12/05 Spoke w/Frank O. For details, smokes, egress, stairs & rails, attic scuttle, basement bedrooms & stamped structurals. He will submit. Also left vm w/Deron B. For basement bedroom egress. **Ok to Issue:** 

7/15 received revisions from Frank O.

7/18 left vm w/Deron B. To call regarding basement use.

Spoke w/Deron who is willing to sign or do anything to say there are no bedrooms in the basement. Also it came to my attention that I need to find out what the existing basement ceiling height is. Spoke w/Frank O.

About issues and made notes on the revisions per our conversation.

7/20 met w/mjn about ceiling ht. And a waiver will be issued for a 6'-10" allowance. Also, the closets must be removed from the basement storage rooms and a CO will be required with the condition of no bedrooms in the basement.

7/21 Frank O. Delivered stamped structurals and revisions, **ok** to issue

- 1) Separate permits are required for any electrical, plumbing, or heating.
- 2) Application approval based upon information provided by applicant w/addendums. Any deviation from approved plans requires separate review and approval prior to work.
- 3) The basement is not approved to have bedrooms due to egress requirements, this shall be designated on a CO at the final inspection.

**Comments:**

06/27/2005-jharris: no contractor per Donna Martin

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>65 BROOKSIDE RD, PORTLAND 04103</u>		
Total Square Footage of Proposed Structure <u>5056 sq. ft.</u>	Square Footage of Lot <u>26,903 sq. ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>158</u> Block# <u>A</u> Lot# <u>-14</u>	Owner: <u>DERON W BARTON</u> <u>ELIZABETH G. BROWN</u>	Telephone <u>715 2620</u> Telephone: <u>838-0497</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Liz Brown</u> <u>65 Brookside Rd, Portland</u> <u>838-0497</u>	Cost Of Work: <u>\$ 225,000</u> Fee: <u>\$ 2046.-</u>
Current use: <u>single family home</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>single family home</u>		
Project description: <u>interior + exterior remodeling, including addition of second floor and ± 480 sq. ft. living space on 1st flr. + ± 344 sq. ft. porches/deck</u>		
Contractor's name, address & telephone: <u>N/A</u>		
Who should we contact when the permit is ready: <u>Liz Brown</u>		
Mailing address: <u>65 Brookside Rd</u> <u>Portland 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>838-0497</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Elizabeth D. Brown</u>	Date: <u>6/23/05</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon**

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Elizabeth Braun  
Signature of Applicant/Designee

7/26/05  
Date

James Bonta  
Signature of Inspections Official

7/26/05  
Date

CBL: 158-A 14

Building Permit #: 05-083



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov*

*Lee Urban- Director of Planning and Development  
Michael J. Nugent- Inspections Division Director*

July 26, 2005

Elizabeth D. Brown  
65 Brookside Rd.  
Portland, ME 04103

RE: 65 Brookside Dr. (Permit # 050839/158 A014) Waiver request

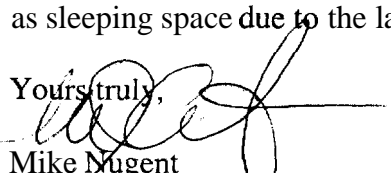
Dear Ms. Brown,

Thank you for request for a waiver, received this date. The following are the facts:

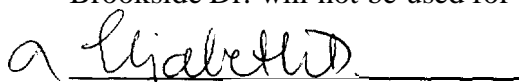
- 1) The Application is for the conversion of the basement into living and storage space..
- 2) The proposal is for residential use, but will not constitute a separate dwelling unit.

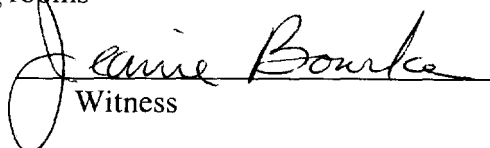
The waiver request is for the allowance of 6' 10" of headroom in the existing basement, instead of the 7' required headroom. Based on the fact that this portion of the structure in existing, the City grants this waiver pursuant to Section 121 of the City Building Code as amended. This Office grants building permit # 050839 with the condition that no portion of the basement is to be used as sleeping space due to the lack of code compliant emergency escapes.

Yours truly,

  
Mike Nugent  
Inspections Division Director

I, Elizabeth D. Brown, agree, as a condition of approval, that no portion of the basement at 65 Brookside Dr. will not be used for sleeping rooms

  
Daniel Steele

  
Witness

7/12/05

60 Brookside Rd  
Need stamp

158-A-14

05-0839

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Inspection
<b>STRUCTURAL</b>				
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	1'8" X 1'		OK	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Drain, stone, damp proof		OK	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY				
Anchor Bolts/Straps, spacing (Section R403.1.6)			OK	
Lally Column Type (Section R407)			OK	
Girder & Header Spans (Table R 502.5(2))			OK	
Built-Up Wood Center Girder Dimension/Type			OK	
Sill/Band Joist Type & Dimensions			OK	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Existing 2x10 16" O.C.		OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 12 & 16 O.C.		OK	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Truss		OK	



Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))	5:12 HP		
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Step Truss / Hip truss		OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2" CDX		OK
Fastener Schedule (Table R602.3(1) & (2))			OK
<b>Private Garage</b> (Section R309) Living Space ? (Above or beside)			
Fire separation (Section R309.2)	Exterior wall & ceiling is 2-5/8" v		OK
Opening Protection (Section R309.1)	1 hr		OK
Emergency Escape and Rescue Openings (Section R310)	? master bed ? guest		OK
Roof Covering (Chapter 9)	Fiberglass	Revisions + notes 7/15/05	OK
Safety Glazing (Section R308)	See schedule		OK
Attic Access (Section R807)	?		OK 7/15/05 (2)
Chimney Clearances/Fire Blocking (Chap. 10)		N/A	
Header Schedule (Section R502.5.1 & 2)	Schedule		OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Roof / Basement PL Insul of Foundation		OK

Type of Heating System		
<b>Means of Egress</b> (Sec R311 & R312)	ceiling HT? habitable? window well	No closets / NO bedrooms
Basement		
Number of Stairways		
Interior	?	Revisions 7/15/05
Exterior	'	
Treads and Risers (Section R311.5.3)		
Width (Section R311.5.1)	3'-6 7/8" - 3'-4 1/2"	
Headroom (Section R311.5.2)	?	6'8" scaled
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	?	OK
Smoke Detectors (Section R313) Location and type/Interconnected	?	Noted on Finish 6.2A
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
	Stamped ALL Plans Need Guards	Stamped 7/21/05

Pool Specs N/A

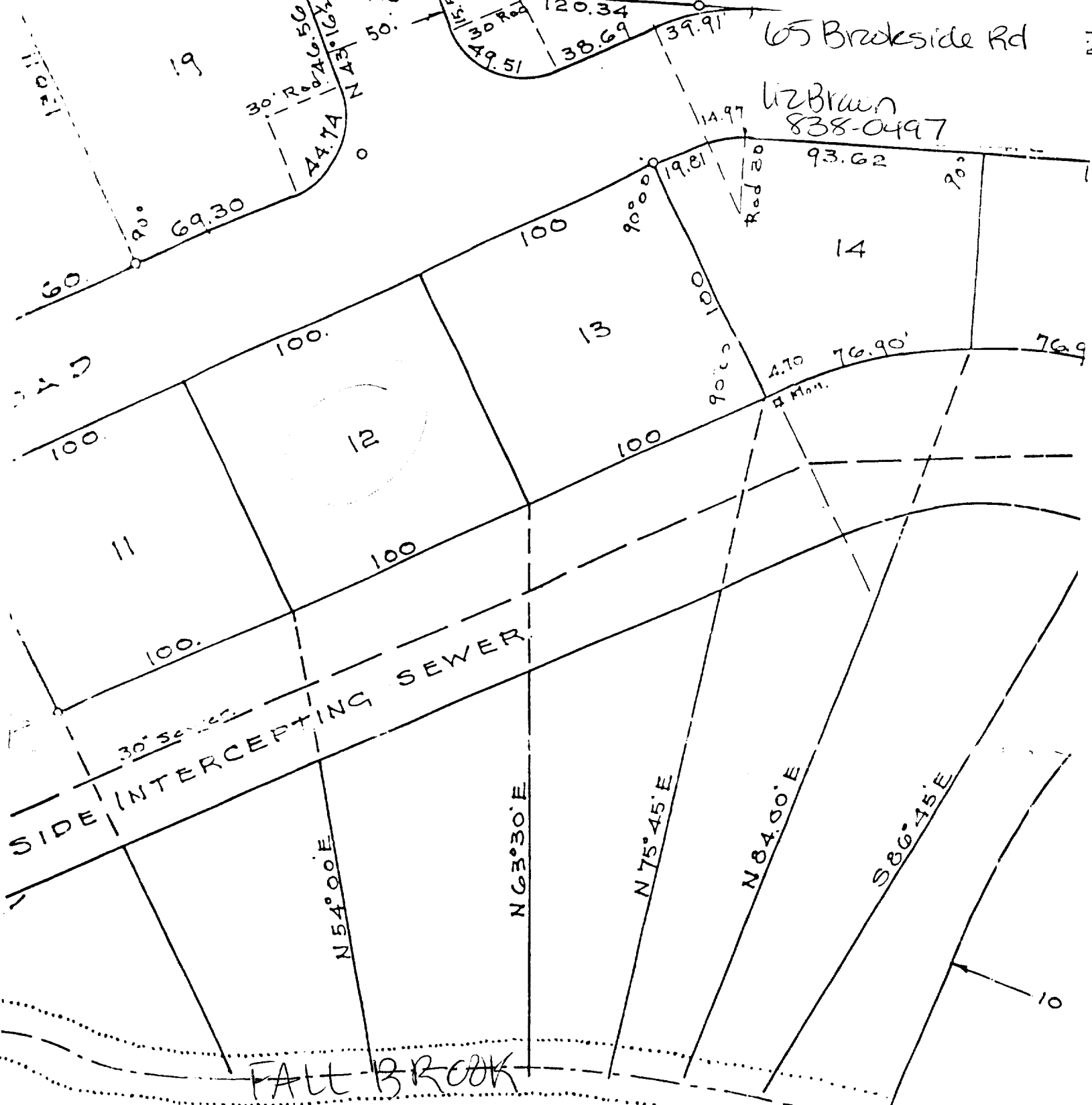
Need Guards

~~3~~

~~4~~

~~5~~

~~6~~



65 Brookside Rd

Liz Brown  
838-0497

Plan Book 38 Page 53  
BROOKSIDE  
Portland, ME

d. Feb 1950 city approval - signed but not dated  
 Officers of the City of Portland hereby rec- 10/9/52  
 of this plan as required according to  
 of the revised stat. t. - - -

11



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

Card Number 1 of 1  
 Parcel ID 158 A014001  
 Location 65 BROOKSIDE RD  
 Land Use SINGLE FAMILY

Owner Address BROWN ELIZABETH D & DERON W BARTON JTS  
 65 BROOKSIDE RD  
 PORTLAND NE 04103

Book/Page 22399/196  
 Legal 158-A-14  
 BROOKSIDE RD 65  
 11000 SF

### Current Valuation Information

Land	Building	Total
\$65,310	\$146,790	\$212,100

### New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$130,500	\$137,600	\$268,100	\$240,100

### Property Information

Year Built 1955	Style Ranch	Story Height 1	sq. Ft. 2057	Total Acres 0.253		
Bedrooms 2	Full Baths 1	Half Baths 1	Total Rooms 5	Attic None	Basement Full	

### Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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### Sales Information

Date 03/10/2005	Type LAND + BLDING	Price \$400,000	Book/Page 22399-196
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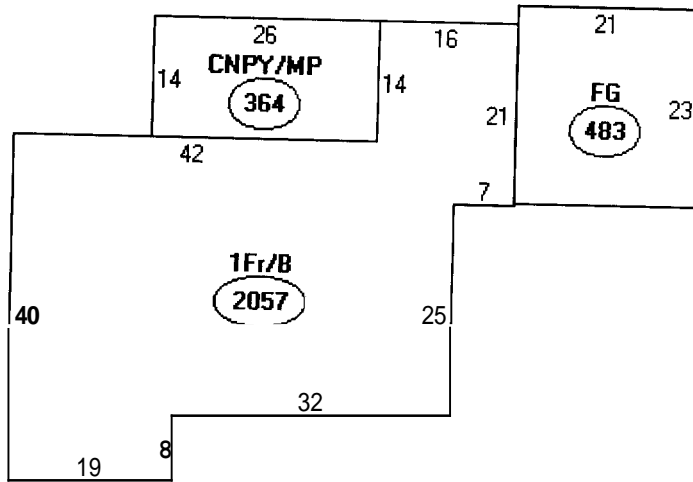
### Picture and Sketch

Picture	Sketch	Tax Map
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[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here](#) to view comparable sales or below to view **by**:



Descriptor/Area

- A: 1Fr/B  
2057 sqft
- E: CNPY/MP  
364 sqft
- C: FG  
483 sqft

# Transmittal

To: Jeannie Bork      Project name/number: Barton Residence

Date: 07/14/05      From: Matthew Winch

Re: Building Permit App cc: Frank Oliva, file

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Item:	Date	Quantity	Title
1	07/14/05	1 ea	SKA-01 through SKA-05

**Remarks:**

Enclosed please find SKA drawings for the Barton Residence at 65 Brookside Road. These SKA drawings are based on your recent request for additional information prior to approving a building permit for this project.









