



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* <sup>SM</sup> [www.portlandmaine.gov](http://www.portlandmaine.gov)

Planning and Development Department  
Lee D. Urban, Director

Planning Division  
Alexander Jaegerman, Director

October 31, 2007

Mr. James Ellsworth  
64 George Street  
Portland, ME 04103

RE: Fill Permit – 64 George Street  
(ID # 2007-0184) (CBL#157 B 3)

Dear Mr. Ellsworth:

On October 31, 2007, the Portland Planning Authority granted approval for a fill permit at 64 George Street.

The City's approval is granted subject to the following conditions:

1. **Applicant shall establish boundary lines around the perimeter of the property prior to commencement of filling the area.**
2. **Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.**
3. **All guidelines listed in the Fill Permit Application shall be followed.**
4. **All fill areas must be stabilized for winter by November 15, 2007.**
5. **The maximum allowable driveway width at the edge of the public right of way, (George Street), is 20 feet.**
6. **The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.**
7. The expiration date of this approval is October 31, 2008.

The approval is based on the submitted site plan and scope of work discussed at the recent site visit/pre-construction meeting. If you need to make any modifications to the site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

#2007-0184

# Fill Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Fill Area: 64 GEORGE ST PORTLAND ME 04103		
Total Cubic Yardage of Proposed Fill 175 YDS	Square Footage of Lot 24250 <sup>sq</sup>	
Tax Assessor's Chart, Block & Lot Chart# 157 Block# B Lot# 3	Owner: CONNIE, BARBARA, & JAMES ELLSWORTH	Telephone: (207) 7744393 747-5141 work
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: JAMES D. ELLSWORTH 64 GEORGE ST PORTLAND ME 04103 7744393	500cy-less \$50.00 500cy-more \$100.00  Fee: \$

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: James D. Ellsworth	Date: Oct 19 2007
--	-------------------

This is not a permit. You may not commence ANY work until the permit is issued.

## FILL PERMIT SUBMISSION

- Your submission must include 4 copies of the site plan on 11" x 17" paper or greater.
- A site plan shall include: The shape and dimension of the lot, area and limits of the proposed fill area, and the distance from the actual property lines. Any site plan not drawn to scale will not be accepted.
- The following items are guidelines to help applicant(s) prepare a site plan for approval of land areas being filled. It is the applicant's responsibility to locate and assess all impacts as a result of the proposed filling and to acquire all applicable permits outside of the City of Portland review. Site plans shall contain the information suggested in the following guidelines:
  - Fill elevations shall match and conform in height with the elevation of an existing road shoulder, an existing driveway or land abutting your property line. Embankments and sloped areas created by fill construction shall not exceed a 3:1 side slope or 33% grade. Areas steeper than 3:1 shall be stabilized using stone riprap, erosion control blankets, or an engineered retaining structure or system.
  - The filled area shall be graded such as to provide positive gravity drainage from a roadside, driveway, and buildings to a ditch line, culvert, wetlands, or a common drainage system located within or adjacent to the applicant's lot.
  - Fill shall not be placed near, within, or block the flow path of an existing drainage course. Any filling or

alteration of a wetland, shoreland, or floodplain must be reviewed as a site plan application and may require additional permitting from the Maine Department of Environmental Protection.

A Site plan application includes, but is not limited to, the submission of a stamped boundary survey, a stamped professional engineered plan, stormwater management calculations, channel sizing, and associated details.

4. Siltation fence shall be installed and maintained at all times. The siltation fence shall be located along the entire downstream limits of the filled area or around the perimeter of the filled area to protect the disturbed area from siltation and possible erosion. Installation shall be initially reviewed by the Development Review Coordinator (DRC) prior to filling and must be in accordance with the Best Management Practices for Construction Erosion and Sediment Control. Silt fence may not be removed until the lawn area or disturbed area is 80% re-vegetated or is approved by the DRC.
5. The applicant shall disclose the amount, a description of type, and the origin of the proposed fill material. Fill material shall consist of non-contaminated soils free of large debris. Only under special exceptions shall sources of inert construction debris (asphalt, concrete, brick, mortar, ceramics, etc.) be utilized for fill. Special exceptions for fill material shall be reviewed by the Development Review Coordinator prior to actual placement for approval.
6. The fill material shall not remain exposed without a temporary erosion and sedimentation control or seeding application for more than 14 days. Temporary erosion control such as hay mulching must also occur on stock piled material if the time of exposure is to be greater than 14 days.
7. The filled area must be covered with 3-4" layer of loam material, free of clay, stone, roots, or wood debris. Loamed areas shall be seeded within 7 days following final grading or be covered with hay mulch until the area is ready for final seeding. If the area fails to grow grass within 14 days, the area shall be re-seeded.
8. The applicant shall complete all construction, grading, and seeding activities by September 1, or a date agreed to by the Development Review Coordinator. Failure to complete will require the applicant to apply for a permit extension.
9. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. Also, a stamped boundary survey may be required depending on the location of fill areas.

