

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 44 George St R31 40-44 George St		Owner: NJN Associates		Phone: 772-2127 - Amy		Permit No: 950929	
Owner Address: 426 Forest Ave Pt'd, ME 04101		Leasee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: NJN Associates		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: SEP - 6 1995 CITY OF PORTLAND </div>	
Past Use: Vacant land		Proposed Use: 1-100		COST OF WORK: \$ 66,000.00 PERMIT FEE: \$ 350.00			
Proposed Project Description: Construct 1-fam dwelling				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		Zone: R-3 CBL: 157-B-009 Zoning Approval: 9/5/95 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Gresik		Date Applied For: 29 August 1995					

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Call Amy When Ready!!!

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

01 Sept 95 - Permit Routed
29 August 1995

SIGNATURE OF APPLICANT *Amy Bulkerin* ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: *11/1/95*

CEO DISTRICT 6

COMMENTS

12/21/95 Pre-CJO inspection. Allow
12/22/95 CJO. Provide proper handrails where needed.
11-21-96 All handrail have been ~~removed~~. Tree still
has to be planted. MS

Inspection Record

	Type	Date
Foundation:	OK Allow	9/21/95
Framing:	OK Allow	10/12/95
Plumbing:	OK Allow	10/12/95
Final:		
Other:		



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 44 George St. 157-4-105

Issued to Jordan, John R. Date of Issue 26 December 1995

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 950929, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions: TEMPORARY

See attached memo dated 19 December 1995 from James Seymour to Arthur Howe listing three (3) conditions of approval.

This certificate supersedes
certificate issued

Approved:

12/26/95

A. Howe

Stephen K...

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Applicant: Amy Mulhern
Address: 44 George St
Assessors No.: 157-B-009-

Date: 9/5/95

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-3

Interior or corner lot -

Use - New 1 family 28'x32' - NO GARAGE

Sewage Disposal - City

Rear Yards - 25' req - 50'+ shown

Side Yards - 8' req - 10' shown on left - 8' shown on right

Front Yards - 25' req - 50' shown (to get the 75' width of lot)

Projections - Side entry (it)

Height - 1 Story

Lot Area - 6,500 sq ft req

9,954 sq ft shown

Building Area - ~~6,500 sq ft req~~ 25% of lot area or 2,488.5 sq ft

Area per Family -

Width of Lot - 75' req - 75' shown on surveyor's plot

Lot Frontage - 50' req - 73' shown

Off-street Parking - 2 CARS

Loading Bays -

Site Plan - minor/minor

Shoreland Zoning - N/A

Flood Plains - N/A

BUILDING PERMIT REPORT

DATE: September 6, 1995 ADDRESS: 40-44 George Street

REASON FOR PERMIT: To construct a single family dwelling

BUILDING OWNER: MJM Associates

CONTRACTOR: MJM Associates APPROVED: SEE #1, 7, 9, 11, 13

CONDITIONS OF APPROVAL

14, 15, 16

- *1. Before concrete for foundation is placed, approvals from Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precautions must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
- *7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 square feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- *9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code, Chapter 9, Section 19, 919.3.2 (BOCA National Building Code/1993) and NFPA 101, Chapters 18 and 19. (Smoke detectors shall be installed and maintained at the following locations):
 - a. In the immediate vicinity of bedrooms
 - b. In all bedrooms
 - c. In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1 hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1993)
- *11. Guardrail and Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups, 42 inches, except Use Group R which is 36 inches. In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4 inches cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, Section and Subsections 1023. and 1024. of the City's Building Code. (The BOCA National Building Code/1993)
- *13. Stair construction in Use Group R-3 and R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum is 11" tread, and 7" maximum rise.
- *14. Headroom in habitable space is a minimum of 7'6".
- *15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- *16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued for demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.