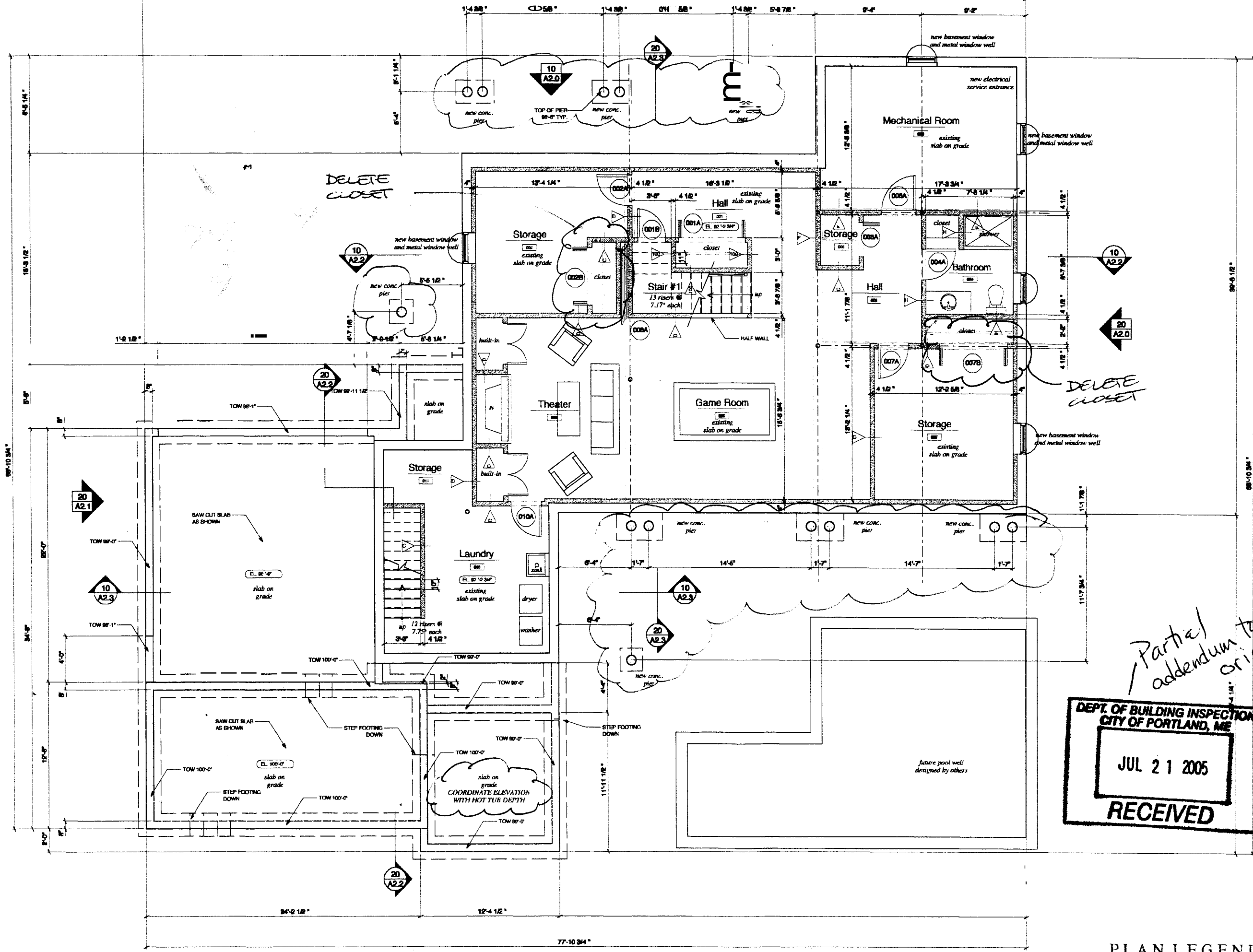


# The Barton Residence

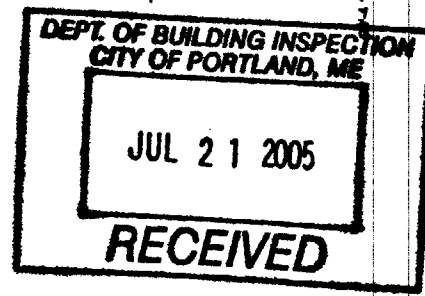
Portland, Maine

## MATERIALS SCHEDULE

- A1: Park in Place Concrete
- A2: Concrete Slab on Grade
- A3: Concrete Masonry Units
- A4: Brick
- A5: Field Stone
- A6: Cut Granite
- B: Wood Construction
- B1: Plywood
- B2: Wood Framing
- B3: Fir Wood Trim, Painted
- B4: Interior Wood Trim
- B5: White Softwood Paint
- B6: Fir Deckboard, Clear Fin.
- B7: Fumed Wood Cream Paint
- B8: Wood Molding, Paint
- B9: White Cedar Siding, Stained
- C: Gypsum Board, Siding, Plaster
- E: Batt Insulation
- E1: Rigid Insulation
- E2: Cambraproof
- E3: Waterproof Underlayment
- E4: Fiberglass Roof Shingles
- E5: Alum. Flashing, Painted Finish
- E6: Lead Coated Copper Flashing
- L3: Rope Vent
- F: Vapor Barriers
- F1: Air Infiltrator Barrier
- F2: Field Underlayment
- G: Cast Wood Window
- G1: Metal Door
- H: Wood Door
- I: Gypsum Board
- J: The Barton Board
- K: Fire Resistant Gypsum Board
- K1: Wood Strip Flooring
- K2: Ceramic Tile
- K3: Wood Flooring, Glue
- K4: Stone Tile
- K5: Pattern Wood Flooring
- L: Wall to Wall Carpet
- L1: Granite Countertops
- M: Aluminum Cabinet, Painted
- M1: Aluminum Sinks, Vents, Painted
- N: Painted Finish
- N1: Stain and Clear Finish
- O: Cabinet Sinks
- O1: Composite Fill
- O2: Foundation Grout
- O3: Concrete Hevert
- P: Sealant
- P1: Bituminous Asphalt Faving
- P2: Wood Handrail
- P3: Wood Railing, Painted



*Partial addendum to original*



7/18/05

FOR CONSTRUCTION

Proposed  
 Basement Plan

PLAN LEGEND

existing wall construction

10 BASEMENT FLOOR PLAN

# The Barton Residence

Portland,  
 Maine

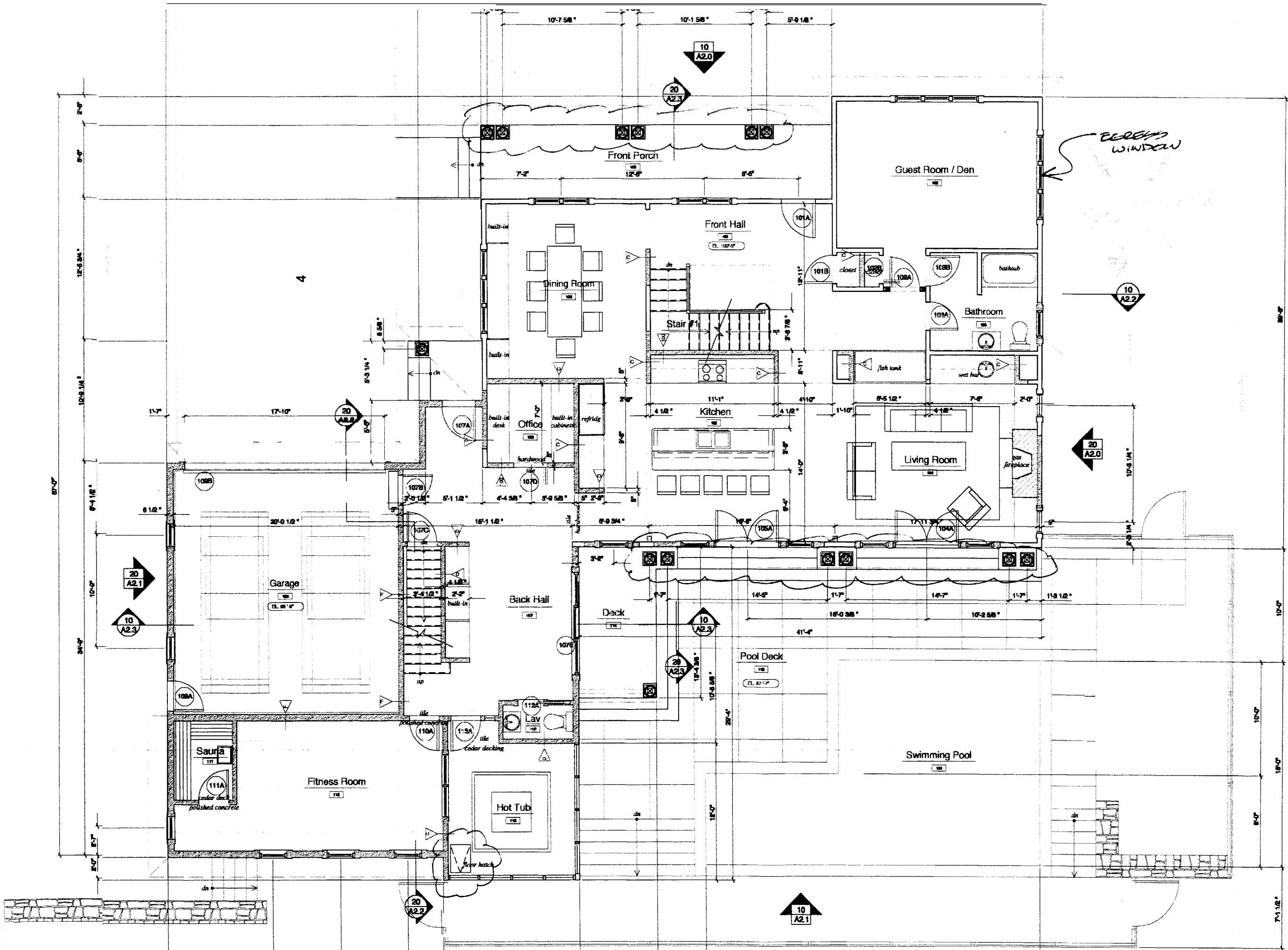
## MATERIALS SCHEDULE

- 1 Cast in Place Concrete
- A1 Concrete slab on Grade
- A2 Concrete Masonry Units
- A3 Brick
- A4 Field Stone
- A5 Gas Granite
- B Wood Construction
- B1 Plywood
- B2 Vinyl Siding
- B3 1/2" Wood Film, Painted
- B4 Interior Wood Trim
- B5 Wood Sill, Painted
- B6 1/2" Sheetrock, Clear Fin.
- B7 Tumbled Wood Tokum, Paint
- B8 Wood Milling, Paint
- C White Oak Shingles, Stained
- C1 Clayboard Siding, Painted
- D Rigid Insulation
- D2 Camouflaging
- D3 Waterproof Underlayment
- E Fiberglass Roof Shingles
- E1 Alum. Flashing, Painted Finish
- E2 Lead Coated Copper Flashing
- F Ridge Vent
- F1 Vapor Barrier
- F2 Air Infiltration Barrier
- F3 Fat Underlayment
- G Old Wood Window
- G1 Metal Door
- G2 Wood Door
- G3 Gypsum Board
- G4 Tile Backer Board
- G5 Tile Reinforcing Gypsum Board
- H Mixed Stone Flooring
- H1 Ceramic Tile
- A2 Wood Flooring, Stain
- R3 Stone Tile
- G4 Exterior Wood Decking
- L Wall to Wall Carpet
- L1 Granite Countertop
- M Aluminum Sill Vent, Painted
- M1 Painted Finish
- N Stain and Clear Finish
- O Crushed Stone
- O1 Compacted Fill
- O2 Foundation Drain
- P Concrete Pavers
- Q Sealant
- R Bituminous Asphalt Paving
- S Wood Handrail
- S1 Wood Railing, Painted

Revision: 7/18/05

## Proposed First Floor Plan

Scale: 1"=4'-0" Date: 7/18/200  
 Drawn By:



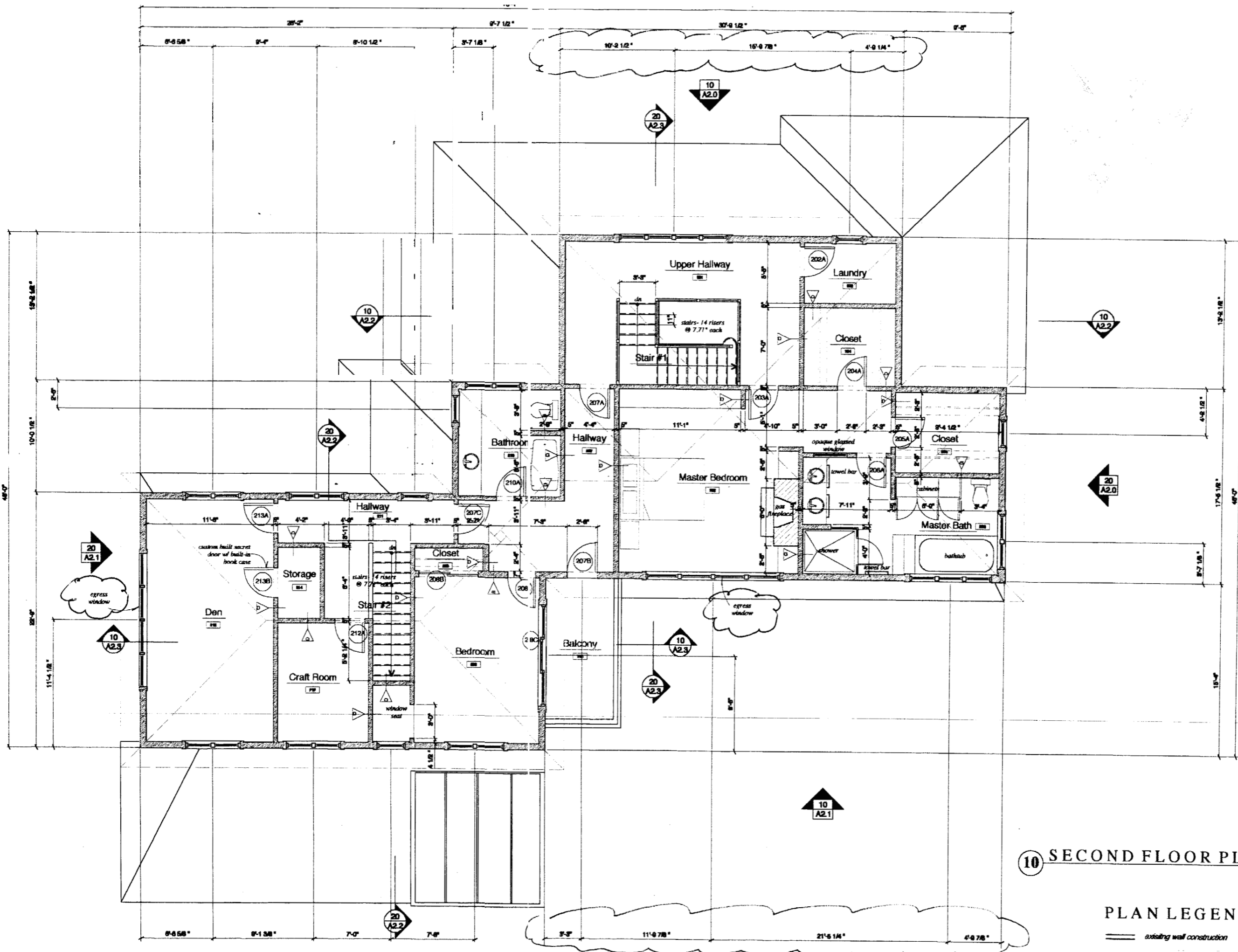
10 FIRST FLOOR PLAN

PLAN LEGEND



# The Barton Residence

Portland, Maine



### MA MATERIALS SCHEDULE

- 1 Cast in Place Concrete
- A1 Concrete Slab on Grade
- A2 Concrete Masonry Units
- A3 Brick
- A4 Field Stone
- A5 12" Concrete
- B Wood Construction
- B1 Plywood
- B2 Hardwood
- B3 3/4" Wood Ply
- B4 1/2" Wood Ply
- B5 Wood Soffit, Painted
- B6 Ply Board, Clear Fin
- B7 Toned Wood Columns, Paint
- B8 Wood Molding, Paint
- C White Cedar Shingles, Shaded
- D Sheetrock Siding, Painted
- D1 Rigid Insulation
- D2 Demolishing
- D3 Waterproof Underlayment
- E Fiberglass Roof Singles
- F1 Alum. Flashing, Painted Finish
- E2 Lead Coated Copper Flashing
- E3 Ridge Vent
- F Vapor Barrier
- F1 Air Infiltration Barrier
- F2 Flat Underlayment
- G 3/4" Hard Wood Windows
- G1 Metal Door
- H Wood Door
- I Gypsum Board
- J1 Tile Backer Board
- J2 Fire Retardant Gypsum Board
- K Wood Strip Flooring
- K1 Ceramic Tile
- K2 Wood Flooring, Stain
- K3 Stone Tile
- K4 Exterior Wood Decking
- L Walk to Wall Carpet
- L1 Granite Countertop
- M Aluminum Soffit, Painted
- N Painted Finish
- N1 Stain and Clear Finish
- O Drained Stone
- O1 Compacted Fill
- O2 Foundation Drain
- P Concrete Pavers
- Q Sealant
- R Bituminous Asphalt Paving
- S Wood Handrail
- S1 Wood Balustrade

## 10 SECOND FLOOR PLAN

### PLAN LEGEND

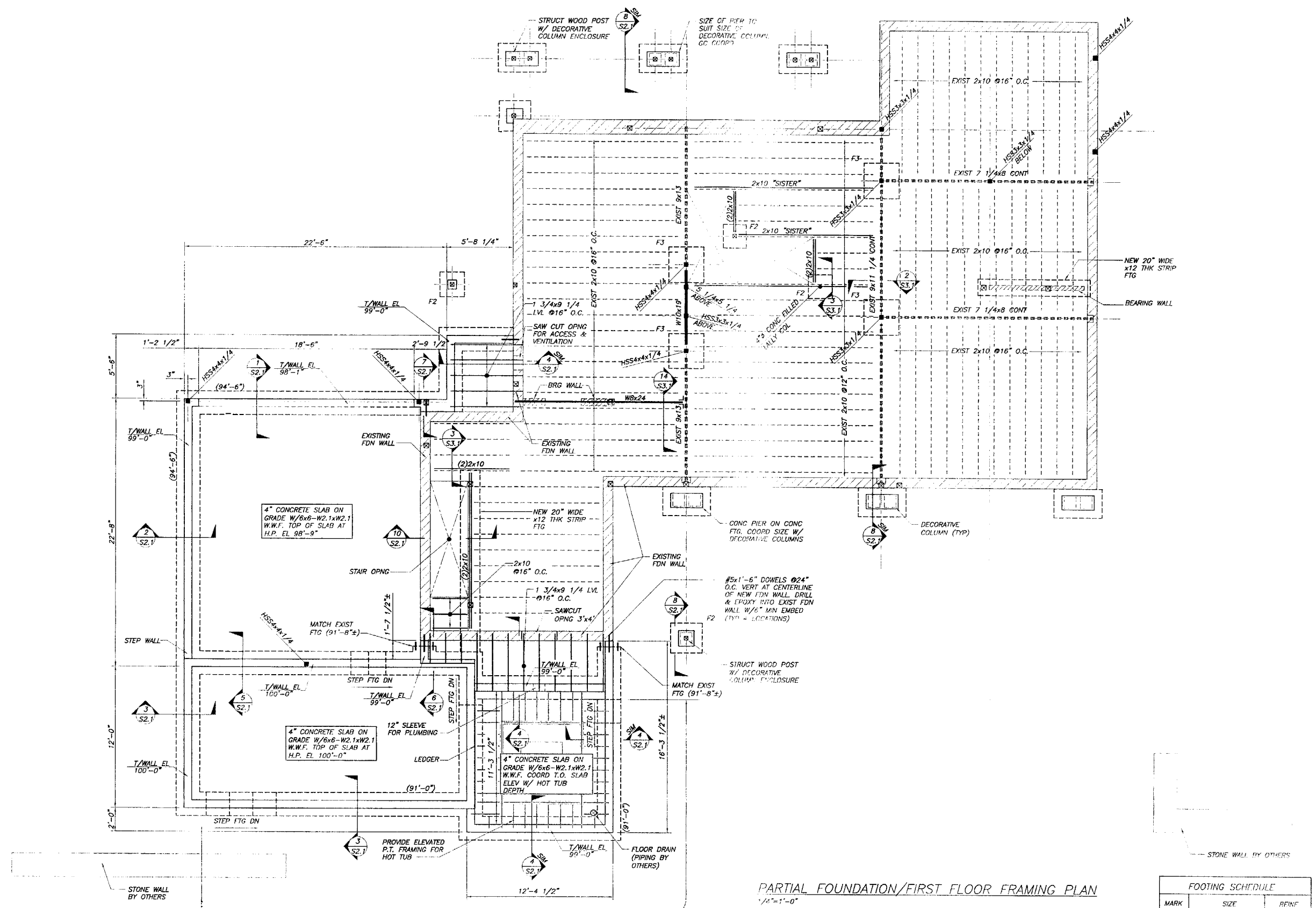
— existing wall construction

Revision

Issue: FOR CONSTRUCTION

Title: Proposed Second Floor Plan

Scale: 1" = 0'-0" Date: 7 / 18 / 2001  
 Drawn By:



**PARTIAL FOUNDATION/FIRST FLOOR FRAMING PLAN**  
 1/4\"/>

- NOTES:
1. (XX'-XX') INDICATED TOP OF FOOTING ELEVATION
  2. ■ INDICATES STEEL COLUMN
  3. □ INDICATES TIMBER/LVL POST
  3. REFER TO ARCH PLAN FOR CONCRETE SLAB CONTRACTION JOINT LAYOUT. SAWCUT JOINTS 1 1/4\"/>

FOOTING SCHEDULE		
MARK	SIZE	REINF.
F2	2'-0\"/>	
F3	3'-0\"/>	

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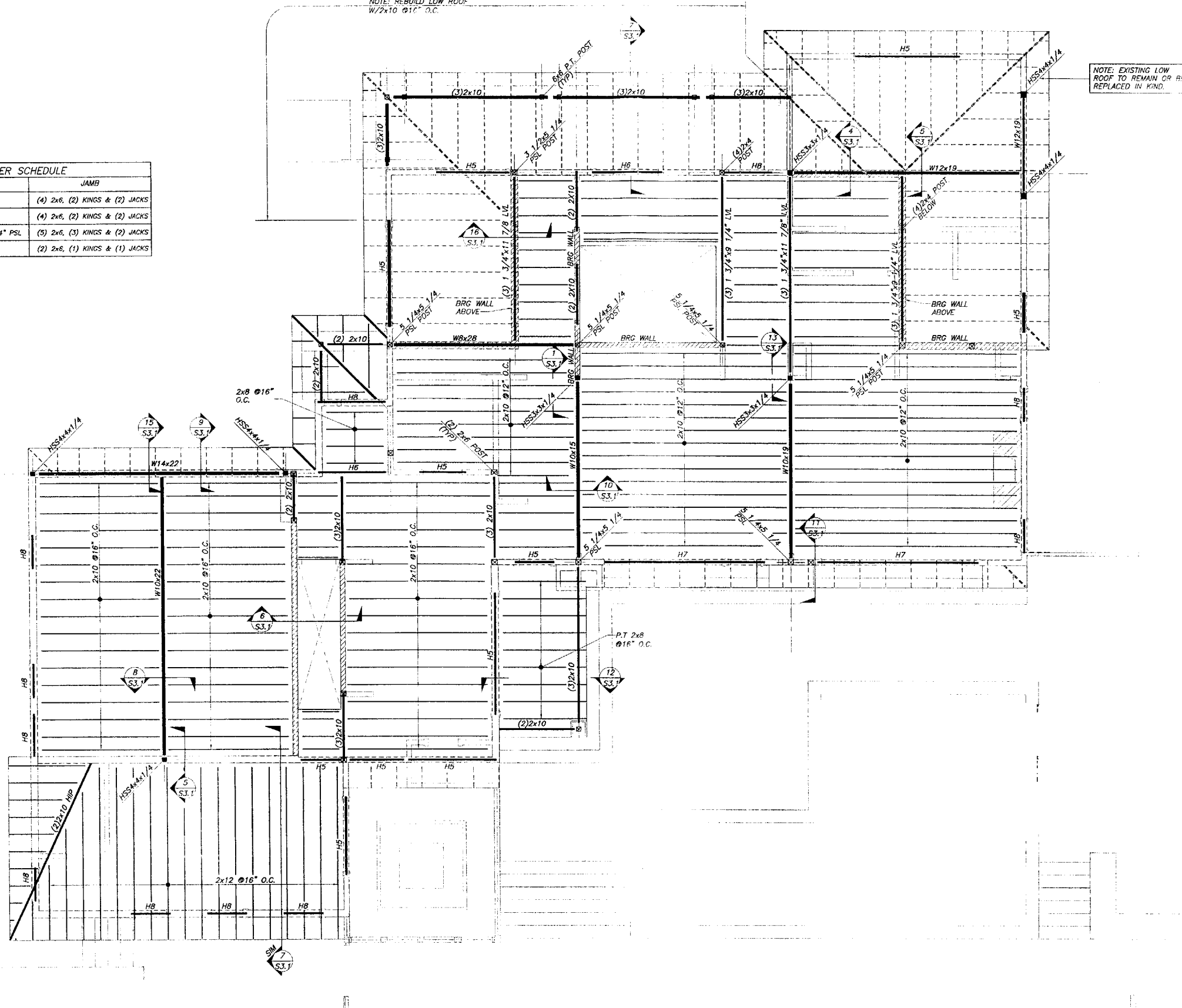
BARTON RESIDENCE  
 PORTLAND, ME  
 PARTIAL FDN/FIRST FLOOR FRAMING PLAN

BTW AS NOTED  
 CHF 07/19/05  
 PBB 1364

S1.1

FOR CONSTRUCTION

HEADER SCHEDULE		
MARK	SIZE	JAMB
H5	(3) 2x10	(4) 2x6, (2) KINGS & (2) JACKS
H6	(3) 2x12	(4) 2x6, (2) KINGS & (2) JACKS
H7	(3) 1 3/4"x11 1/4" PSL	(5) 2x6, (3) KINGS & (2) JACKS
H8	(3) 2x6	(2) 2x6, (1) KINGS & (1) JACKS