Please take notice that these are only guidelines and that the review of each application is different and is dependent on field conditions and topography. Conditions or requirements requested may exceed these guidelines in certain circumstances.

**ABSOLUTELY NO SITE WORK MAY BE DONE UNTIL THE PERMIT HAS BEEN ISSUED.**

**THIS INCLUDES THE FOLLOWING:**

BLASTING

TREE CLEARING

HAULING IN FILL TO THE SITE

ANY TYPE OF GRADING OR EARTHWORK

**FILL PERMITS ARE VALID FOR ONE (1) YEAR FROM THE APPROVAL DATE. A ONE YEAR EXTENSION MAY BE GRANTED BY THIS DEPARTMENT IF REQUESTED BY THE APPLICANT IN WRITING PRIOR TO THE EXPIRATION DATE OF THE FILL PERMIT.**

*City of Portland Technical and Design Standards and Guidelines*

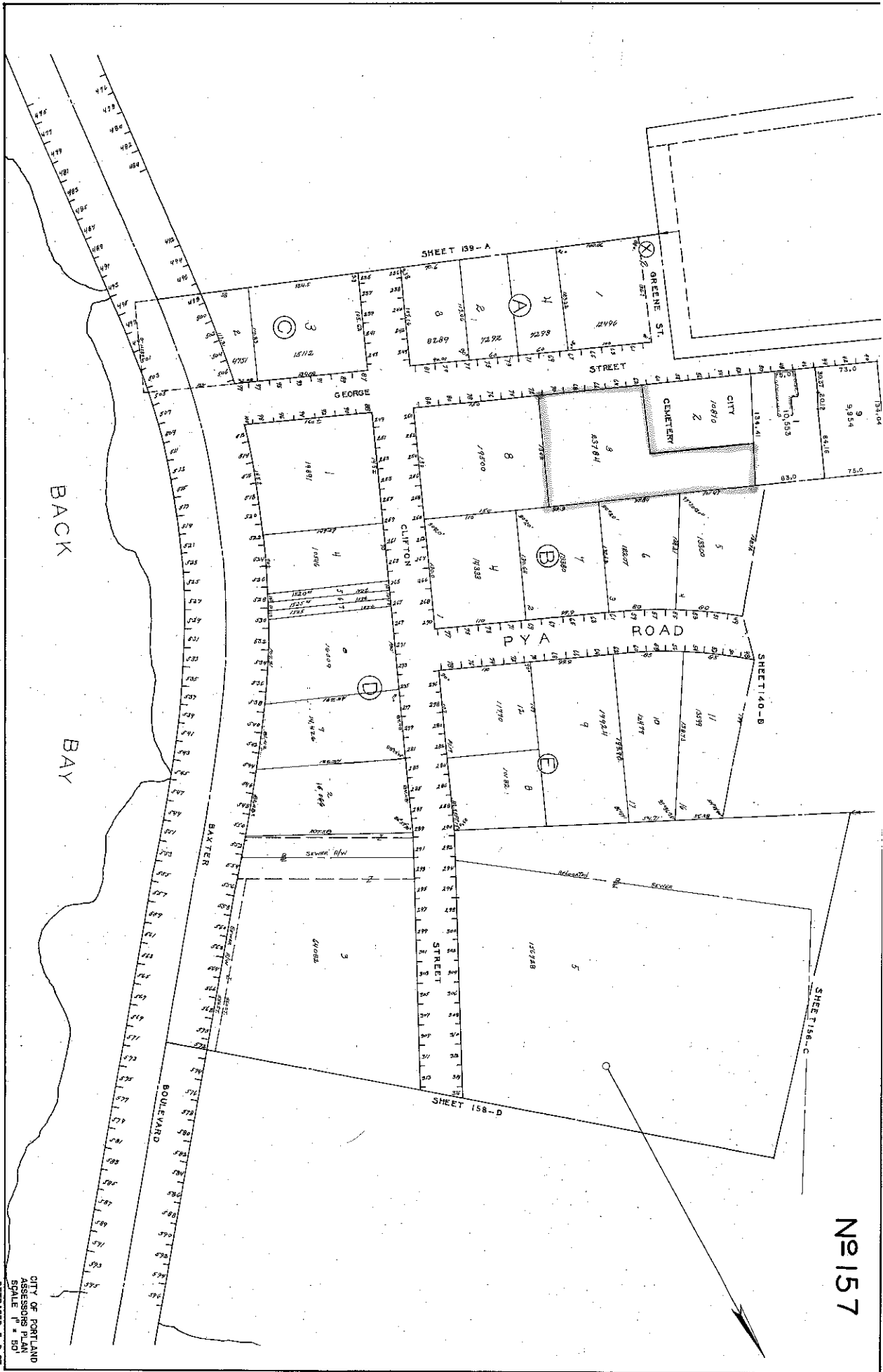
Section \_\_\_\_

**FILL PERMIT STANDARDS**

**Fill applications requiring approval under Section 15-523 ( ) must meet the following standards:**

1. Fill elevations shall match and conform in height with the elevation of an existing road shoulder, an existing driveway or land abutting your property line. Embankments and sloped areas created by fill construction shall not exceed a 3:1 side slope or 33% grade. Areas steeper than 3:1 shall be stabilized using stone riprap, erosion control blankets, or an engineered retaining structure or system.
2. The filled area shall be graded such as to provide positive gravity drainage from a roadside, driveway, and buildings to a ditch line, culvert, wetlands, or a common drainage system located within or adjacent to the applicant's lot.
3. Fill shall not be placed near, within, or block the flow path of an existing drainage course. Any filling or alteration of a wetland, shoreland, or floodplain must be reviewed as a site plan application and may require additional permitting from the Maine Department of Environmental Protection.  
A Site plan application includes, but is not limited to, the submission of a stamped boundary survey, a stamped professional engineered plan, stormwater management calculations, channel sizing, and associated details.
4. Siltation fence shall be installed and maintained at all times. The siltation fence shall be located along the entire downstream limits of the filled area or around the perimeter of the filled area to protect the disturbed area from siltation and possible erosion. Installation shall be initially reviewed by the Development Review Coordinator (DRC) prior to filling and must be in accordance with the Best Management Practices for Construction Erosion and Sediment Control. Silt fence may not be removed until the lawn area or disturbed area is 80% re-vegetated or is approved by the DRC.
5. The applicant shall disclose the amount, a description of type, and the origin of the proposed fill material. Fill material shall consist of non-contaminated soils free of large debris. Only under special exceptions shall sources of inert construction debris (asphalt, concrete, brick, mortar, ceramics, etc.) be utilized for fill. Special exceptions for fill material shall be reviewed by the Development Review Coordinator prior to actual placement for approval.
6. The fill material shall not remain exposed without a temporary erosion and sedimentation control or seeding application for more than 14 days. Temporary erosion control such as hay mulching must also occur on stock piled material if the time of exposure is to be greater than 14 days.
7. The filled area must be covered with 3-4" layer of loam material, free of clay, stone, roots, or wood debris. Loamed areas shall be seeded within 7 days following final grading or be covered with hay mulch until the area is ready for final seeding. If the area fails to grow grass within 14 days, the area shall be re-seeded.

8. The applicant shall complete all construction, grading, and seeding activities by September 1, or a date agreed to by the Development Review Coordinator. Failure to complete will require the applicant to apply for a permit extension.
9. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. Also, a stamped boundary survey may be required depending on the location of fill areas.
10. Fill of a depth greater than 6 inches may not be placed within five (5) feet of a property line.



BACK BAY

SHEET 139-A

GREENE ST.