P. Samuel Hoffses
Chief, Inspection Services

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

September 6, 1995

MJM Associates
426 Forest Avenue
Portland, ME 04101

RE: 44 ~~George Street~~ George Street

Dear Sir,

Your application to construct a single family dwelling has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

Site Plan Review Requirements

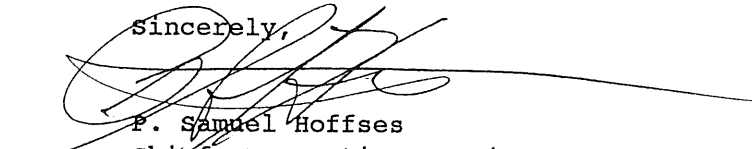
Building Inspections - Approved - M. Schmuckal
Development Review Coordinator - Approved with conditions. See memo dated September 1, 1995 - M. O'Sullivan

Building Code Requirements

Please read and implement items #1, 7, 9, 11, 13, 14, 15 and 16 of the attached Building Permit Report.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief, Inspection Services

cc: M. Schmuckal, ACoFI
M. O'Sullivan, DRC



MULKERIN ASSOCIATES
REAL ESTATE

FAX COVER SHEET

Date: 8-31-95

Total Pages: -2-

To: Michael O'Sullivan

Fax Phone: 874-8649

From: Greg Mc Cormack / Amy Mulkerin

Subject: Re: site Plan George St. Home Construction

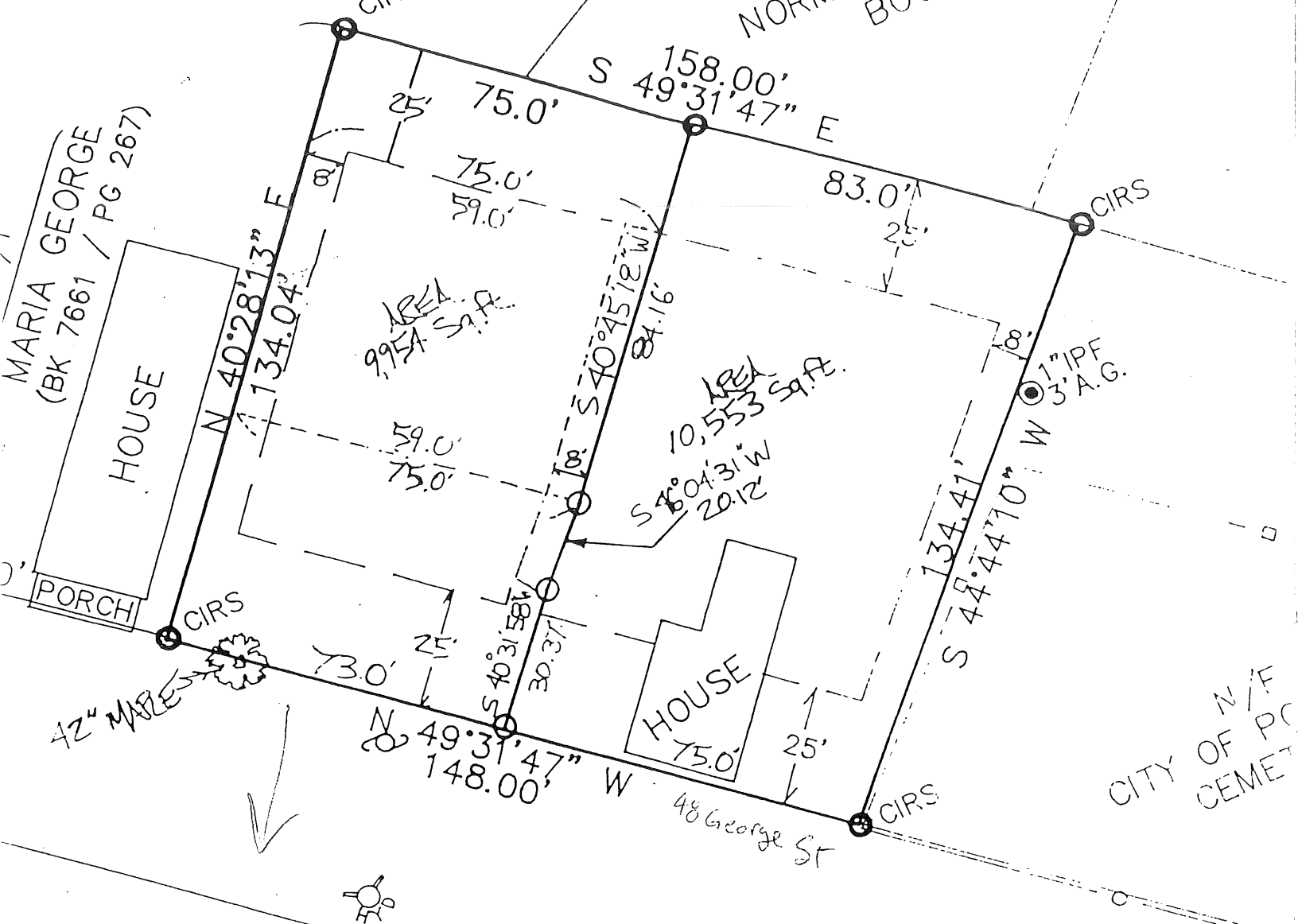
Dear MR. O'Sullivan,

Your suggestions about site plan / drainage are acceptable; namely:

- 1) Drive way grade to pitch towards George St.
- 2) Foundation height (sill height) to be raised about 12" providing positive drainage away from entire building footprint.
- 3) Home will be sited to allow drainage swale on left of house to shed water to rear of lot.

Greg T. McCormack
M/M Associates.

CALL US AT 772-2127 IF THERE ARE ANY PROBLEMS WITH THIS FAX.

