

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0884	Issue Date:	CBL: 156 E007001
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Location of Construction: 336 Ocean Ave	Owner Name: Hoye, Kevin	Owner Address: 336 Ocean Ave	Phone: 878-7895
Business Name:	Contractor Name: Nappi, Sam	Contractor Address: 38 Verrill Street Portland	Phone: 2078787895
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$51.00	Cost of Work: \$3,500.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R3 Type: SB <i>BOCA 1999</i>	

Proposed Project Description:
 Replace Existing 8' x 26.6' Enclosed Porch and Satirs -
Repaired porch

Signature: *[Signature]*

Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: *gad*

Date Applied For: *04/18/2002*

Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
 - Building permits do not include plumbing, septic or electrical work.
 - Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..
- return to Sam P.G.*

<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/13/02</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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with conditions
Not to increase size

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE





TRANE

For _____

Location _____

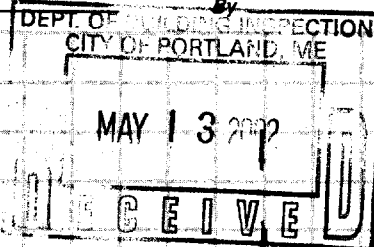
Subject _____

Job No. _____

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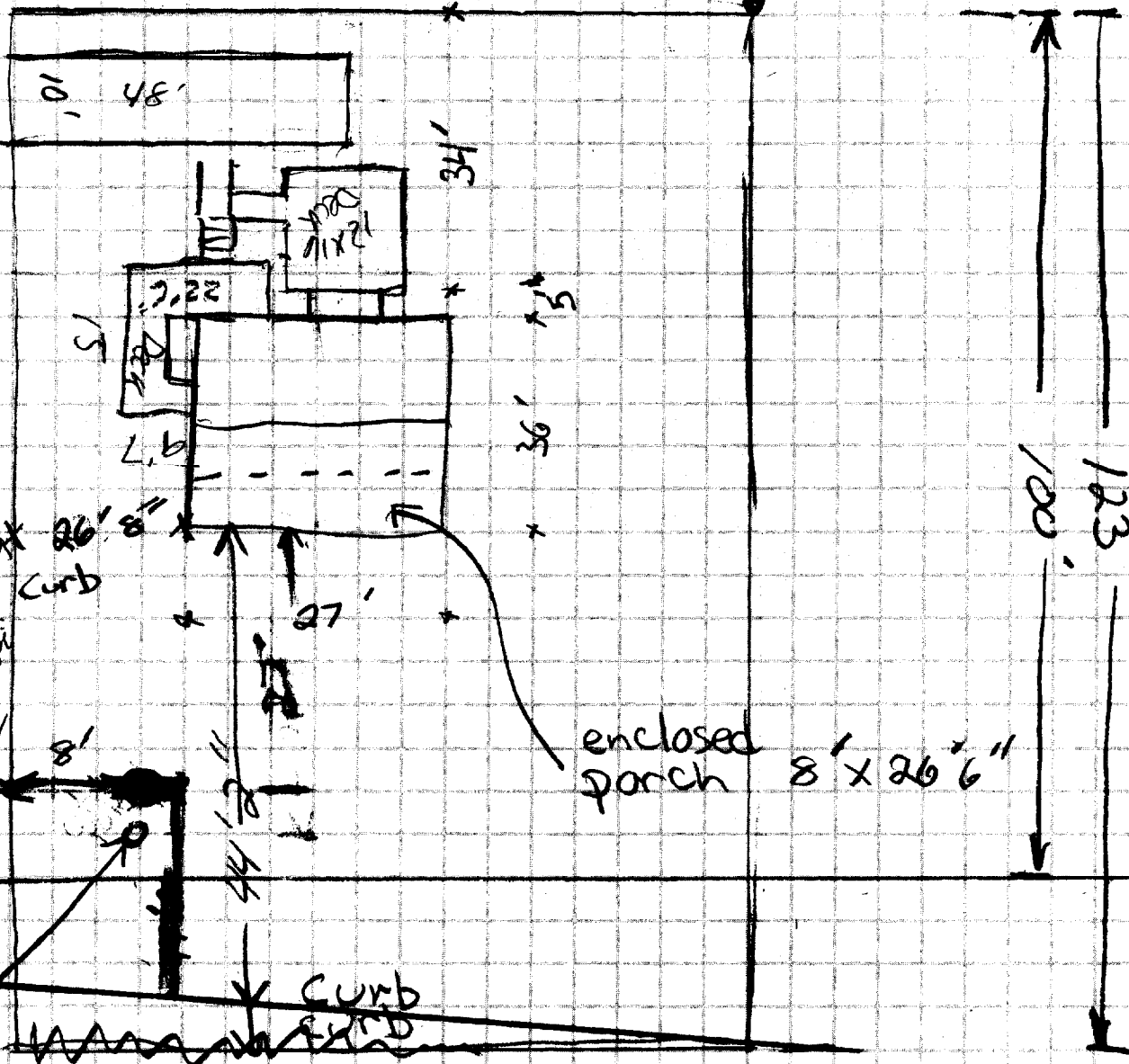
Date _____