STREET

GEORGE

CLIFTON

BYA ROAD

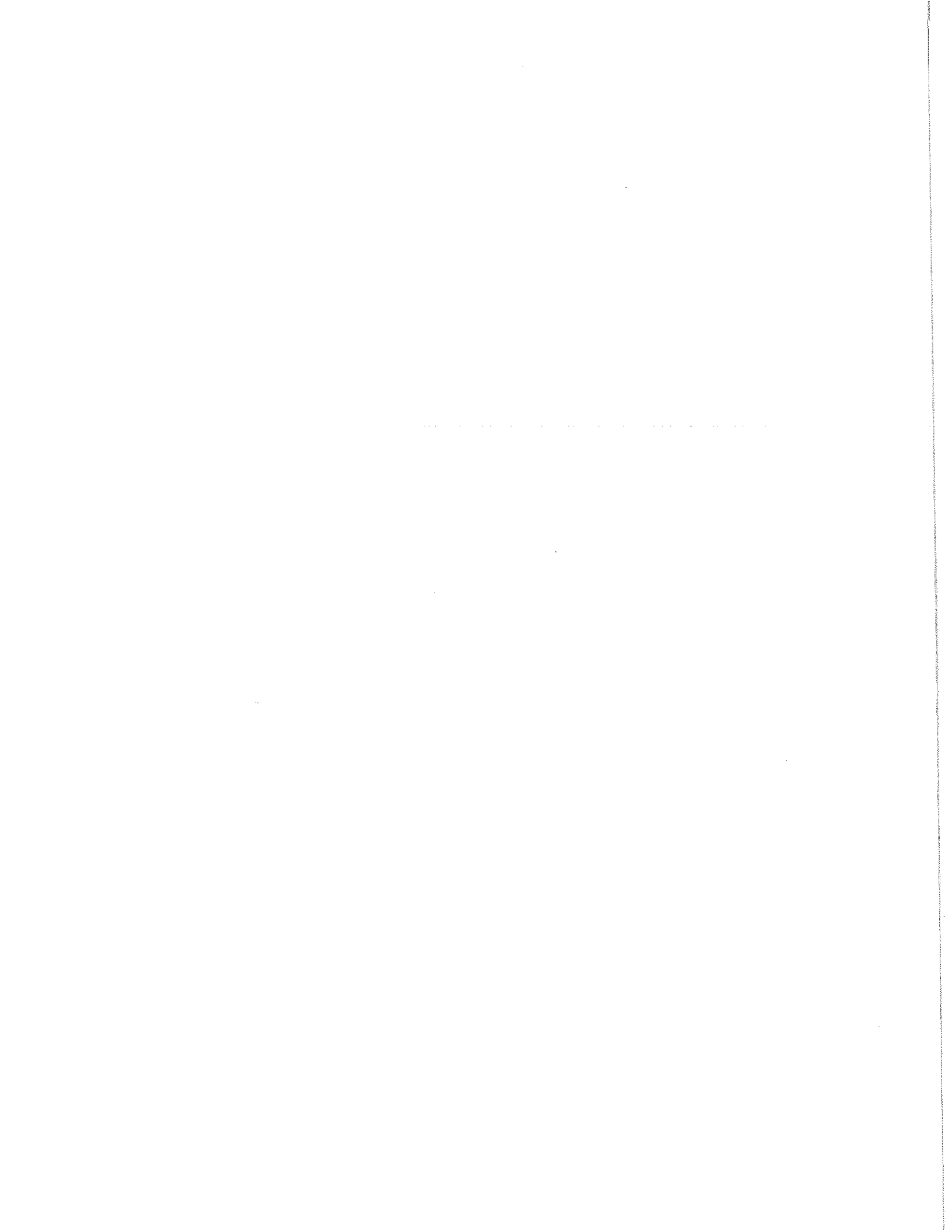
SHEET 140-B

SHEET 158-D

SHEET 158-C

№157

CITY OF PORTLAND  
 ASSESSORS PLAN  
 SCALE 1" = 50'  
 RETRADED 5-2-67



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number 1 of 1  
 Parcel ID 157 B003001  
 Location 64 GEORGE ST  
 Land Use SINGLE FAMILY

Owner Address ELLSWORTH CONSTANCE M & BARBARA A & JAMES D JTS  
 64 GEORGE ST  
 PORTLAND ME 04103

Book/Page  
 Legal 157-B-3  
 GEORGE ST 62-70  
 23754 SF

**Current Assessed Valuation**

Land	Building	Total
\$181,600	\$151,400	\$333,000