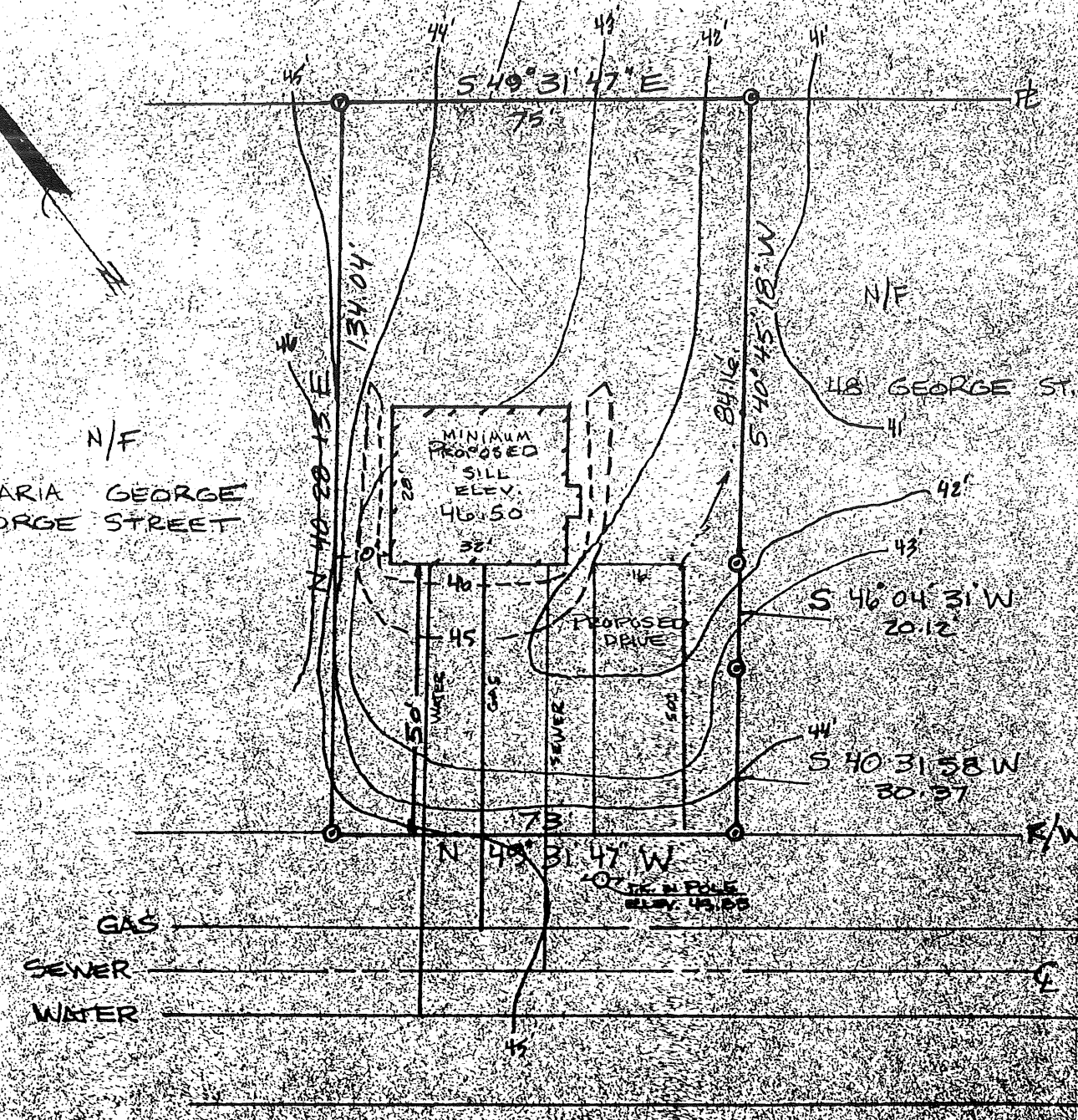


Buildable lot

A/24/95
 RE: ~ 48 George St

SHOWS THE SAWYER IN 1812, AND RECORDED
 PARCEL OF LAND WITH 198, ON GEORGE STREET,
 MORSE FOR 208', AND BY THE LAND OF CHARLES
 POINT OF BEGINNING, RECORDED IN BOOK 561 / PAGE 448
 PARCEL OF LAND BOUNDED BY THE L/
 TO THE CEMETERY LOT, BY THE CF
 BOOK 574 / PAGE 206 IN SAID
 GE ST. FROM C
 REC.#3, TH
 WNE

13066



LEGEND

- 5/8" CAPPED REBAR SET
- N/F NOW OR FORMERLY
- 41' — CONTOUR LINE
- — — DRAINAGE LINE
- - - 45' - - PROPOSED CONTOUR LINE

NOTES

- 1. BENCH MARK SIDE CLIP GEORGE

* S

GEORGE

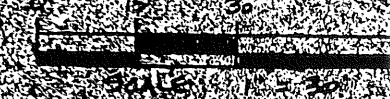
PORTLAND

GREG MULKE

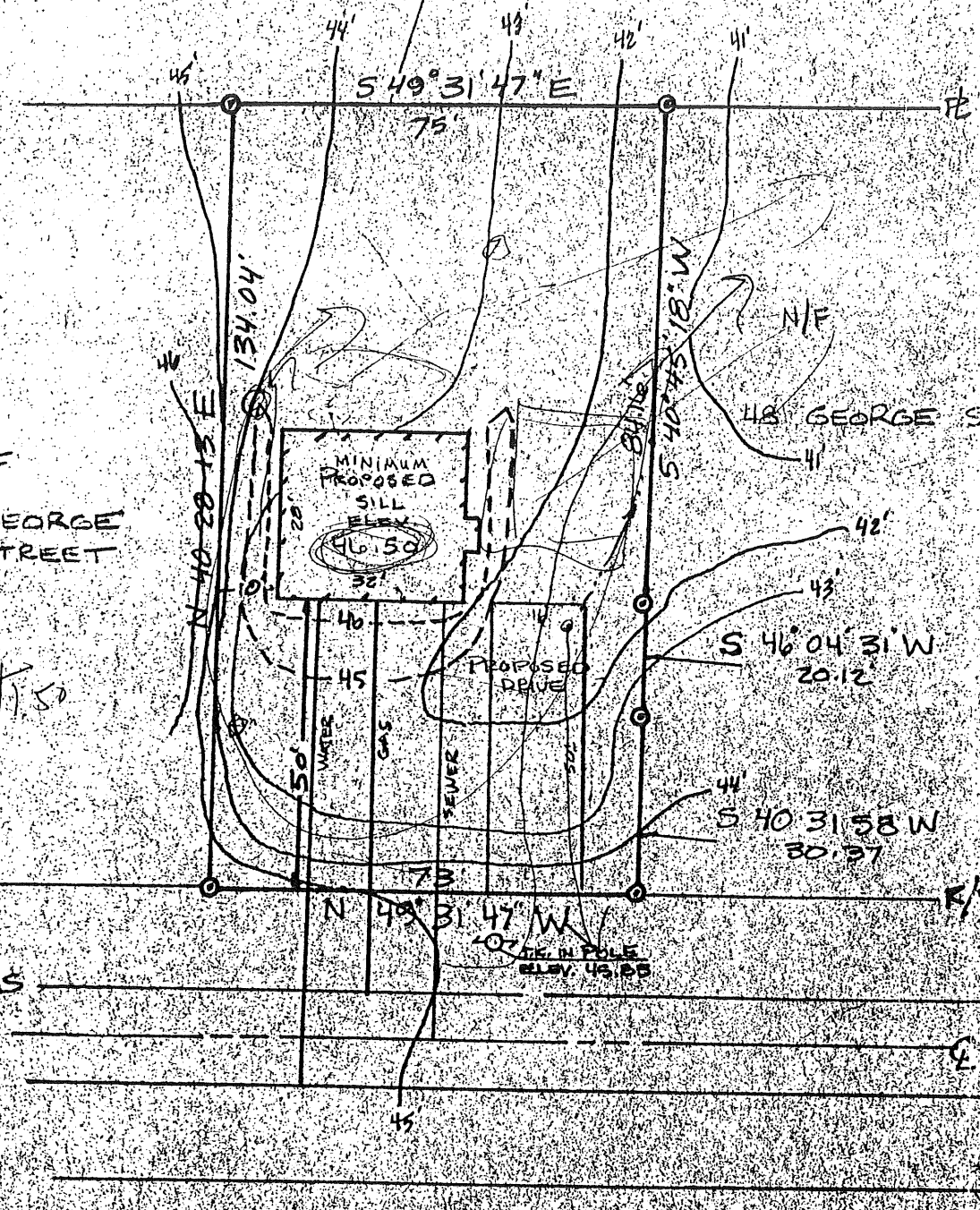
426 F

PORTLAND

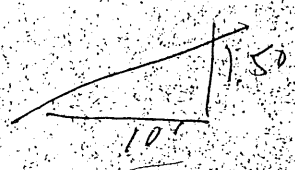
DATE: Aug 9



N/F LAVINSKY
 N/F BOGG



N/F
 MARIA GEORGE
 38 GEORGE STREET



GAS
 SEWER
 WATER
 GEORGE ST
 RW

LEGEND:

- 5/8" CAPPED REBAR SET
- N/F NOW OR FORMERLY
- CONTOUR LINE
- DRAINAGE LINE
- - - PROPOSED CONTOUR LINE

NOTES:

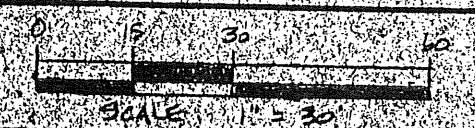
1. BENCH MARK = MON. BOLT 3' OFF W/LY SIDE CLIFTON ST. 1ST ANG. N/LY OF GEORGE ST. ELEV. = 27.434

* SITE PLAN *

42-46

GEORGE STREET
 PORTLAND MAINE

GREG MCCORMICK
 MULKERIN ASSOC.
 426 FOREST AVE
 PORTLAND MAINE 04101



DATE AUG 9 1995
 FIELD BOOK 27 PAGE 134

PREPARED BY DANIEL T.C. LAPOINTE
 171 WEYMOUTH RD.

[Handwritten signature and initials]



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant MJM Associates
426 Forest Ave Ptld, ME 04101

Application Date _____

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent _____

40 - 44 George St
Address of Proposed Site

Amy - 772-2127
Applicant or Agent Daytime Telephone, Fax

157-B-009

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

908 sq ft GFC 1176 sq ft Total
Proposed Building Square Feet or # of Units Acreage of Site Zoning R-3

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____

Approval Status:

- Approved Approved w/Conditions listed below Denied

Reviewer Magnus Schmoedel

1. _____
2. _____
3. _____
4. _____

Approval Date 9/5/95 Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: 40 - 44 George St



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

MJM Associates

Applicant 426 Forest Ave Portland, ME 04101

Application Date _____

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent _____

40 - 44 George St
Address of Proposed Site

Amy - 772-2127

157-B-009

Applicant or Agent Daytime Telephone, Fax _____

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

908 sq ft GFC 1176 sq ft Total

Proposed Building Square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____

Approval Status:

Reviewer *[Signature]*

- Approved **Approved w/Conditions listed below** Denied

- see memo dtd 01 Sept 95*
- _____
- _____
- _____

Approval Date _____ Approval Expiration _____ date Extension to _____ date

Additional Sheets Attached

Condition Compliance _____ signature _____ date

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| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: 40 - 44 George St

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: MJ M ASSOCIATES
ADDRESS: 426 FOREST AVE PH/d
SITE ADDRESS/LOCATION: 44 GEORGE STREET
DATE: 01 Sept 95

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

1. X All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
2. X ~~Two (2)~~ ^{ONE (1) MAD} City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy. (only 1 tree req'd due to existing tree along frontage)
3. X Your new street address is now 44 GEORGE ST, the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4. X The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
5. Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable. (checkmarks above water, sanitary sewer, storm drain, telephone, cable)
6. X A sewer permit is required for your project. Please contact Carol Poliskey at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

7. X A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300 , ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. X As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
9. X The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
10. X The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
11. X A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FEE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.
12. X The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
13. X 1) Met on site 31 Aug 95 w Army Mulkerin to discuss site plan
2) REC'd FAX on 01 Sep 95 ADDRESSING DRAINAGE ISSUES.
-
-

cc: Katherine Staples, P.E., City Engineer



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Arthur Rowe, Code Enforcement Officer

FROM: Jim Wendel, Acting Development Review Coordinator

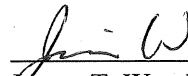
DATE: September 16, 1996

RE: Request for Permanent Certificate of Occupancy
44 George Street

On September 16, 1996 I reviewed the single-family residence at 44 George Street and I conclude that a ~~Permanent~~ Certificate of Occupancy can be issued upon completion of the following:

TEMPORARY

1. Planting of the required tree in accordance with condition 2 of the conditions of approval; I have contacted the applicant and informed her of the deficiency. The City arborist should confirm the acceptability of the tree when Code Enforcement is notified that the tree has been planted.


James T. Wendel, P.E.

c: Kandi Talbot, Planning Department

JN1350.1044George



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Arthur Rowe, Code Enforcement Officer

FROM: James Seymour, Acting Development Review Coordinator *JRS*

DATE: December 19, 1995

RE: Temporary Certificate of Occupancy for 44 George Street

I have reviewed the single family residence at 44 George Street and believe it would be acceptable to issue a temporary Certificate of Occupancy. A permanent Certificate of Occupancy should not be issued until the following conditions have been met.

1. At the time of my inspection, the ground surface was covered with 12" of snow making it difficult to review the lot grading. It appears that lot grading may be necessary in the spring. There appears to be disturbed areas along the front and rear of the house. These areas should be filled and graded to conform to the grade as depicted on the site plan and provide positive drainage away from the house.
2. Siltation fencing at the limit of construction as reviewed by the Development Review Coordinator shall be maintained throughout the winter. If the siltation fence fails, it should be properly toed and secured by either a date when ground surface becomes unfrozen enough to install fencing or a date no later than April 1, 1996. Siltation fence may be removed once areas disturbed by construction have become 80% vegetated. All siltation fencing must be installed and maintained in accordance with the Best Management Practices (BMP's) as published by the Maine Department of Environmental Protection.
3. The disturbed lot area shall be loamed, seeded and mulched no later than May 1, 1996 and approved by the Development Review Coordinator. Areas along and between the neighboring driveway may be considered for landscaping with a hedge or low trees. This would provide excellent screening and assist concerns about erosion control. This is a suggestion and not a condition.

cc: Kathi Staples PE, City Engineer