**SECOND FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL FLOOR FRAMING 2x10 @16" O.C. U.N.O.
  2. H4, H5, ETC. INDICATES STRUCTURAL HEADER, REFER TO SCHEDULE THIS DWG.
  3. ALL COLUMNS LOCATED ON FRAMING PLANS SHALL BE CARRIED DOWN THROUGH TO THE FOUNDATION.
  4. ■ INDICATES STEEL COLUMN  
□ INDICATES WOOD COLUMN

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**BECKER**  
STRUCTURAL ENGINEERS, INC.  
1000 S. GARDEN STREET  
PORTLAND, ME 04106  
TEL: 603-853-8888  
FAX: 603-853-8889

STATE OF MAINE  
TODD A. NEAL  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 10000

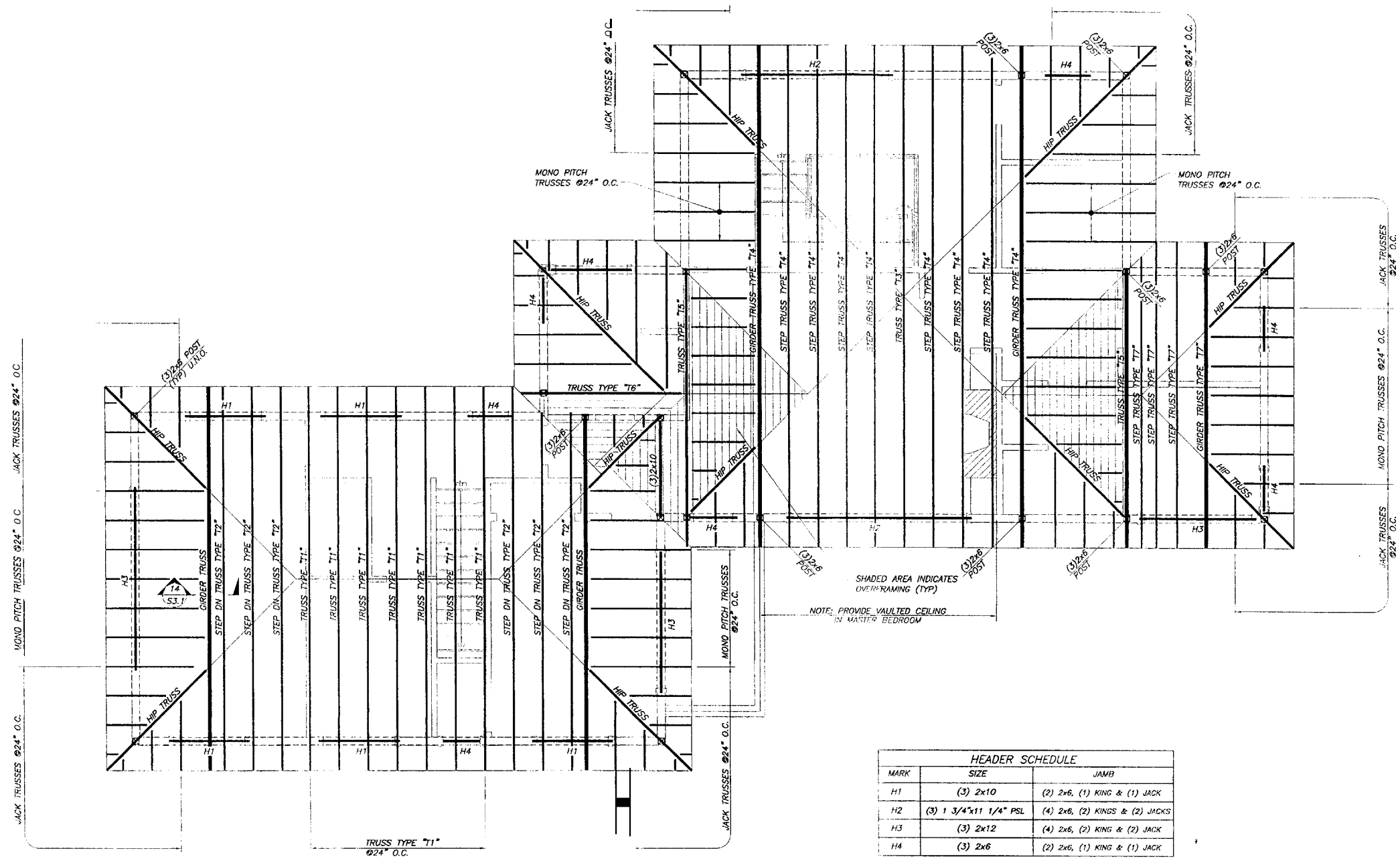
BARTON RESIDENCE  
PORTLAND, ME  
SECOND FLOOR FRAMING PLAN

BTW	AS NOTED
CHF	07/19/05
FBB	1364

**S1.2**

FOR CONSTRUCTION





HEADER SCHEDULE		
MARK	SIZE	JAMB
H1	(3) 2x10	(2) 2x6, (1) KING & (1) JACK
H2	(3) 1 3/4"x11 1/4" PSL	(4) 2x6, (2) KINGS & (2) JACKS
H3	(3) 2x12	(4) 2x6, (2) KING & (2) JACK
H4	(3) 2x6	(2) 2x6, (1) KING & (1) JACK

**ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0"

- NOTES:  
 1. H1, H2, ETC. INDICATES STRUCTURAL HEADER. REFER TO SCHEDULE THIS DWG.  
 2. TYPICAL WALL STUD FRAMING IS SPH No.1/No.2 2x6 @10" O.C. W/DBL TOP PLATE.

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 BECKER ENGINEERING & ARCHITECTURE, INC.  
 1000 W. BROAD ST., SUITE 200  
 PORTLAND, ME 04101  
 TEL: 207-799-1333  
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 WWW.BECKEREA.COM

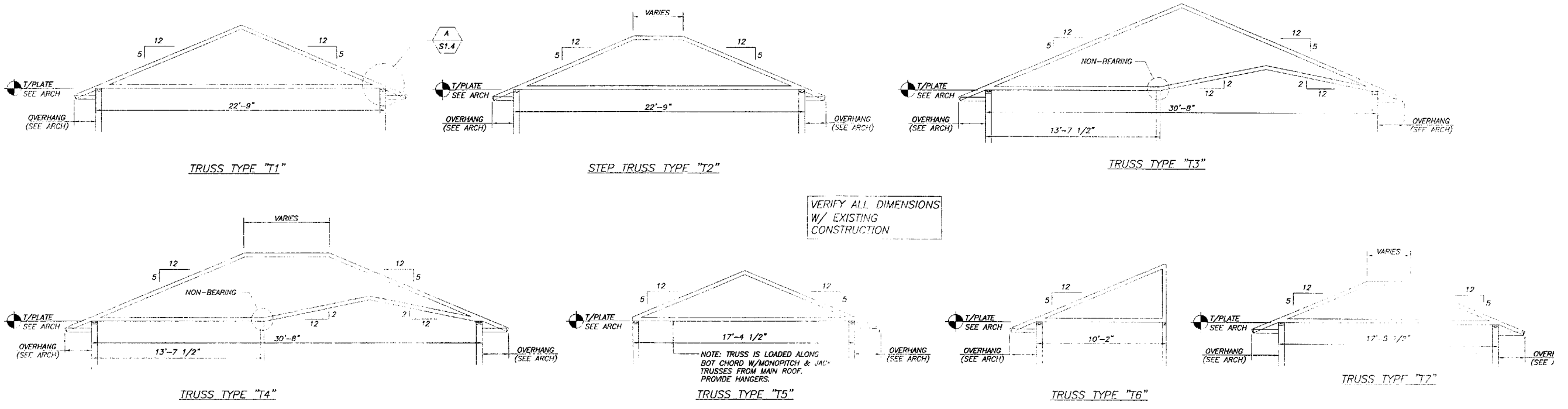
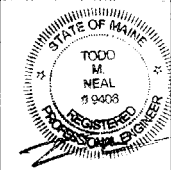
STATE OF MAINE  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 10007  
 EXPIRES 12/31/08

BARTON RESIDENCE  
 PORTLAND, ME  
 ROOF FRAMING PLAN

Drawn by	BTW	AS NOTED
Checked by	CHF	07/19/05
Reviewed by	PBB	1364

S1.3

FOR CONSTRUCTION



VERIFY ALL DIMENSIONS  
W/ EXISTING  
CONSTRUCTION

**WOOD TRUSS DESIGN LOADS**

THE FOLLOWING DESIGN LOADS SHALL BE USED FOR THE DESIGN OF THE TRUSSES, UNLESS NOTED OTHERWISE.

TOP CHORD DEAD LOAD.....	10 PSF
TOP CHORD SNOW LOAD.....	42 PSF
TOP CHORD UNBALANCED SNOW LOAD.....	69 PSF
BOTTOM CHORD DEAD LOAD.....	10 PSF

TRUSS ELEVATIONS SHOWN ARE FOR TYPICAL CONDITIONS, ADDITIONAL TRUSSES SIMILAR TO THOSE SHOWN MAY BE REQUIRED. SEE FRAMING PLANS AND ARCHITECTURAL DWGS FOR ADDITIONAL INFORMATION.

**TYPICAL WOOD TRUSS ELEVATIONS**  
1/4"=1'-0"

NOTE: VERIFY ALL DIMENSIONS W/ARCH DWGS.

**GENERAL NOTES**

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE ARCHITECT.

**DESIGN LOADS**

- BUILDING CODE: INTERNATIONAL BUILDING CODE (2003)

**FOUNDATION NOTES (SOIL SUPPORTED)**

- FOUNDATION DESIGN IS BASED ON SHALLOW SPREAD FOOTINGS BEARING ON SUITABLE UNDISTURBED NATIVE SOILS (GRAVELLY SAND AND SANDY SILT) AND/OR NEW COMPACTED STRUCTURAL FILL EXTENDING TO UNDISTURBED NATIVE SOIL.
- PRESUMPTIVE BEARING CAPACITY 3,000 PSF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW EXISTING CONDITIONS AND DETERMINE THAT EXISTING CONDITIONS CAN SATISFY THE DESIGN ASSUMPTIONS.
- EXTEND BOTTOM OF EXTERIOR FOOTINGS AT LEAST 4.5 FEET BELOW THE FINAL EXTERIOR GRADE FOR PROTECTION AGAINST FROST.
- COMPACTED STRUCTURAL FILL SHALL BE USED TO BACKFILL TO THE DESIGN FOOTING SUBGRADE ADJACENT TO FOUNDATIONS AND 12" MINIMUM BENEATH ALL SLABS ON GRADE. STRUCTURAL FILL SHALL BE A CLEAN SAND-GRAVEL MIXTURE.
- STRUCTURAL FILL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS AND BE COMPACTED BENEATH SLABS TO 95 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D-1557, MODIFIED PROCTOR TEST. COMPACT ADJACENT TO FOUNDATION WALLS SUPPORTING UNBALANCED FILL (RETAINING WALLS) TO 94-96 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D-1557. HAND OPERATED EQUIPMENT SHALL BE USED FOR COMPACTION WITHIN 8 FEET OF NEW FOUNDATION WALL.
- PROVIDE 4-INCH MIN. PVC DRAINPIPE AROUND THE PERIMETER OF THE STRUCTURE. LOCATE AT THE BOTTOM OF THE FOUNDATION WALLS AND PROVIDE POSITIVE GRAVITY FLOW TO PROPERLY DESIGNED OUTLET. WRAP DRAIN WITH 6" OF CRUSHED STONE AND COVER WITH W/WRAP 140N GEOTEXTILE FILTER FABRIC. REFER TO SITE DRAWINGS FOR ADDITIONAL INFORMATION.

**CONCRETE NOTES**

- CONCRETE WORK SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318 - 95), AND SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301-96). THESE PUBLICATIONS ARE AVAILABLE THROUGH AMERICAN CONCRETE INSTITUTE (313) 532-2600.
- CONCRETE MIX DESIGN: FOOTINGS AND FOUNDATION WALLS: A. STRENGTH: 3000 PSI @28 DAYS B. AGGREGATE: 3/4" C. W/C RATIO: 0.55 MAX D. ENTRAINED AIR: 1% MAX, 4% MIN E. SLUMP: 2" MAX
- ADD AIR ENTRAINING ADMIXTURE AT MANUFACTURER'S PRESCRIBED RATE TO RESULT IN CONCRETE AT POINT OF PLACEMENT HAVING THE ABOVE NOTED AIR CONTENTS.
- ADDITIONAL SLUMP MAY BE ACHIEVED BY THE ADDITION OF A MID-RANGE OR HIGH-RANGE WATER REDUCING ADMIXTURE. MAXIMUM SLUMP AFTER THE ADDITION OF ADMIXTURE SHALL BE 8".
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- PROVIDE PVC SLEEVES WHERE PIPES PASS THROUGH EXTERIOR CONCRETE WALLS, BEAMS OR SLABS.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 318, LATEST EDITION.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND BE PROVIDED IN FLAT SHEETS.
- FIBER REINFORCEMENT SHALL BE TYPE III SYNTHETIC VIRGIN HOMO-POLYMER POLYPROPYLENE FIBERS CONFORMING TO ASTM C1118.
- MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:
 

A) SURFACES CAST AGAINST AND PERMANENTLY IN CONTACT WITH EARTH	3"
B) FORMED SURFACES IN CONTACT WITH EARTH OR EXPOSED TO WEATHER	1.5"
#5 BARS, 5/8" DIAMETER WIRE, AND SMALLER	2"
#6 THROUGH #11 BARS	1.5"
C) SURFACES NOT IN CONTACT WITH EARTH OR EXPOSED TO WEATHER WALLS, SLABS, JOISTS #11 BARS AND SMALLER	1.5"
BEAMS, GIRDERS, AND COLUMNS; ALL REINFORCEMENT	1.5"
- REINFORCEMENT SHALL BE CONTINUOUS AROUND CORNERS AND AT INTERSECTIONS. PROVIDE LAPED BARS AT NECESSARY SPICES OR HOOKED BARS AT DISCONTINUOUS ENDS. PROVIDE TENSION LAP SPICES FOR ALL REINFORCING AS SHOWN ON TABLE - DWG S1.
- WELDING OF REINFORCEMENT IS NOT PERMITTED.
- ANCHOR BOLTS SHALL BE HEADED BOLTS CONFORMING TO ASTM A307 UNLESS NOTED OTHERWISE ON DRAWINGS.
- ALL GROUT BENEATH BASE PLATES & BEARING PLATES SHALL BE "3-STAR" 5000-PSI NON-SHRINK GROUT BY U.S. GROUT CORP.
- CONCRETE ANCHORS SHALL BE HILTI HIT ADHESIVE ANCHORS BY HILTI NORTH AMERICA, TULSA, OK. 1-800-879-8000, UNLESS NOTED. FOLLOW MANUFACTURERS GUIDELINES FOR INSTALLATION INCLUDING CLEANING HOLE OF DEBRIS PRIOR TO INTRODUCTION OF ADHESIVE.