**Property Information**

Year Built 1890	Style Old Style	Story Height 2	Sq. Ft. 2484	Total Acres 0.546		
Bedrooms 4	Full Baths 2	Half Baths	Total Rooms 10	Attic None	Basement Full	

**Outbuildings**

Type FLAT BARN	Quantity 1	Year Built 1910	Size 26X30	Grade C	Condition P
-------------------	---------------	--------------------	---------------	------------	----------------

**Sales Information**

Date	Type	Price	Book/Page
------	------	-------	-----------

**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax Map](#)

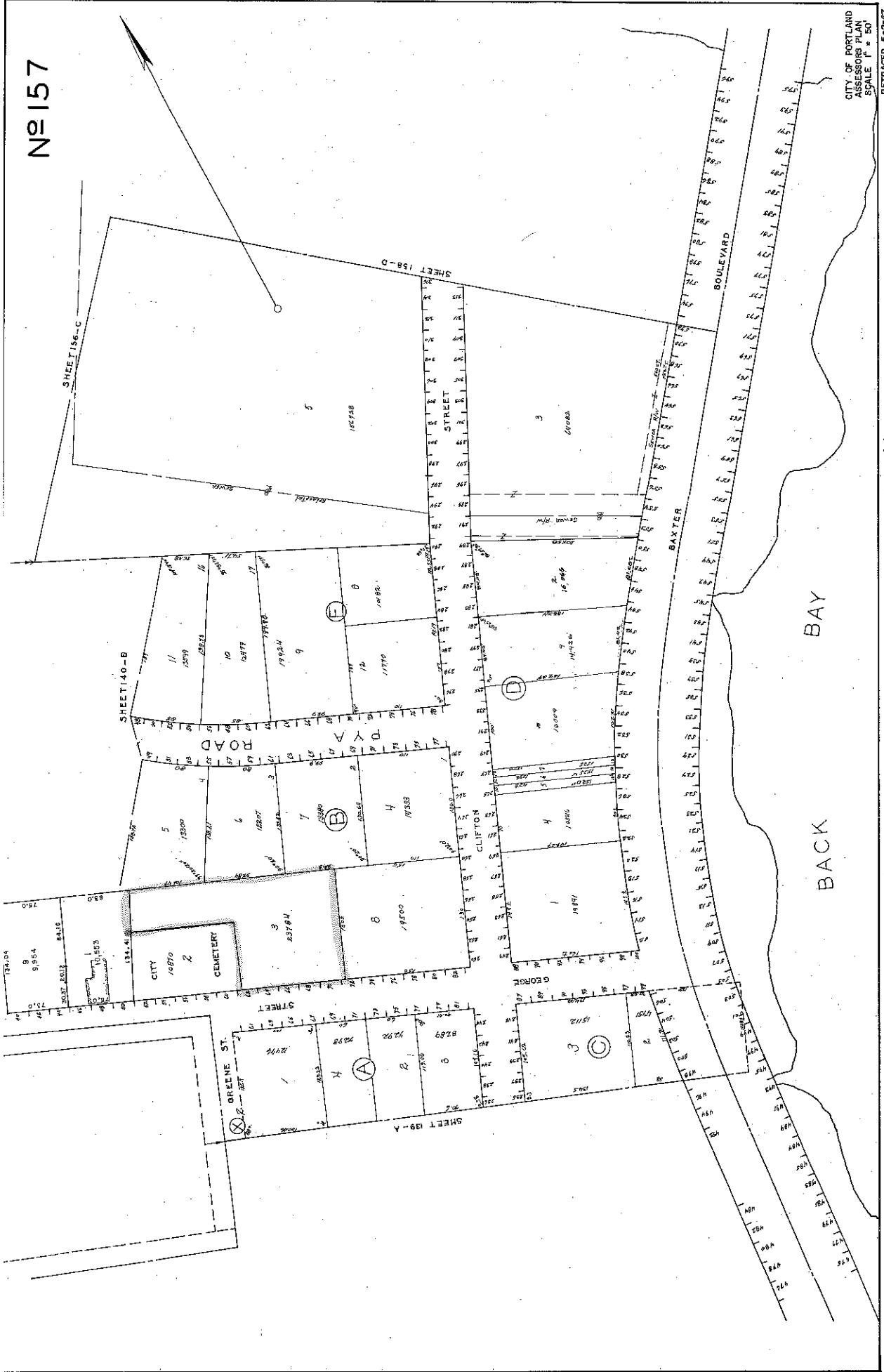
[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