By _____



Property
height
8'

50'
58'



Wellwood Rd
Property
line post
57m
Nippi

enclosed
porch 8' x 26'6"

336 Ocean Ave

48' on Wellwood side
27' of Ocean Ave

Kevin Hoyer

Application ID Number: 2-0384

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 336 Ocean ave

Approval Date: 05/13/2002

Given On Date: 04/23/2002

OK to Issue Permit Name: Marge Schmuckal Date: 05/13/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

Not to increase the existing footprint of porch and stairs.

Create Date: 04/22/2002 By: gad Update Date: 05/13/2002 By: mes

RS

02-0384

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>336 Ocean Ave. Portland.</u>		
Total Square Footage of Proposed Structure <u>Existing 7x25 Enclosed Porch</u>		Square Footage of Lot <u>5,000</u>
Tax Assessor's Chart, Block & Lot Chart# <u>156</u> Block# <u>E</u> Lot# <u>7</u>	Owner: <u>Kevin Hove</u>	Telephone: <u>878-7895</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>336 Ocean Ave</u>	Cost Of Work: \$ <u>3500⁰⁰</u> Fee: \$ <u>51.00</u>
Current use: <u>Porch</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Porch</u> (concrete)		
Project description: <u>Replace existing enclosed porch existing steps</u> <u>2x8 Joist 20" saw tubes 6x6 posts 2x8 headers to be reused</u>		
Contractor's name, address & telephone: <u>Sam Nappi</u> <u>38 Verrill St. Portland, Me</u>		
Who should we contact when the permit is ready: <u>Sam Nappi 878-7895</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>878-7895 XX</u>		

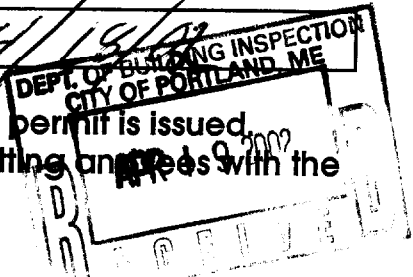
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

Call

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>4/19/02</u>
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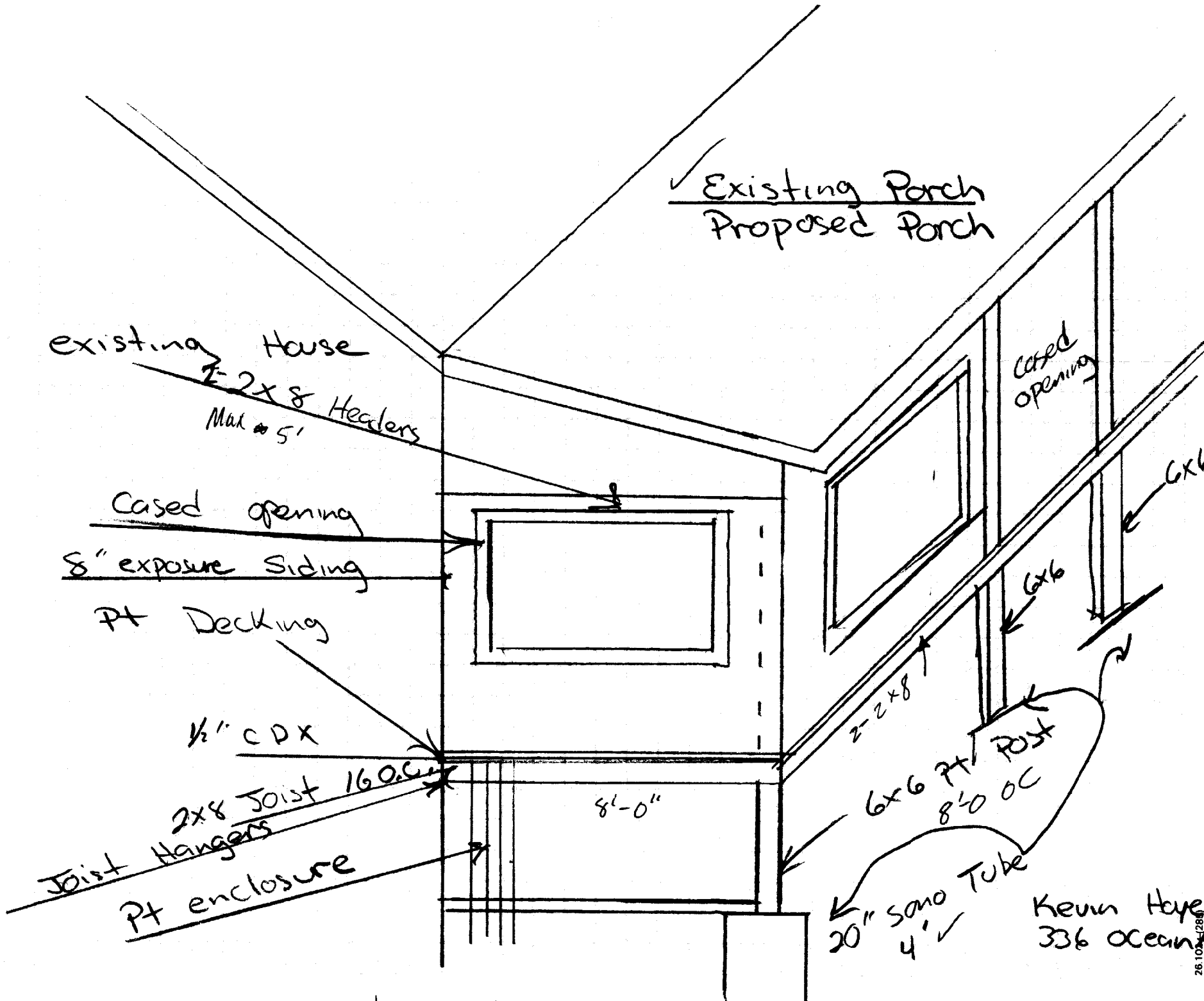
This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Job No.
Page
Date
By

For
Location
Subject

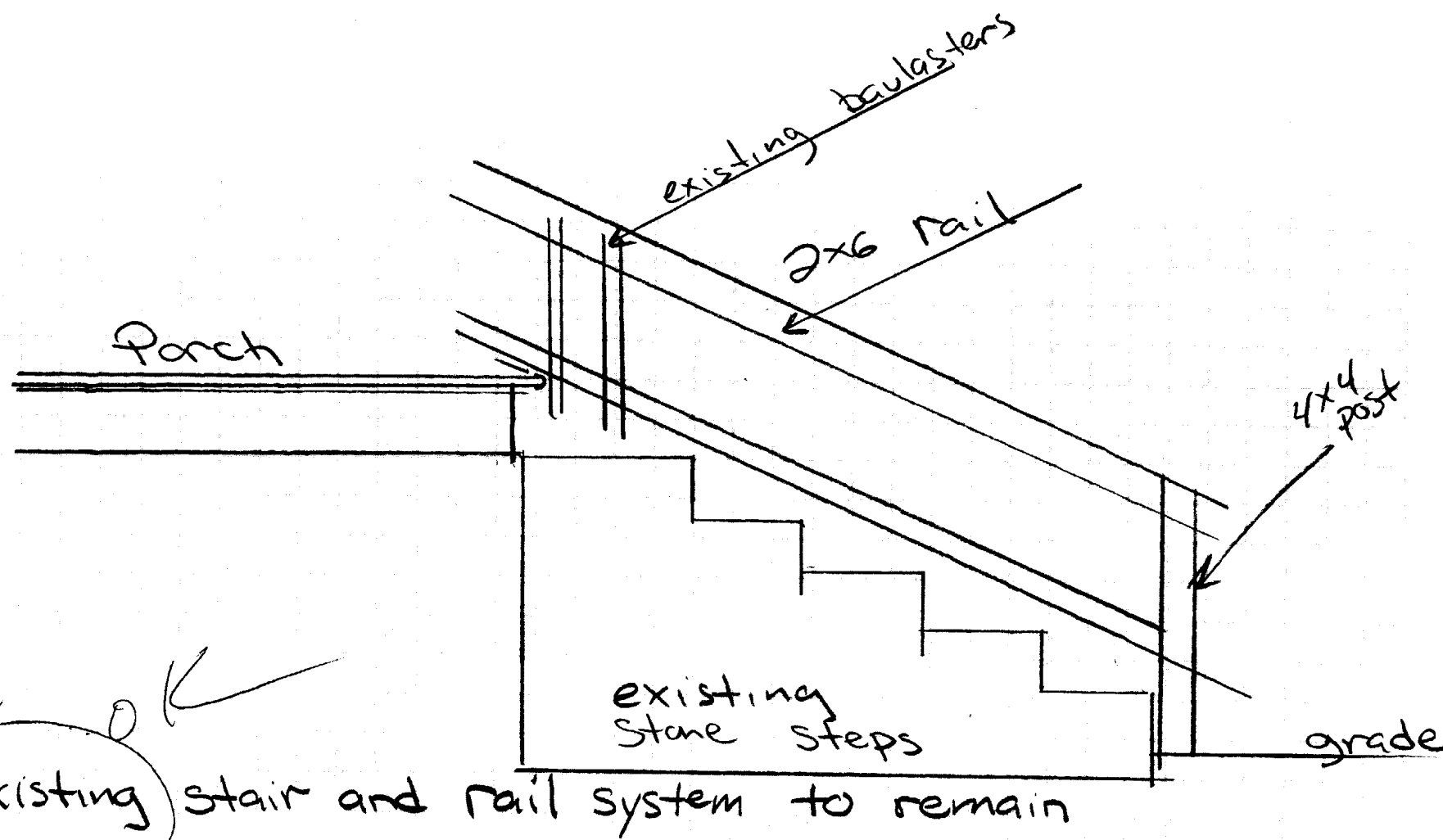
TRANE



Kevin Hays
336 Ocean Blvd

Job No. _____
Page _____
Date _____
By _____

For _____
Location _____
Subject _____



existing stair and rail system to remain

Kevin Hays
336 Ocean Ave



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

_____ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

_____ **Re-Bar Schedule Inspection:** Prior to pouring concrete

_____ **Foundation Inspection:** Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

_____ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

N/A **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**



Signature of applicant/designee

Date

5/22/02

Signature of Inspections Official

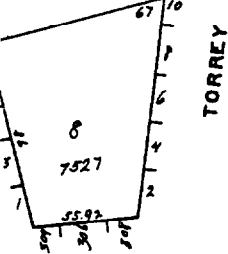
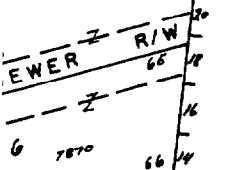
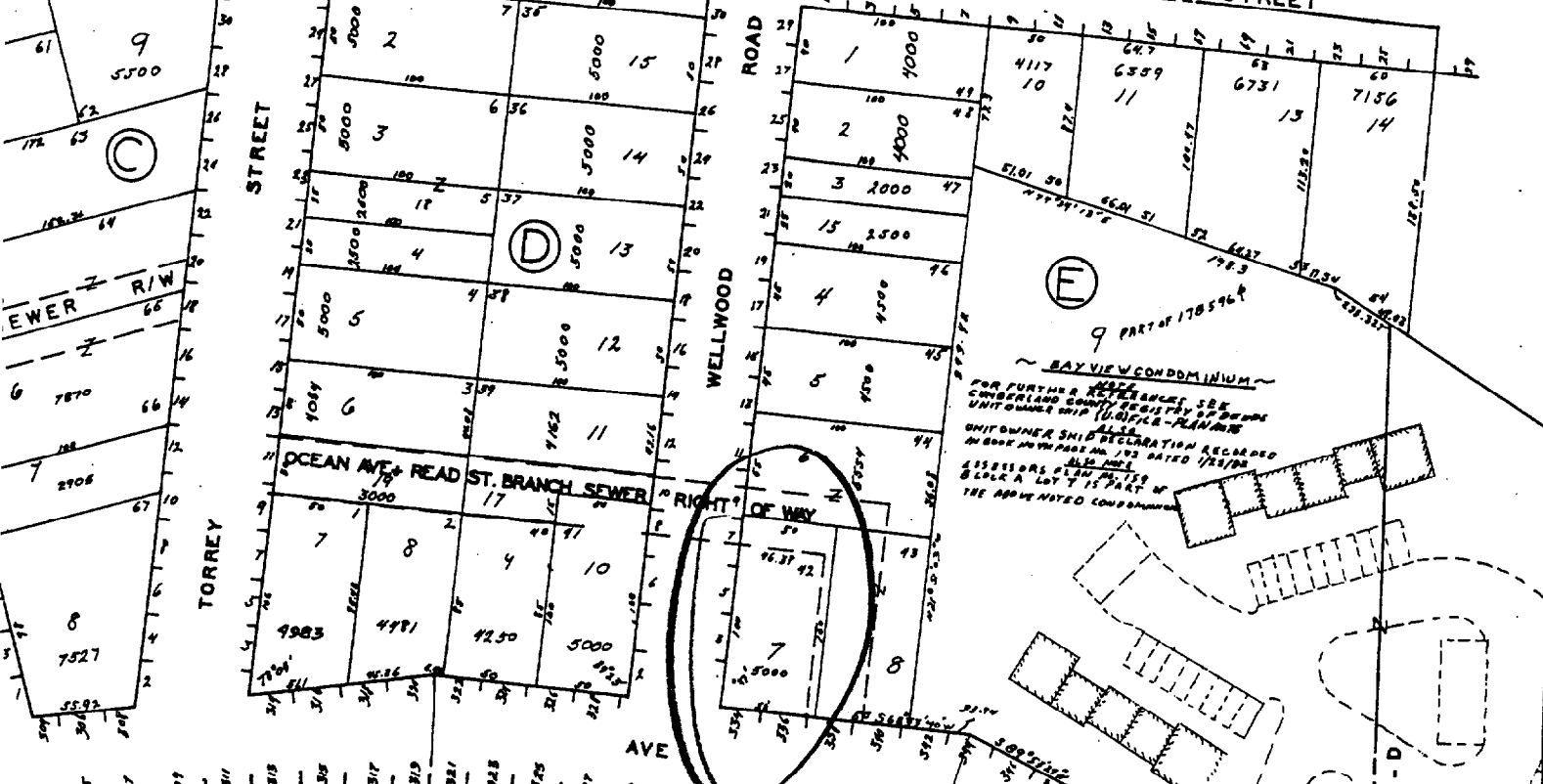
Date

CBL: 15UE007 Building Permit #: 02-0304

Nº 156

HALL SHEET 160-B STREET

HEET 155-B



~ BAY VIEW CONDOMINIUM ~
 FOR FURTHER DETAILS SEE
 COOSHERLAND COUNTY REGISTER OF DEEDS
 UNIT OWNER SHIP (U.O.) FILE # PLAN # 155
 UNIFORM SHIP DECLARATION RECORDED
 IN BOOK 40 PAGE 40, 122 DATED 7/21/82
 ALSO FILE # 155
 UNIFORM SHIP DECLARATION RECORDED
 IN BOOK 40 PAGE 40, 122 DATED 7/21/82
 LESSORS PLAN # 155
 BLOCK A LOT 7, PART OF
 THE ABOVE NAMED CONDOMINIUM