**TIMBER NOTES**

- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE AITC TIMBER CONSTRUCTION MANUAL - LATEST EDITION, AND THE AF&PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 2001 EDITION.
- INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED. MINIMUM GRADE No 1/No 2 SPRUCE-PINE-FIR KILN DRIED TO 19 PERCENT MAXIMUM MOISTURE.
- STRUCTURAL COMPOSITE LUMBER (VLV) SHALL BE BOISE VERSA-LAM BEAMS AND VERSA-LAM COLUMNS (VL) OF SIZE SPECIFIED ON THE DRAWINGS. REFER TO MANUFACTURERS LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES. EQUIVALENT PRODUCTS BY TRUS-JOIST MACMILLAN MEETING FOLLOWING PROPERTIES ARE ACCEPTABLE FOR POSTS AND BEAMS ONLY.
 

POSTS: VERSA-LAM COLUMN (VL) 1.8E, 2200 Fb (MIN)
BEAMS: VERSA-LAM BEAM (VL) 2.0E, 2900 Fb (MIN)
- ENGINEERED I-JOISTS (EJI) SHALL BE AS SPECIFIED ON PLANS AND MANUFACTURED BY BOISE. PRODUCTS BY OTHER MANUFACTURERS ARE NOT PERMITTED WITHOUT REVIEW AND WRITTEN CONSENT BY BECKER STRUCTURAL ENGINEERS.
- ALL PLYWOOD SHALL BE APA PERFORMANCE RATED. PROVIDE 1/2" THICK WALL SHEATHING AND 5/8" (MIN) ROOF SHEATHING OR AS NOTED ON PLAN. PLYWOOD SHALL BE NAILED TO THE FRAMING AS FOLLOWS:
 

A. ROOFS: 8d NAILS AT 6" ON EDGES AND 12" AT INTERMEDIATE SUPPORTS.
B. WALLS: 8d NAILS AT 6" ON EDGES AND 12" AT INTERMEDIATE SUPPORTS.
- ALL SOLID SAWN BUILT-UP BEAMS AND POSTS SHALL BE NAILED AS FOLLOWS AS A MINIMUM:
 

BEAMS: 2-10d NAILS AT 12" O.C. IN EACH PIECE
POSTS: 10d NAILS AT 12" O.C.
- FASTENING NOT SPECIFIED SHALL CONFORM WITH IBC TABLE 2304.8.1
- ALL TIMBER CONNECTION HARDWARE (JOIST HANGERS, POST BASES, SHEARWALL HOLDOWNS, ETC) SHALL BE AS INDICATED ON THE DRAWINGS AND MANUFACTURED BY SIMPSON STRONG-TIE, UNLESS NOTED. ALL CONNECTION HARDWARE SHALL BE HOT-DIPPED GALVANIZED G-90 EXCEPT CONNECTION HARDWARE USED IN CONJUNCTION WITH PRESERVATIVE TREATMENT SHALL MEET ANY OF THE FOLLOWING:
 

ZMAX GALVANIZED MEETING 6185 HDG PER ASTM A663 AND ASTM 153 FASTENERS
BATCH/POST HOT-DIP GALVANIZED PER ASTM A123 FOR CONNECTORS AND ASTM A153 FOR FASTENERS

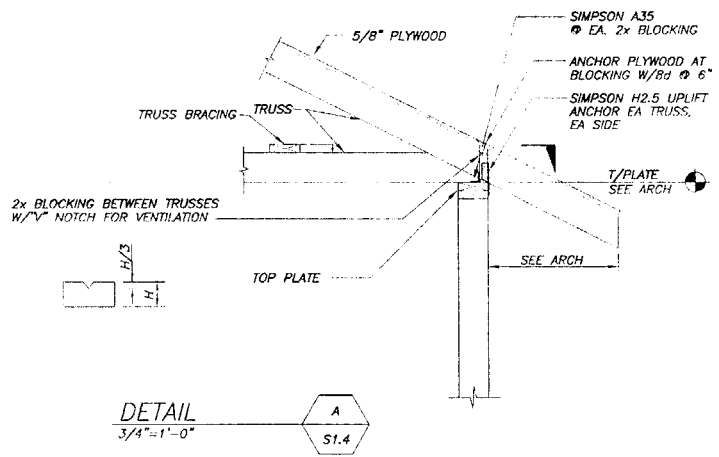
 SST300 MANUF FROM TYPE 316L STAINLESS STEEL W/ MATCHING NAILS  
FASTENERS SHALL MATCH MATERIAL/COATING OF CONNECTION HARDWARE, UNLESS NOTED BY MANUF SPECIFICATIONS OR NOTED HEREIN  
REFER TO MANUFACTURERS LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES.

**STRUCTURAL STEEL NOTES**

- STRUCTURAL STEEL FABRICATION, ERECTION, AND COAT DESIGN SHALL CONFORM TO AISC SPECIFICATION FOR FABRICATION AND ERECTION OF STRUCTURAL STEEL 5TH EDITION, OR STANDARD PRACTICE, MARCH 7, 2000.
- STRUCTURAL STEEL: CHANNELS, PLATES, AND ANGLE: ASTM A36 UNLESS NOTED OTHERWISE (UNO). STRUCT SHALL CONFORM TO ASTM A992, GRADE 50.
- STRUCTURAL TUBING: CONFORM TO ASTM A500 GRADE B.
- WHERE WELDING IS INDICATED, ALL WELDING SHALL COMPLY WITH AWS D1.1-LATEST EDITION. ELECTRODES SHALL COMPLY WITH AWS E70XX SERIES WITH PROPER ROD TO PRODUCE 100% HYDROGEN.
- ALL STEEL SHALL BE FABRICATED AND SHIPPED AS UN-PAINTED STEEL.
- ANCHOR BOLTS SHALL BE ASTM A307 HEADED BOLTS. DIAMETERS AND DIMENSIONS DETAILED UNLESS OTHER SPECIFIED ON DRAWINGS. HIGH STRENGTH ANCHOR BOLTS SHALL BE ASTM A490 AS INDICATED.
- PROVIDE 3/8" MINIMUM STIFFENER PLATES EACH SIDE OF BEAMS OVER COLUMNS AND AT BEAMS SUPPORTING COLUMNS.
- PROVIDE ALL ANGLES, PLATES, ANCHORS, BOLTS, ETC., UNLESS OTHERWISE SPECIFIED ON ARCHITECTURAL DRAWINGS.
- COAT ALL COLUMNS BELOW SLAB WITH TNEWC, H.B. 2001 749 PLYM.

**SUBMITTALS**

- REQUIRED SUBMITTALS INCLUDE:
  - STRUCTURAL STEEL FRAMING FABRICATION DRAWINGS
- SUBMIT (3) COPIES TO ARCHITECT, (2) COPIES WILL BE FOR ARCHITECT'S REVIEW AND (1) REVIEWED COPY WILL BE FOR COORDINATION AND DISTRIBUTION TO ARCHITECT, OR SUBMITTALS.