No 157



CITY OF PORTLAND  
 PLANNING DEPARTMENT  
 PLANNING DIVISION  
 SCALE 1" = 50'

RETRACED 5-2-67



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning and Development Department**  
Lee D. Urban, Director

**Planning Division**  
Alexander Jaegerman, Director

July 27, 2007

Mr. James Ellsworth  
64 George Street  
Portland, Maine 04103

RE: Site Filling Without A Permit, (CBL 157 B 003001)

Dear Mr. Ellsworth:

Recently I visited your property at 64 George Street, and conducted a site inspection. During my inspection it was observed that fill had been placed on your property without the proper permitting. Please be advised that in the City of Portland all site filling requires the issuance of a Fill Permit. Currently you are in noncompliance since you never submitted a site plan or gained approval for a Fill Permit.

Please find enclosed a Fill Permit Application that must be completed and submitted with your site plan and the required fee, immediately.

Please contact me at 874-8632 if you have any questions.

Sincerely,

Philip DiPierro  
Development Review Coordinator

Enc.

Cc: Barbara Barhydt, Development Review Services Manager

# Fill Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Fill Area:		
Total Cubic Yardage of Proposed Fill	Square Footage of Lot	
<b>Tax Assessor's Chart, Block &amp; Lot</b> Chart#                  Block#                  Lot#	Owner:	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	500cy-less \$50.00 500cy-more \$100.00  <b>Fee: \$</b>

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant:	Date:
-------------------------	-------

**This is not a permit. You may not commence ANY work until the permit is issued.**

## FILL PERMIT SUBMISSION

- Your submission must include 4 copies of the site plan on 11" x 17" paper or greater.
- A site plan shall include: The shape and dimension of the lot, area and limits of the proposed fill area, and the distance from the actual property lines. **Any site plan not drawn to scale will not be accepted.**

**The following items are guidelines to help applicant(s) prepare a site plan for approval of land areas being filled. It is the applicant's responsibility to locate and assess all impacts as a result of the proposed filling and to acquire all applicable permits outside of the City of Portland review. Site plans shall contain the information suggested in the following guidelines:**

1. Fill elevations shall match and conform in height with the elevation of an existing road shoulder, an existing driveway or land abutting your property line. Embankments and sloped areas created by fill construction shall not exceed a 3:1 side slope or 33% grade. Areas steeper than 3:1 shall be stabilized using stone riprap, erosion control blankets, or an engineered retaining structure or system.
2. The filled area shall be graded such as to provide positive gravity drainage from a roadside, driveway, and buildings to a ditch line, culvert, wetlands, or a common drainage system located within or adjacent to the applicant's lot.
3. Fill shall not be placed near, within, or block the flow path of an existing drainage course. Any filling or

alteration of a wetland, shoreland, or floodplain must be reviewed as a site plan application and may require additional permitting from the Maine Department of Environmental Protection. A Site plan application includes, but is not limited to, the submission of a stamped boundary survey, a stamped professional engineered plan, stormwater management calculations, channel sizing, and associated details.

4. Siltation fence shall be installed and maintained at all times. The siltation fence shall be located along the entire downstream limits of the filled area or around the perimeter of the filled area to protect the disturbed area from siltation and possible erosion. Installation shall be initially reviewed by the Development Review Coordinator (DRC) prior to filling and must be in accordance with the Best Management Practices for Construction Erosion and Sediment Control. Silt fence may not be removed until the lawn area or disturbed area is 80% re-vegetated or is approved by the DRC.
5. The applicant shall disclose the amount, a description of type, and the origin of the proposed fill material. Fill material shall consist of non-contaminated soils free of large debris. Only under special exceptions shall sources of inert construction debris (asphalt, concrete, brick, mortar, ceramics, etc.) be utilized for fill. Special exceptions for fill material shall be reviewed by the Development Review Coordinator prior to actual placement for approval.
6. ~~The fill material shall not remain exposed without a temporary erosion and sedimentation control or seeding application for more than 14 days.~~ Temporary erosion control such as hay mulching must also occur on stock piled material if the time of exposure is to be greater than 14 days.
7. ~~The filled area must be covered with 3-4" layer of balm material free of clay, stone, roots, or wood debris. Loamed areas shall be seeded within 7 days following final grading or be covered with hay mulch until the area is ready for final seeding. If the area fails to grow grass within 14 days, the area shall be re-seeded.~~
8. The applicant shall complete all construction, grading, and seeding activities by September 1, or a date agreed to by the Development Review Coordinator. Failure to complete will require the applicant to apply for a permit extension.
9. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. Also, a stamped boundary survey may be required depending on the location of fill areas.

Please take notice that these are only guidelines and that the review of each application is different and is dependent on field conditions and topography. Conditions or requirements requested may exceed these guidelines in certain circumstances.

**~~ABSOLUTELY NO SITE WORK MAY BE DONE UNTIL THE PERMIT HAS BEEN ISSUED.~~**

**~~THIS INCLUDES THE FOLLOWING:~~**

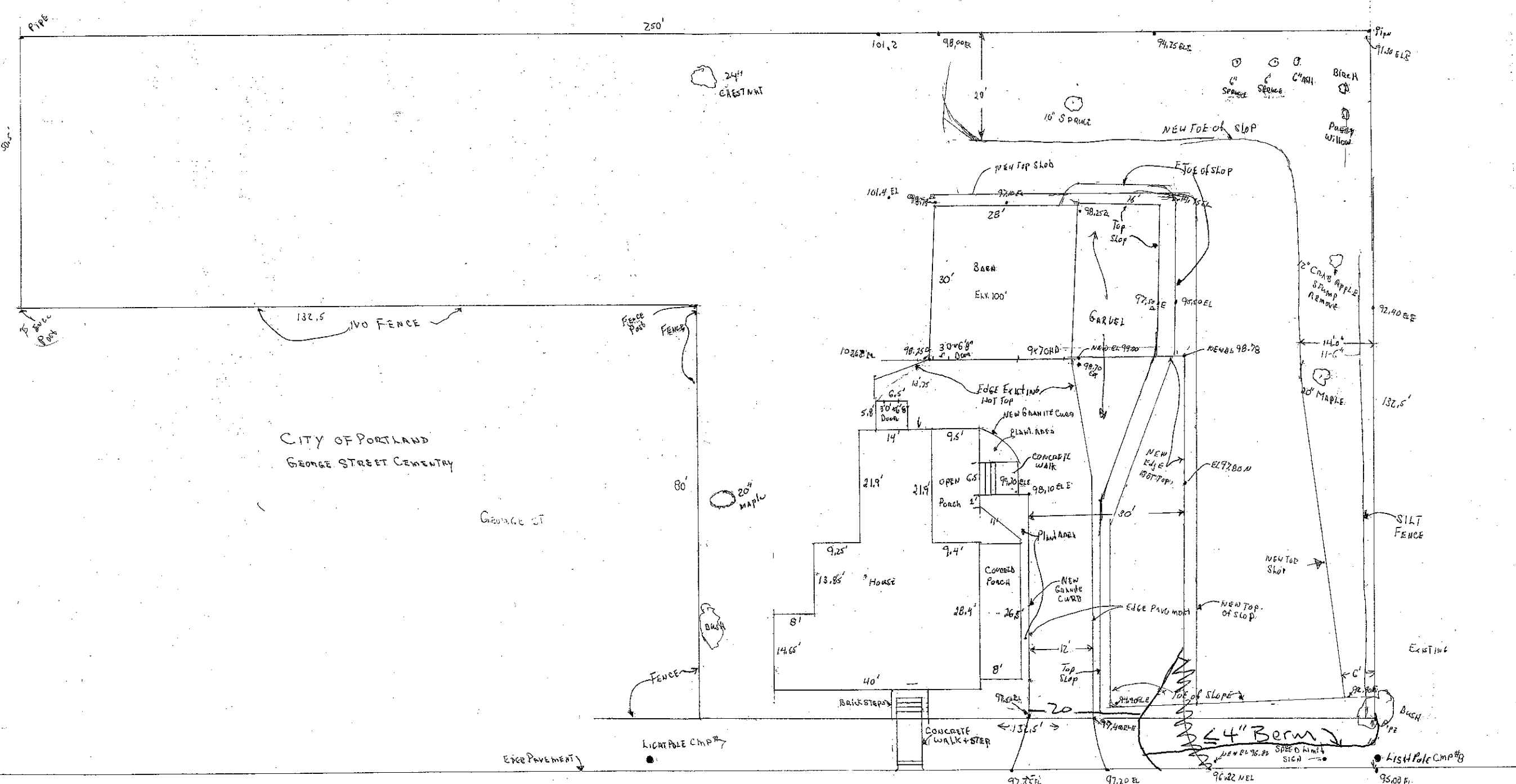
~~BLASTING~~

~~TREE CLEARING~~

~~HAULING IN FILL TO THE SITE~~

~~ANY TYPE OF GRADING OR EARTHWORK~~

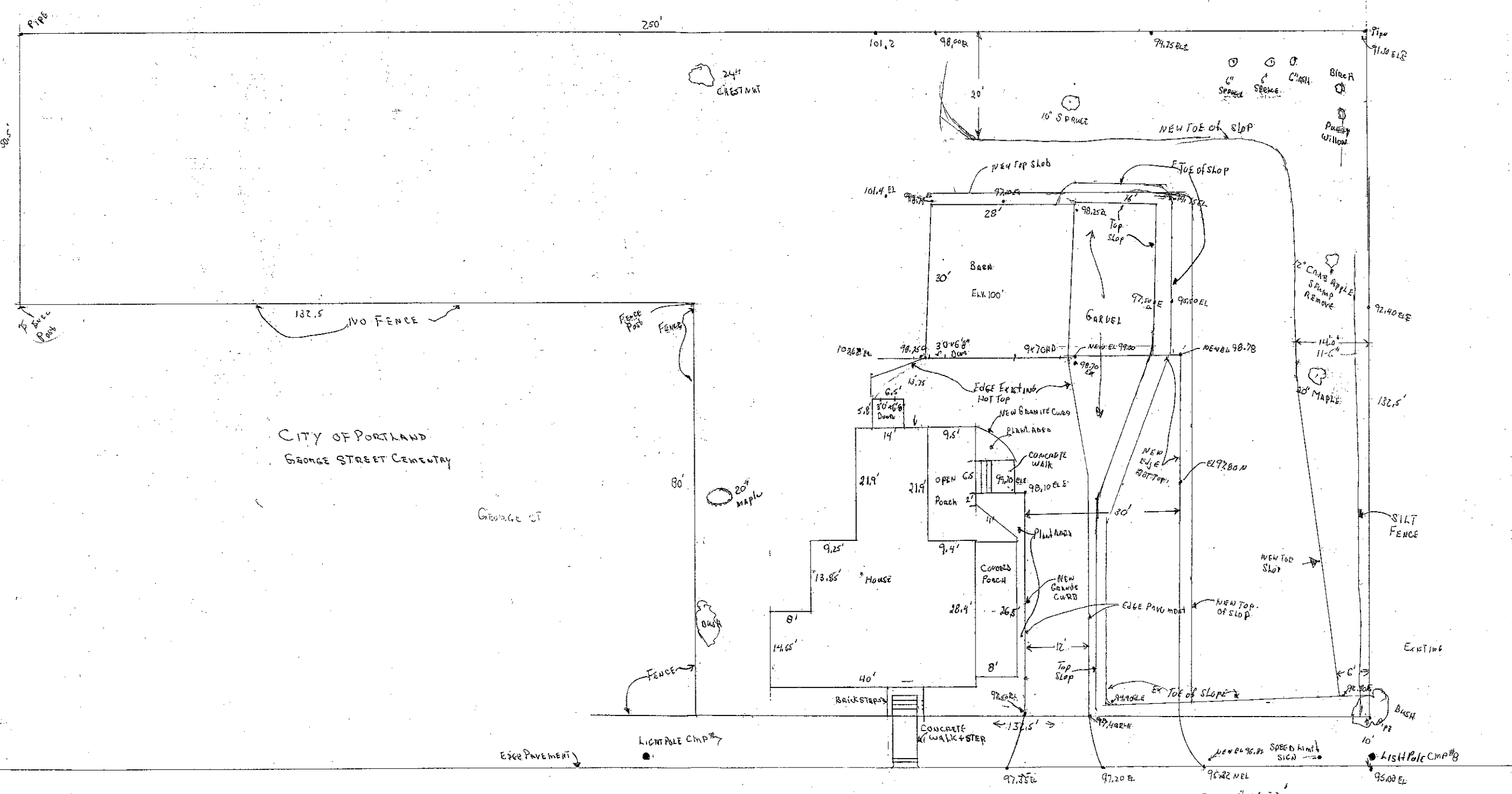
**FILL PERMITS ARE VALID FOR ONE (1) YEAR FROM THE APPROVAL DATE. A ONE YEAR EXTENSION MAY BE GRANTED BY THIS DEPARTMENT IF REQUESTED BY THE APPLICANT IN WRITING PRIOR TO THE EXPIRATION DATE OF THE FILL PERMIT.**



CITY OF PORTLAND  
 GEORGE STREET CEMETERY

GEORGE ST

SCALE 1" = 20'



CITY OF PORTLAND  
GEORGE STREET CEMETERY

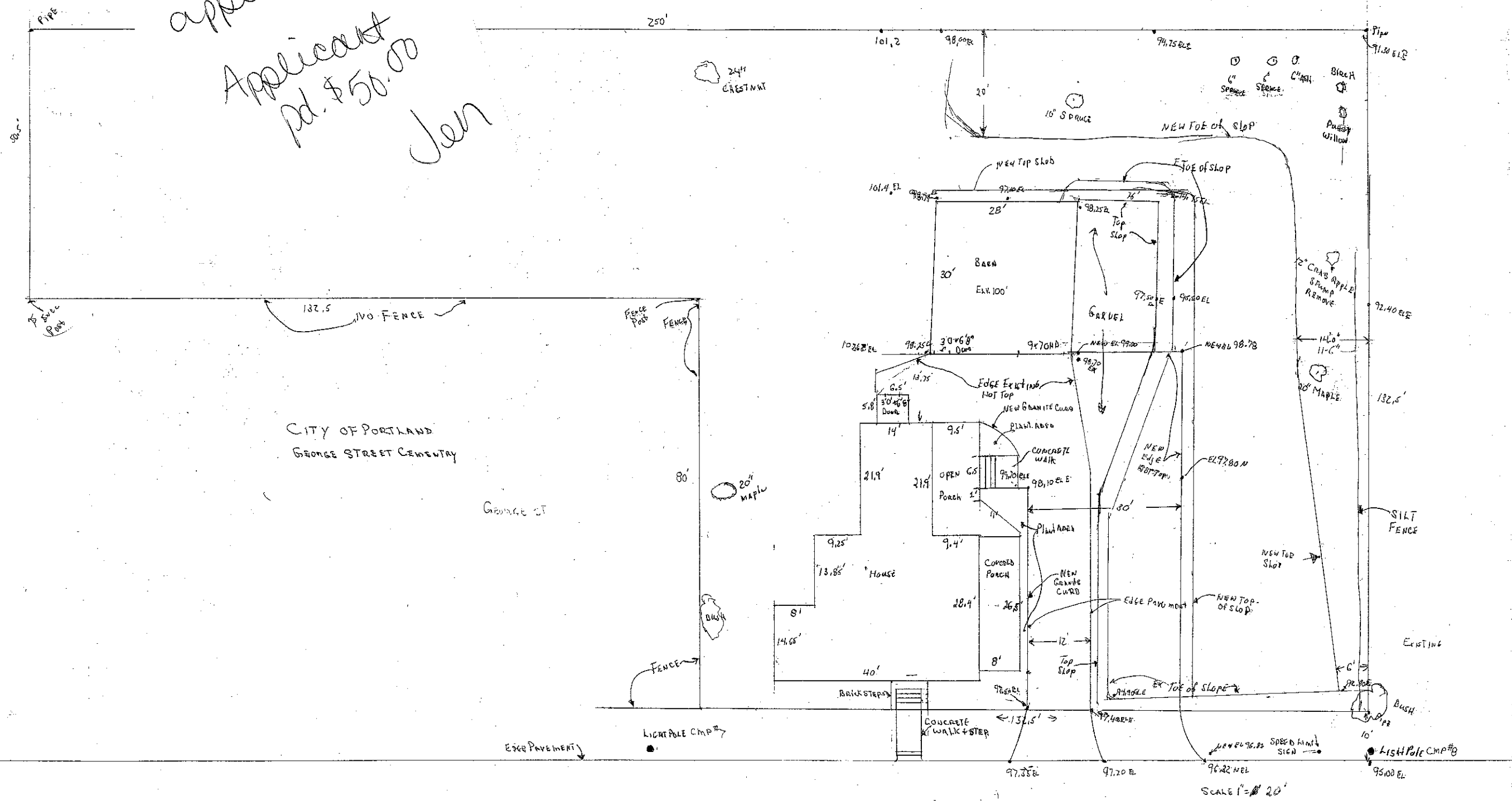
GEORGE ST

SITE PLAN 64 GEORGE ST PORTLAND ME

new fill application.

Application  
Pd. \$50.00

Jan



CITY OF PORTLAND  
GEORGE STREET CEMETARY

GEORGE ST

SCALE 1" = 20'

SITE PLAN 64 GEORGE ST PORTLAND ME.