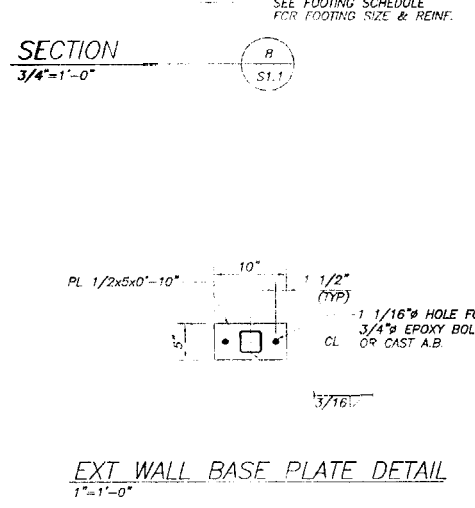
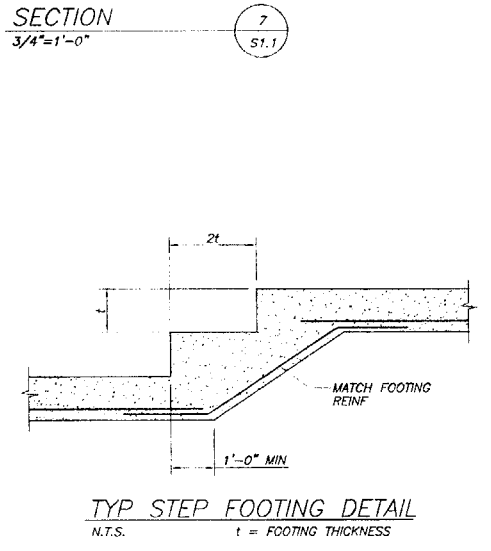
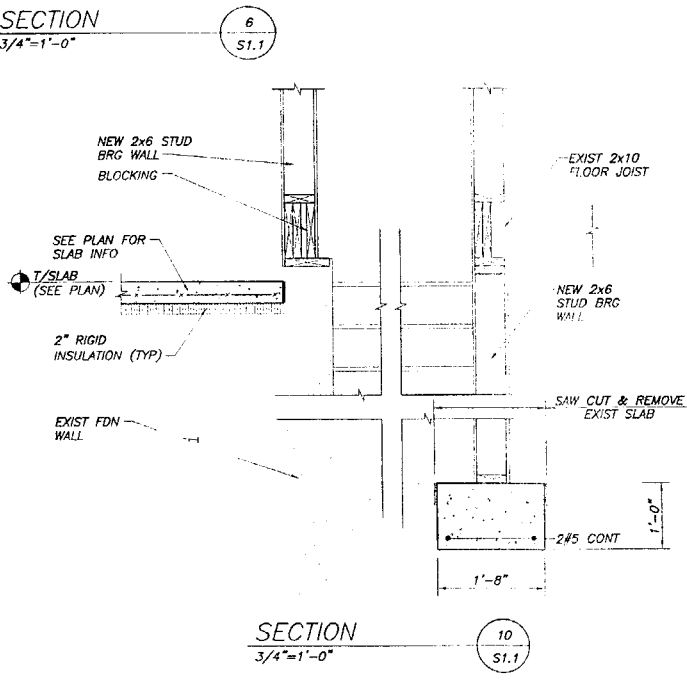
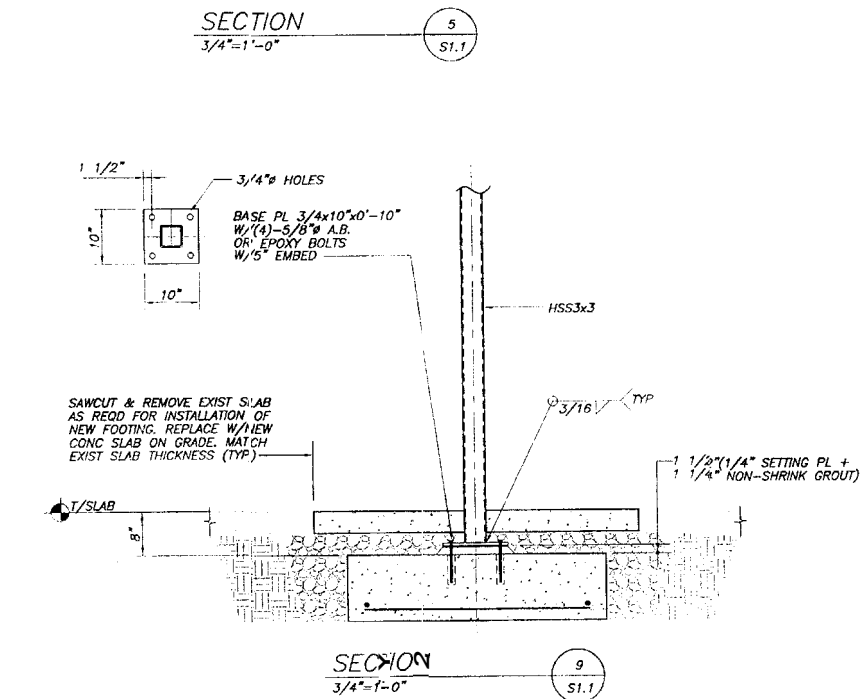
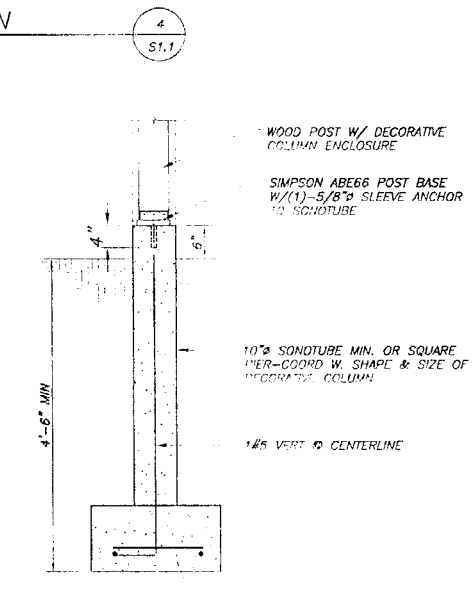
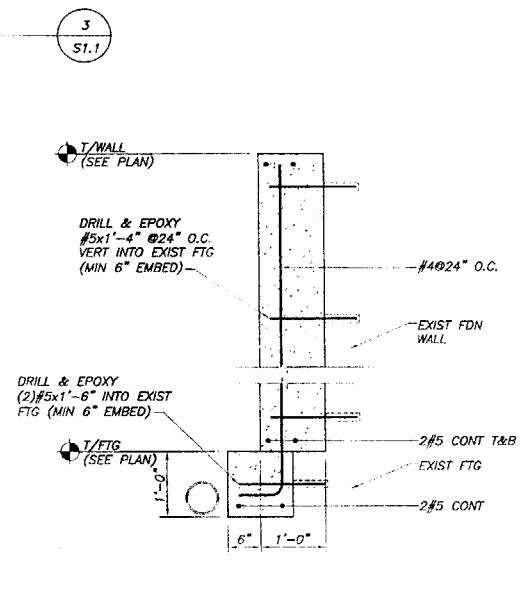
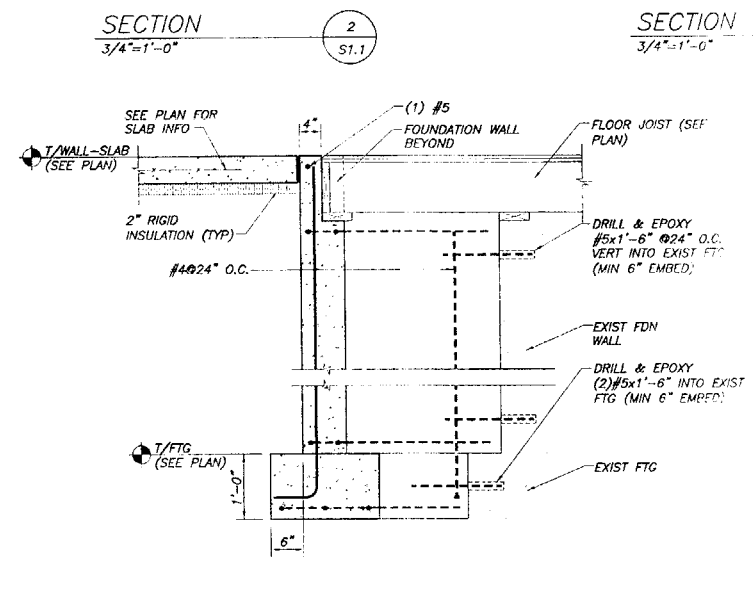
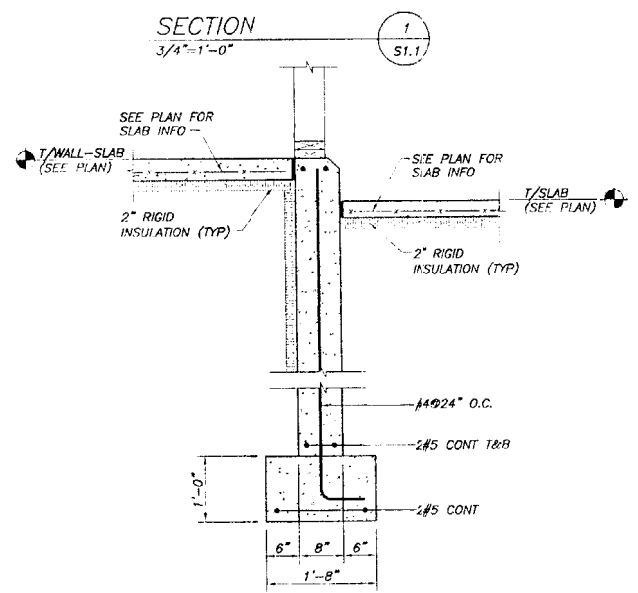
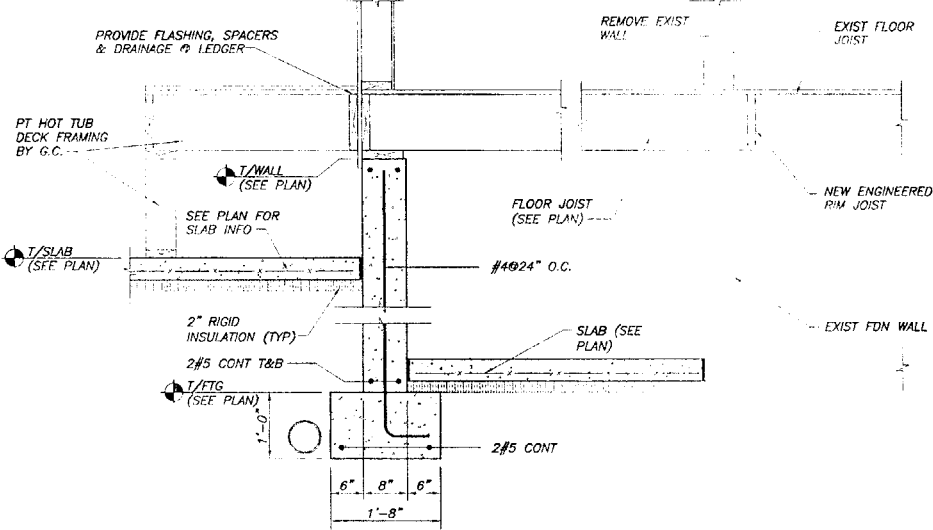
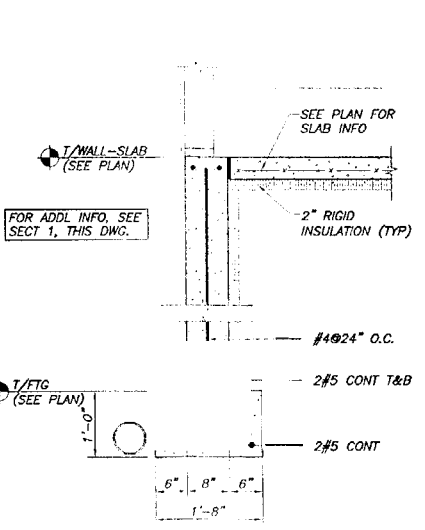
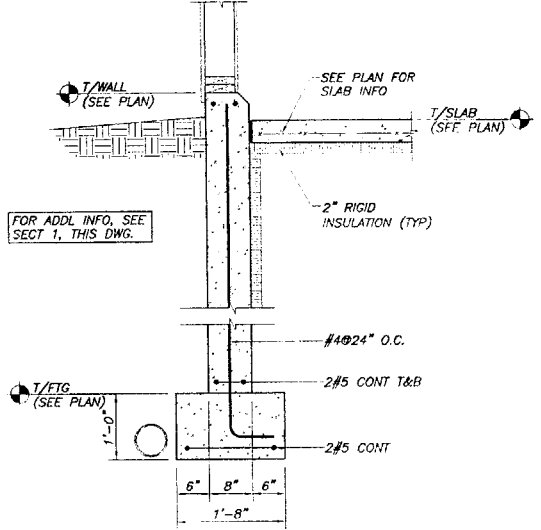
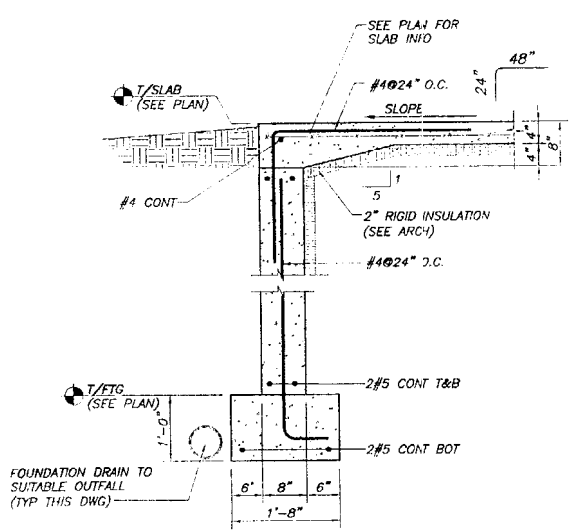


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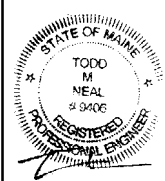
BARTON RESIDENCE  
PORTLAND, ME  
TRUSS ELEVATIONS/DETAILS

BTW	AS NOTED
CHF	07/19/05
PBB	1364

S1.4  
FOR CONSTRUCTION

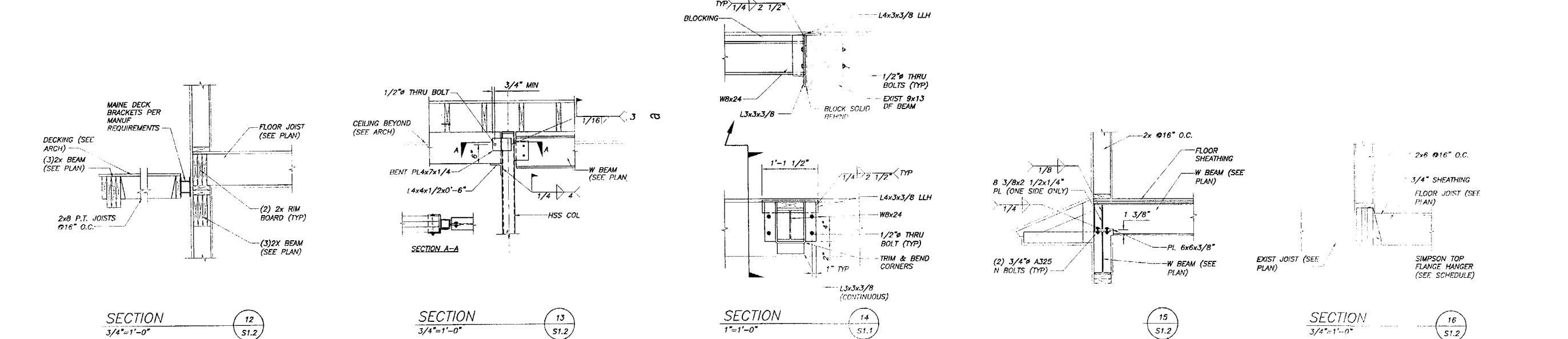
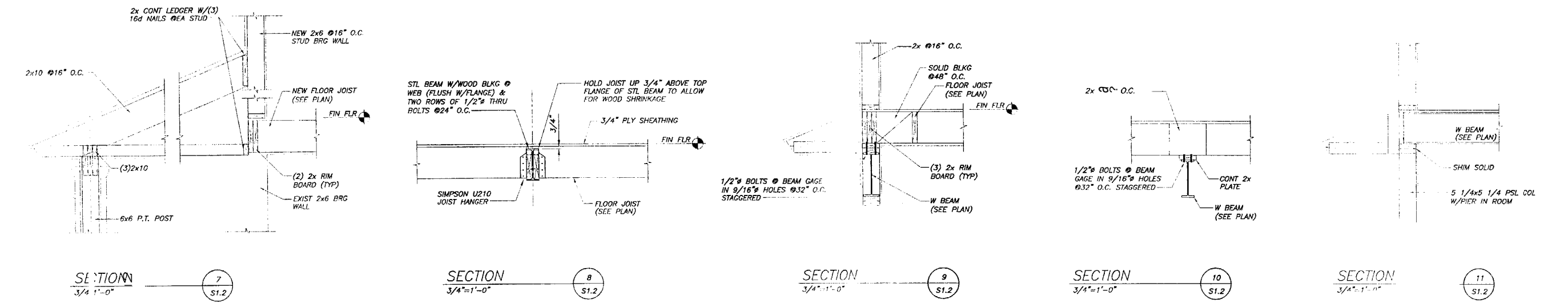
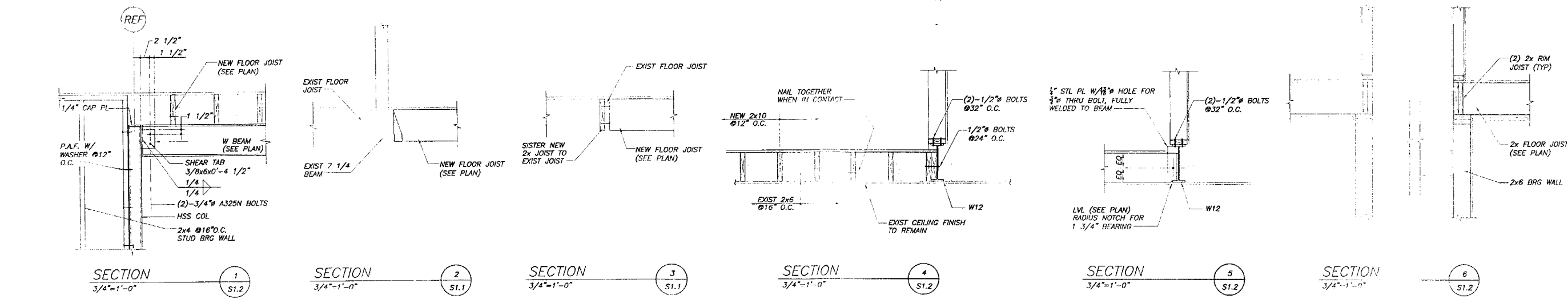


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DATE: 07/19/05



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PBB	1364

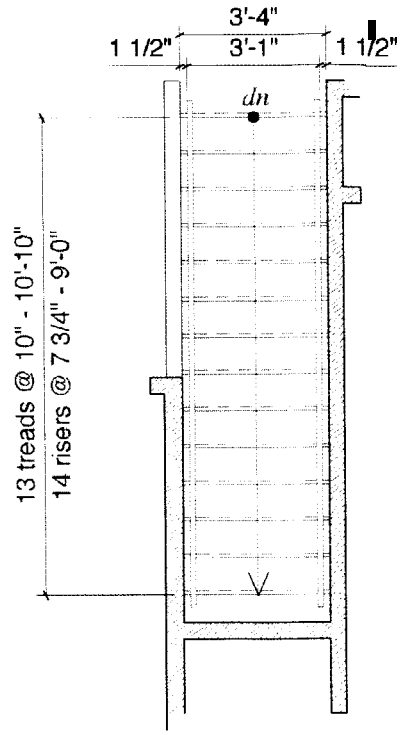
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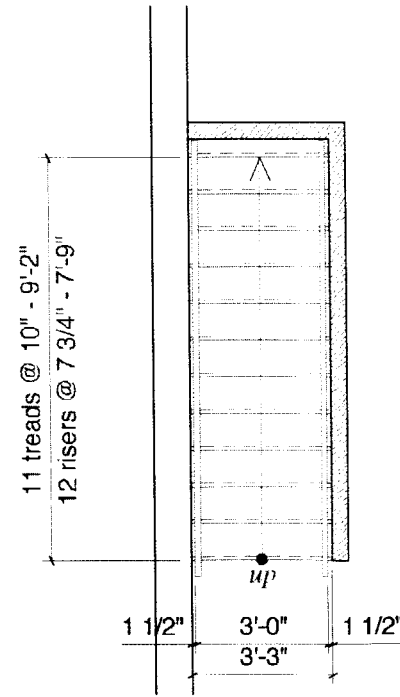
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*Additional  
Notes per  
Tel/con w/ Frank O.  
7/18/05*

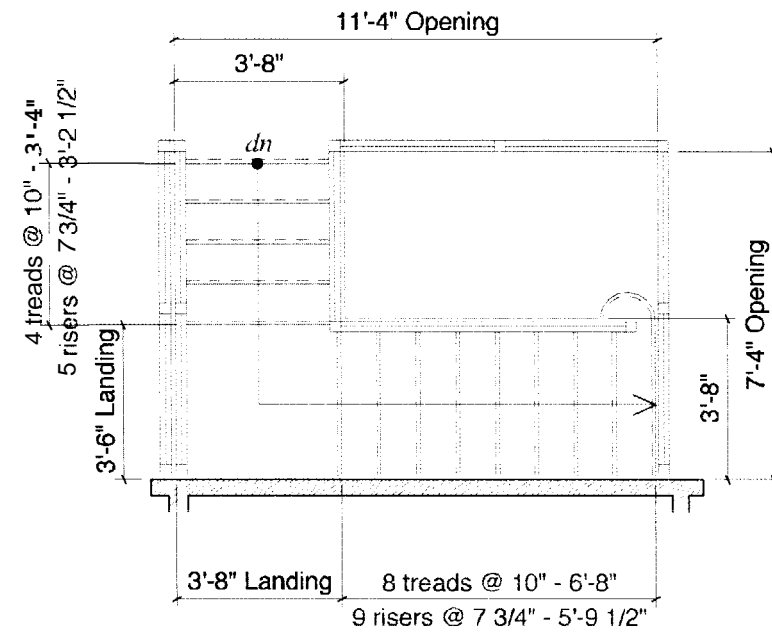
**21** Stair #2  
Second Floor to First Floor



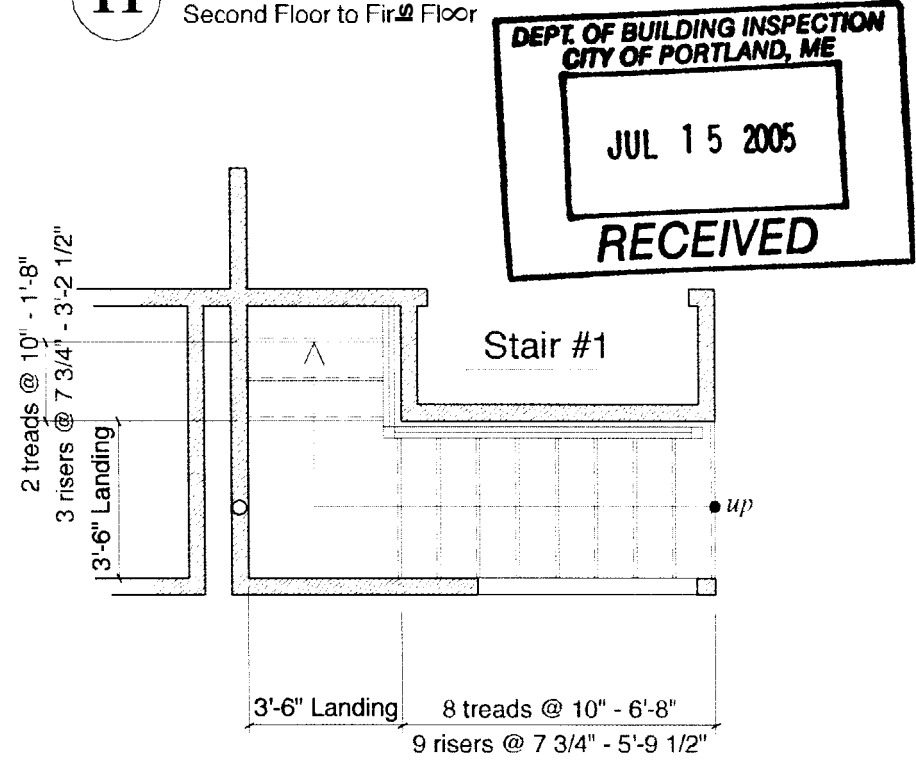
**20** Stair #2  
Basement to First Floor



**11** Stair #1  
Second Floor to First Floor



**10** Stair #1  
Basement to First Floor



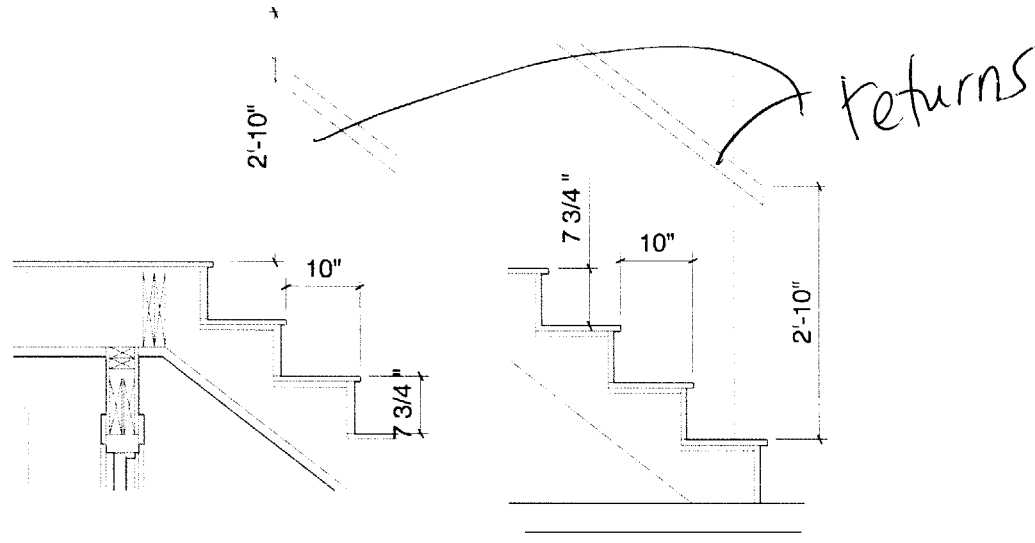
Scale: 1/2" = 1'-0"  
07/14/05  
MGW  
Drawn By  
Property No.  
DWG No.

Barlow Res  
Enlarged Stair Plans

architect

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e-mail foliva5809@aol.com

SKA-01

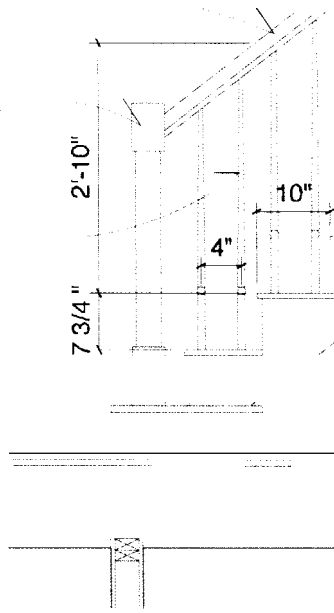


**21** Stair #2 Typical Details

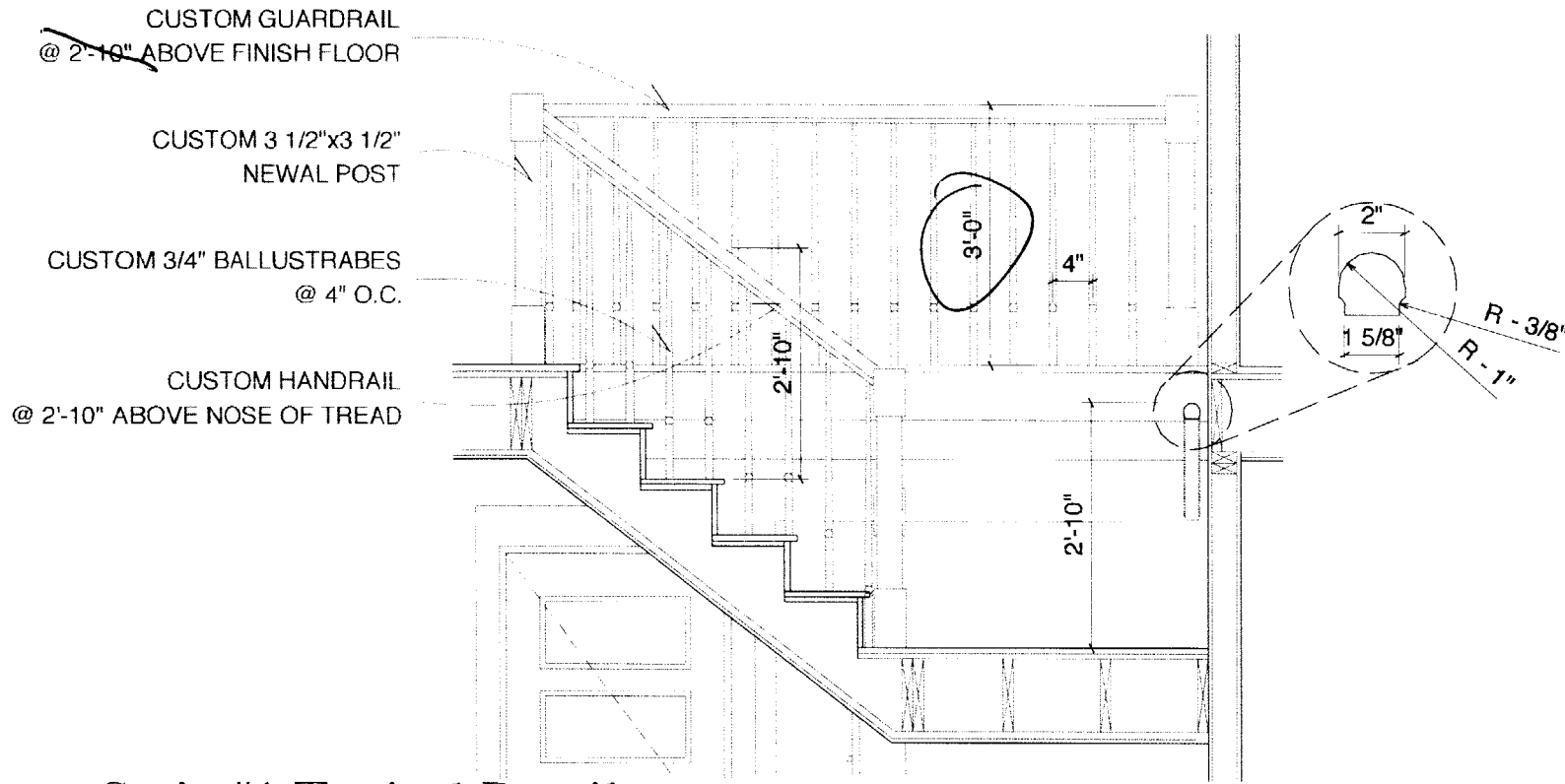
CUSTOM HANDRAIL  
@ 2'-10" ABOVE NOSE OF TREAD

CUSTOM 3 1/2"x3 1/2"  
NEWAL POST

CUSTOM 3/4" BALLUSTRABES  
@ 4" O.C.



**20** Stair #1 Typical Details



**10** Stair #1 Typical Details

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Barton Residence

Typical Stair Details

Scale: 1/2" = 1'-0"

Drawn By: MGW

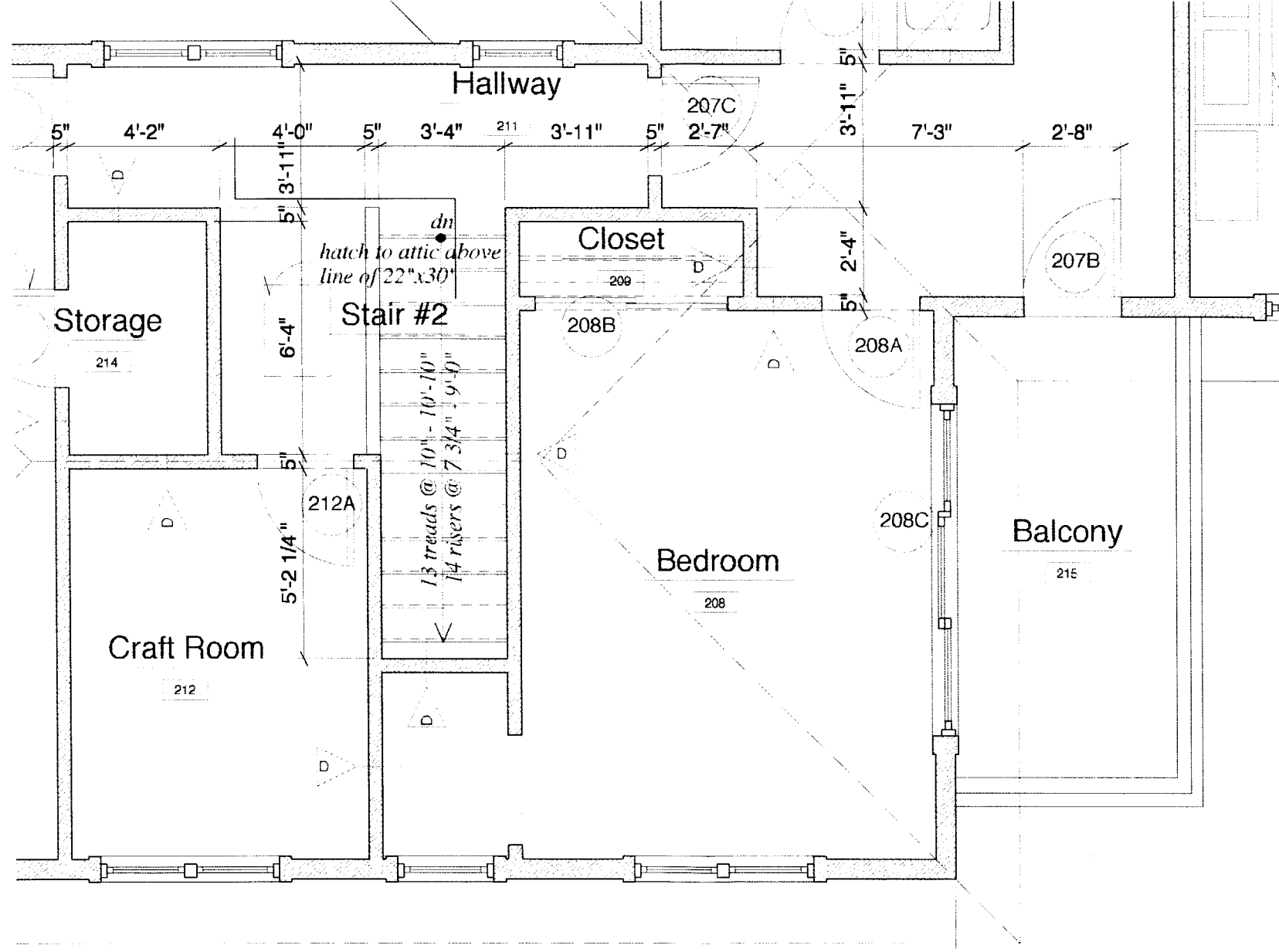
Project No:

(W/1/05)

07 / 14 / 05

MGW

SKA-02



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sa e s t e e

Drawn:  
 Project No:  
 ETWG

1/4" = 1'-0"

07/14/05  
 MGW

Attic Hatch location

SKA-03

# Window Schedule

Window #	Window Type	Manu. #	Quant	Jamb Width	Rough Opening	Remarks
①	clad wood double hung- single unit		10	6 1/2"	2'-6" x 4'-5" Verify	Window Elev. #1, Insulated Low-E glass, SDL, screens, 6 9/16" jamb extensions, primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
②	clad wood double hung- double unit		8	6 1/2"	5'-5" x 4'-5" Verify	Window Elev. #2, Insulated Low-E glass, SDL, screens, 6 9/16" jamb extensions, primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
③	clad wood double hung- triple unit		3	6 1/2"	8'-3" x 4'-5" Verify	Window Elev. #3, Insulated Low-E glass, SDL, screens, 6 9/16" jamb extensions, primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
④	clad wood double hung- quad. unit		1	6 1/2"	11'-1" x 4'-5" Verify	Window Elev. #4, Insulated Low-E glass, SDL, screens, 6 9/16" jamb extensions, primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
⑤	clad wood awning single unit		1	6 1/2"	2'-7" x 2'-4" Verify	Window Elev. #5, Insulated Low-E glass, SDL, screens, 6 9/16" jamb extensions, primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
⑥	clad wood double hung single unit - cottage style		3	6 1/2"	2'-6" x 5'-9" Verify	Window Elev. #6, Insulated Low-E glass, SDL, screens, 6 9/16" jamb extensions, primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
⑦ ***	clad wood double hung quad. unit		2	6 1/2"	13'-10" x 5'-9" Verify	Window Elev. #7, Insulated Low-E glass, SDL, screens, 6 9/16" jamb extensions, primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
⑧	Aluminum framed, sun room system, custom		1	4"	Verify	Window Elev. #8, Insulated Low-E tempered safety glass, screens at operable units, Paint color by owner
⑨	Aluminum framed, sun room system, custom		1	4"	Verify	Window Elev. #9, Insulated Low-E tempered safety glass, screens at operable units, Paint color by owner
⑩	clad wood double hung- triple unit		1	6 1/2"	8'-3" x 4'-5" Verify	Window Elev. #2, tempered, Insul. Low-E glass, SDL, screens, 6 9/16" jamb ext., primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
⑪	clad wood double hung- double unit		1	6 1/2"	5'-5" x 4'-5" Verify	Window Elev. #3, tempered, Insul. Low-E glass, SDL, screens, 6 9/16" jamb ext., primed interior finish, cladding color by Owner, no exterior trim, white hrdwr.
207B	Clad, wood 1 panel outswing french door w/ screen panel.		1	6 1/2"	3'-2" x 6'-10" Verify	Door Elevation #1, Pine outswing french doors w/ alum clad, primed int. finish, no ext. trim, swinging screen, entry lockset, weatherstripping, alum. threshold
104A	Clad, wood 2 panel in-swinging french doorw/ screen panels.		1	6 1/2"	6'-3" x 6'-10" Verify	Door Elevation #2, Pine in-swing french doors w/ alum clad, primed int. finish, no ext. trim, swinging screen, entry lockset, weatherstripping, alum. threshold
105A	Clad, wood 2 panel in-swinging french doorw/ screen panels.		1	6 1/2"	6'-2" x 6'-10" Verify	Door Elevation #2, Pine in-swing french doors w/ alum clad, primed int. finish, no ext. trim, swinging screen, entry lockset, weatherstripping, alum. threshold
107E	Clad, wood 3 panel in-swinging french doors w/ screen panel.		1	6 1/2"	9'-2" x 6'-10" Verify	Door Elevation #3, Pine in-swing french doors w/ alum clad, primed int. finish, no ext. trim, swinging screen, entry lockset, weatherstripping, alum. threshold
208C	Clad, wood 3 panel sliding door w/ screen panel.		1	6 1/2"	9'-2" x 6'-10" Verify	Door Elevation #4, Pine sliding french doors w/ alum clad, primed int. finish, no ext. trim, sliding screen, entry lockset, weatherstripping, alum. threshold

NOTE: Final rough opening dimensions for windows and doors shall be provided by the supplier of windows and doors based on dimensions of standard units of manufacturer compared to the units shown on the schedule.

\*\*\* Denotes a window that meets the national egress code for fire evacuation

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Barton Residence

Window Schedule

1/4" = 1'-0"

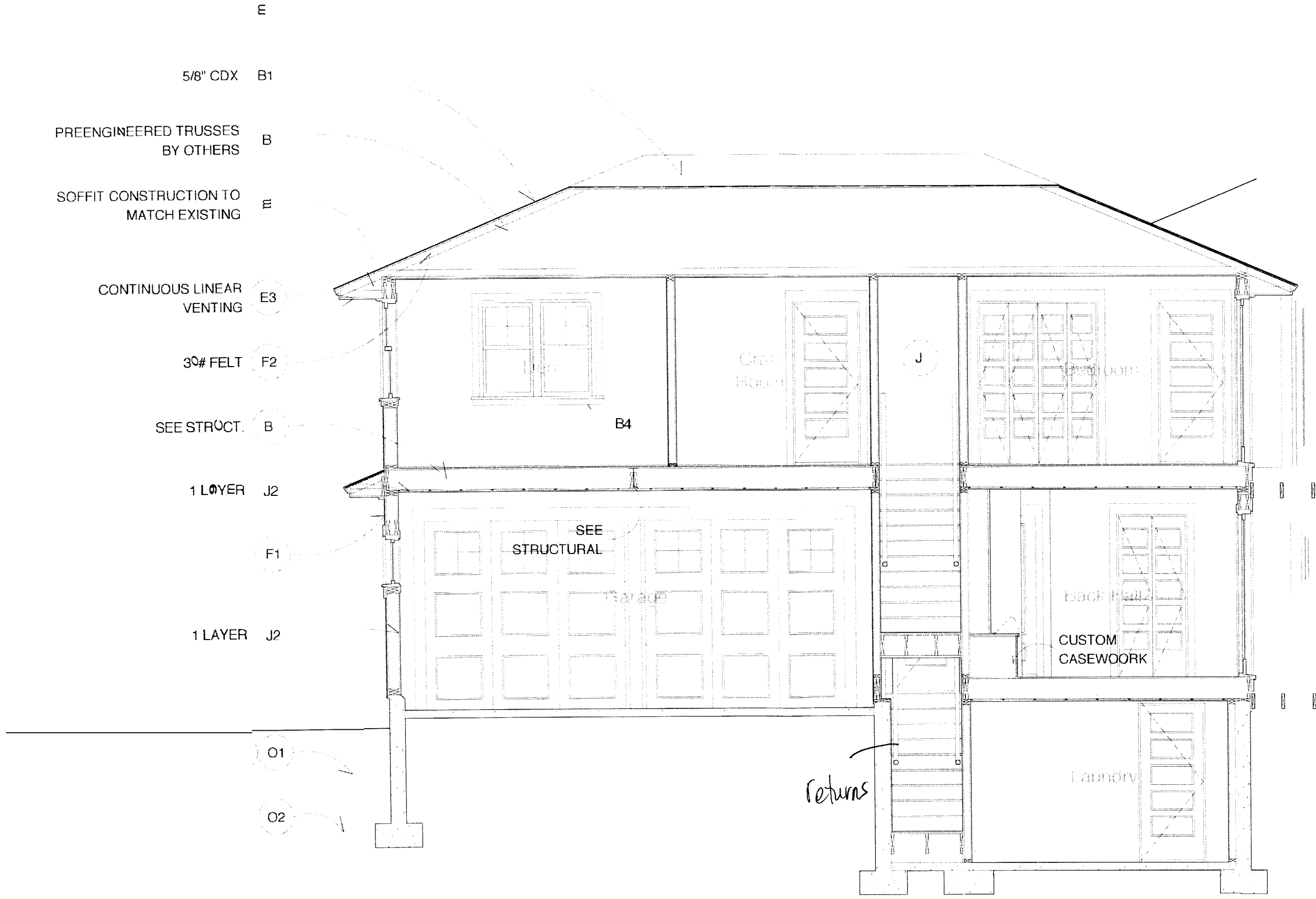
07/14/05

MGW

Drawn By  
Project No  
DWG NO

SKA-04





PREENGINEERED TRUSSES  
BY OTHERS

SOFFIT CONSTRUCTION TO  
MATCH EXISTING

CONTINUOUS LINEAR  
VENTING

30# FELT

SEE STRUCT.

1 LAYER

F1

1 LAYER

O1

O2

E

5/8" CDX B1

B

E

E3

F2

B

J2

B4

J

O1

O2

Craft  
Room

SEE  
STRUCTURAL

Garage

Back Hall

CUSTOM  
CASEWORK

Laundry

Returns

07/14/05  
MGW

1/4" = 1'-0"

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Building Section  
Revisions

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SKA-05



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

June 24 20 05

Received from Devin W. Barton

Location of Work 65 Brookside

Cost of Construction \$ 225,000

Permit Fee \$ 2,046.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 158 A 014

Check #: 103

Total Collected \$ 2,046.00

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

Donna  
WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy