

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ION

PERMIT ISSUED
Permit Number: 100858

This is to certify that THIBODEAU OMER A & MARIE D THIBODEAU/Tony Pr AUG 19
has permission to Replacing existing deck w/ large 8' x 7'
AT 10 BACK COVE ESTATES CB 156 F006010 City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is done-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. CAPT. R. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

7.20 20 10

Received from

Maxine Thibodeau -

Location of Work

10 Buck Court - Est. 1700 -

Cost of Construction \$ _____

Building Fee: _____

Permit Fee \$ _____

Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 60

Building (11) _____

Plumbing (15) _____

Electrical (12) _____

Site Plan (12) _____

Other _____

CB: 156-F-6

Check #: 1802

Total Collected \$ 60

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: S. M.

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0858	Issue Date:	CBL: 156 F006010
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Location of Construction: 10 BACK COVE ESTATES	Owner Name: THIBODEAU OMER A & MAXIN	Owner Address: 10 BACK COVE ESTATES	Phone:
Business Name:	Contractor Name: Tony Prescott & Sons	Contractor Address: 166 Cottage Road Windham	Phone: 2076710641
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: R-3

Past Use: Single Family Condo	Proposed Use: Single Family Condo - Replacing existing deck w/ larger 8' x 7'	Permit Fee: \$40.00	Cost of Work: \$1,500.00	CEO District: 4
<p>legal use - 10 units in building - 6 residential condos total.</p>		<p>FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p><i>* See Conditions</i></p>		<p>INSPECTION: Use Group: R-2 Type: SB</p> <p>IRG 2003</p>
Proposed Project Description: Replacing existing deck w/ larger 8' x 7'		<p>Signature: <i>(Signature)</i></p> <p>Signature: <i>(Signature)</i></p>		
		<p>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</p> <p>Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied</p> <p>Signature: _____ Date: _____</p>		

Permit Taken By: ldobson	Date Applied For: 07/20/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input checked="" type="checkbox"/> Shoreland Structure is at beyond 75' setback <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/3/10 <i>APM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>APM</i>

PERMIT ISSUED

AUG 19 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>#10 Back Cove Estates Portland.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>156</u> Block# <u>F</u> Lot# <u>6</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Maxine Thibodeau</u> Address <u>15 Fairfield Drive</u> City, State & Zip <u>Kennebunk, ME 04043</u>	Telephone: <u>967-4236</u> or Cell <u>229-9576</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1500</u> C of O Fee: \$ _____ Total Fee: \$ <u>40</u>
Current legal use (i.e. <u>single family</u>) _____ Number of Residential Units _____		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>private residence</u>		
Is property part of a subdivision? <u>Condo Assoc</u> If yes, please name _____		
Project description: <u>Add to existing Deck Replace existing Deck w/larger 8x7</u>		
Contractor's name: <u>Tony Prescott & Sons</u>		
Address: <u>166 Cottage Rd</u>		
City, State & Zip <u>Windham, ME 04092</u>		Telephone: <u>671-0641</u>
Who should we contact when the permit is ready: <u>Maxine Thibodeau</u>		Telephone: <u>967-4236</u>
Mailing address: <u>15 Fairfield Drive Kennebunk, ME 04043</u> ME-1		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

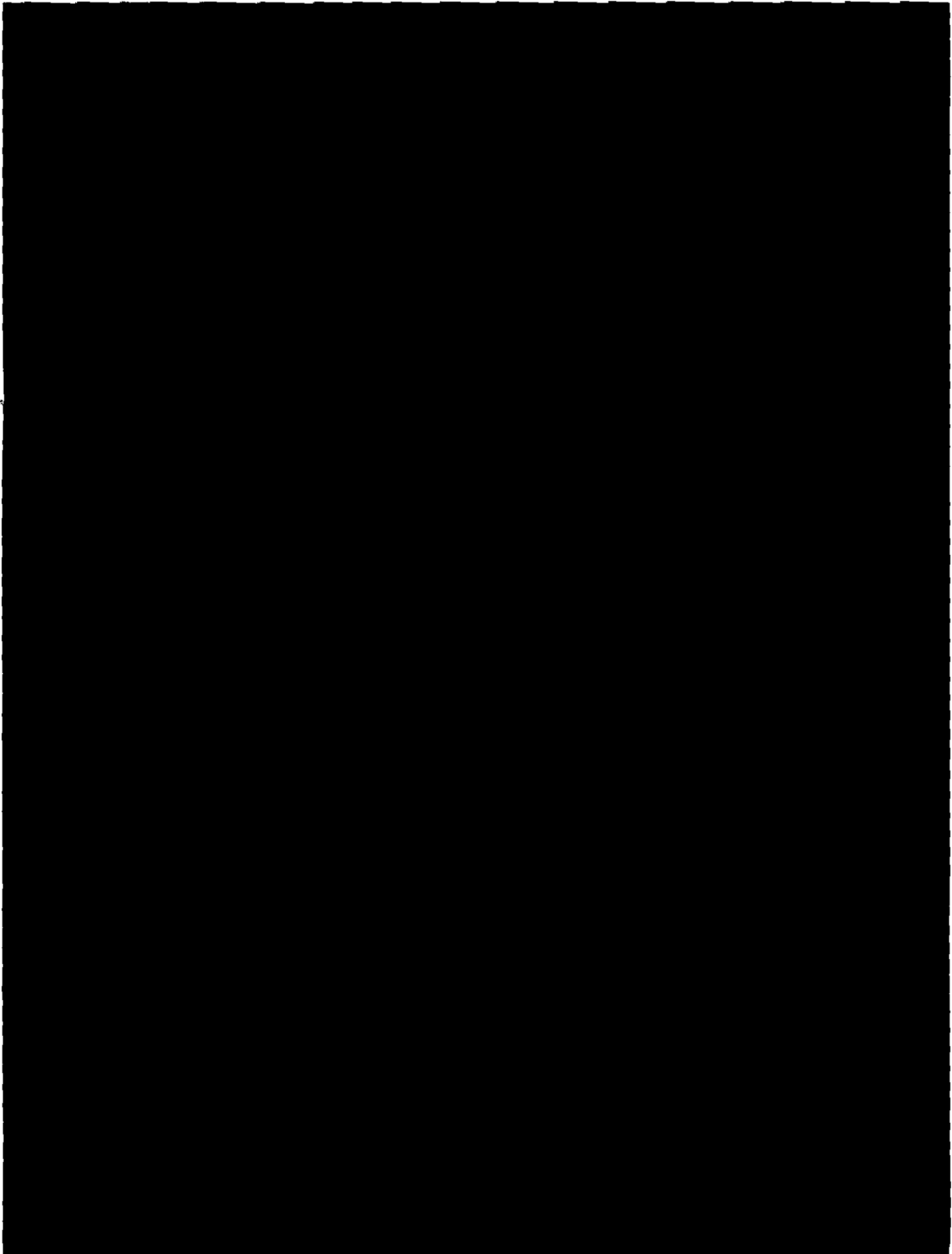
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officials authorized representative shall have the authority to enter all areas covered by this permit at any reasonable time to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature: Maxine Thibodeau Date: July 20, 2010 JUL 20 2010

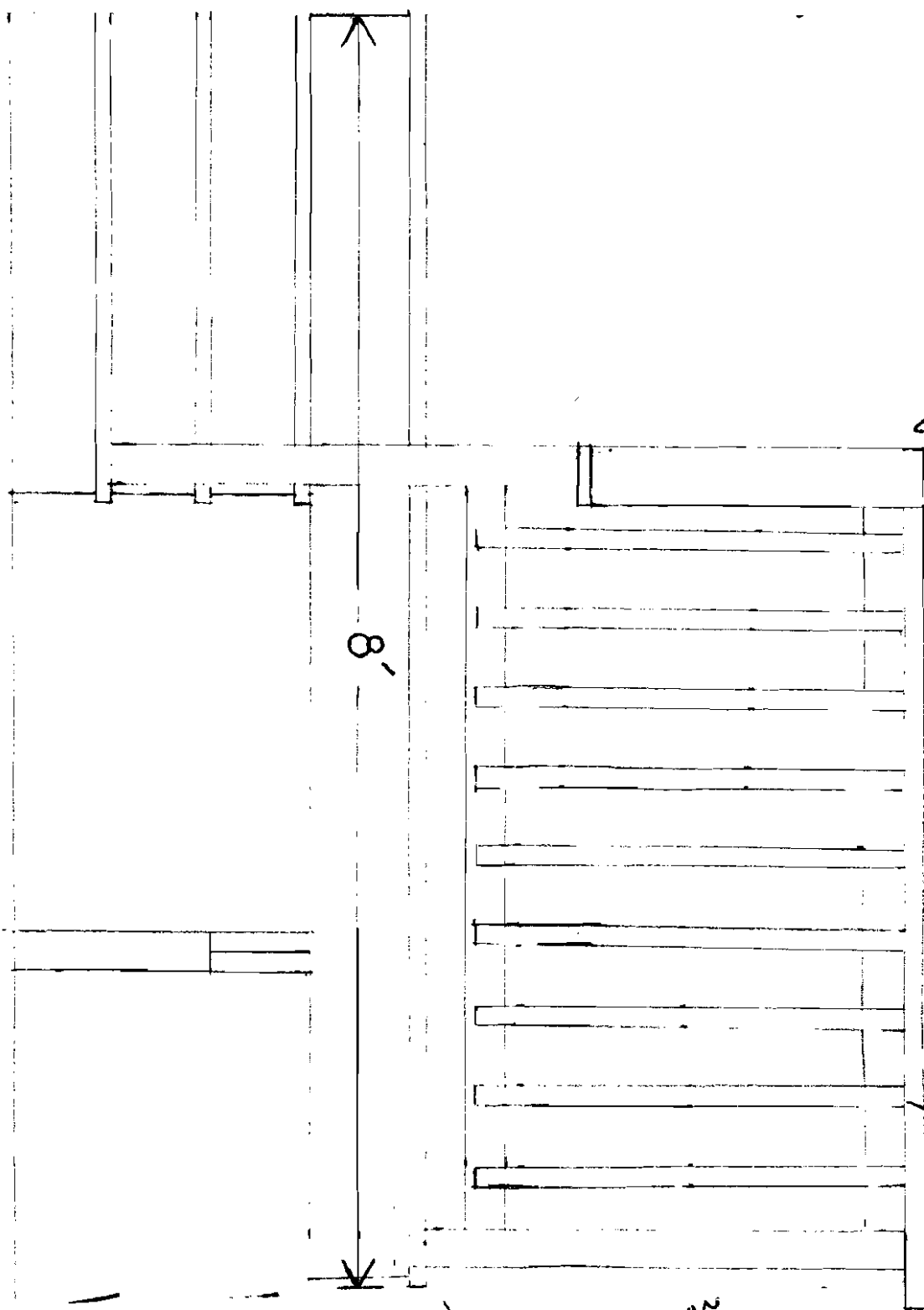
This is not a permit; you may not commence ANY work until the permit is issued

Dept. of Building Inspections
City of Portland Maine



ENTRY

LEFT SIDE



As specified in previous drawings

7 1/2"

6 30"

As specified in previous drawings

RECEIVED

JUL 20 2010

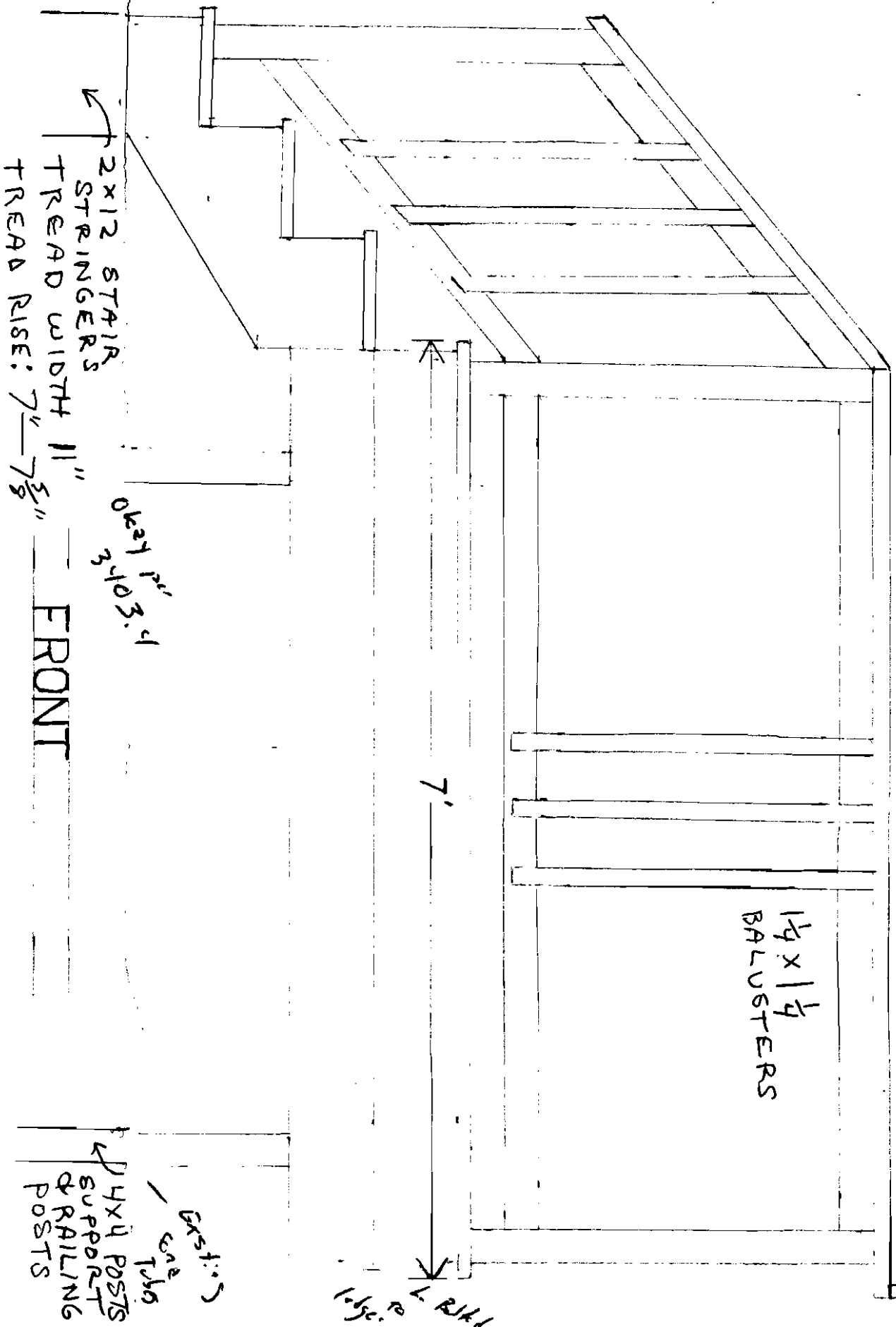
Dept. of Building Inspections
City of Portland Maine

ENTRY TO CONDO

RECEIVED

JUL 20 2010

Dept. of Building Inspections
City of Portland Maine



2x12 STAIR
STRINGERS
TREAD WIDTH 11"
TREAD RISE: 7" - 7 5/8"

OK 1 1/8"
3-10-3-4

FRONT

1 1/4 x 1 1/4
BALUSTERS

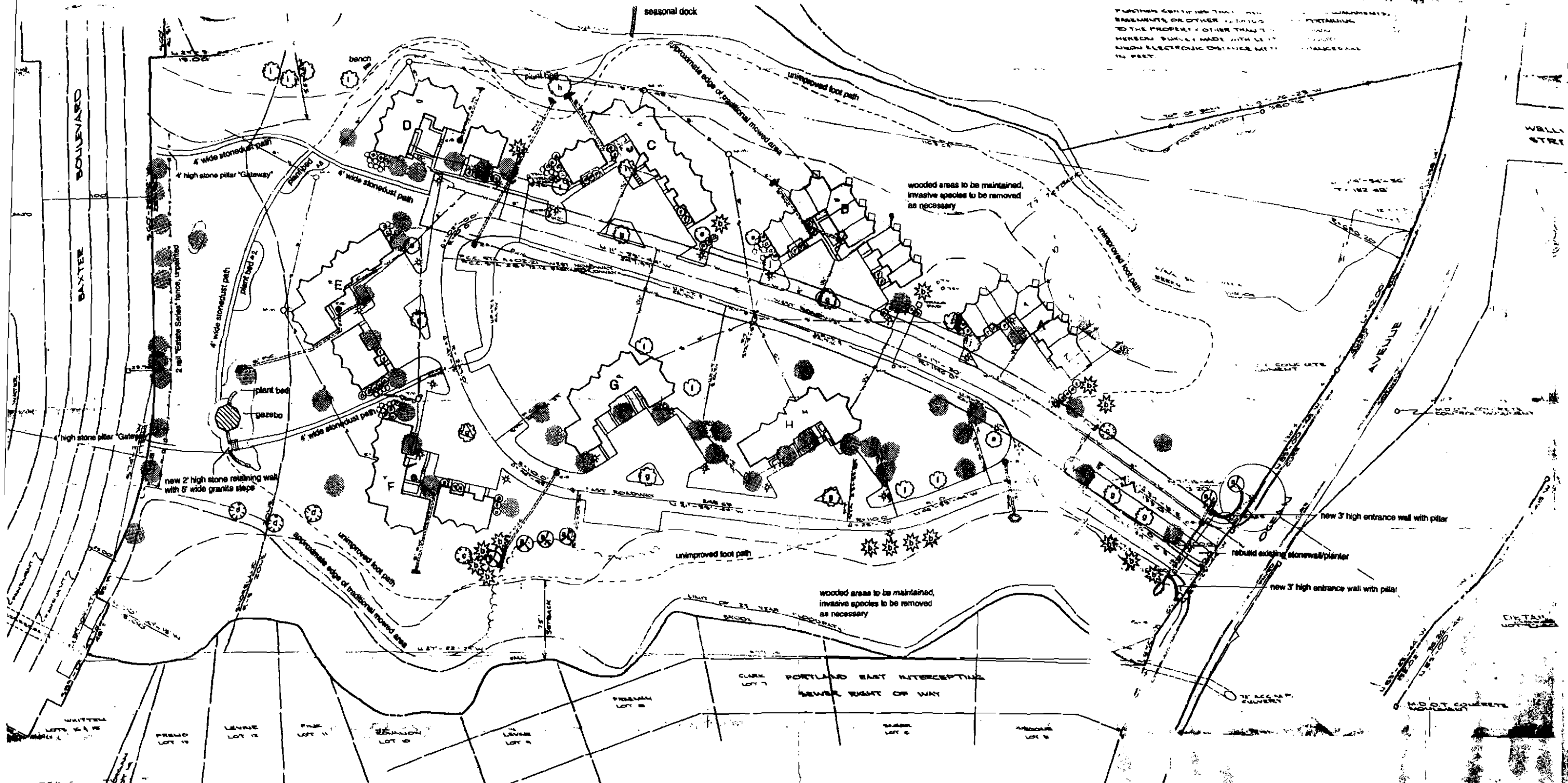
7'

EXISTING
2x4 POSTS
SUPPORT
& RAILING
POSTS

DECKING
5/4"
2x8
CARRIER
BEAM
2x6
STRINGERS
@ 16" OC.

RAILING
2x6
2x4

FURTHER CONTAINING ALL NECESSARY DIMENSIONS, OR OTHER DETAILS PERTAINING TO THE PROPERTY OTHER THAN THOSE HEREON SHOWN, MADE WITH A LEASING SURVEY ELECTRONIC DISTANCE METER IN 1997.



**Amended Landscape Plan for
Back Cove Estates**

Tree Planting,
Planting Beds,
Gazebo Location,
Stonedust Pathways,
Fence

GNOME LANDSCAPE DESIGN
305 US Route 1 PO Box 65803
Falmouth, Maine 04103
phone 207.781.9555 fax 207.781.5705
email: gnome@gnome.com
© 2004 GNOME LDM

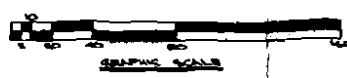
LEGEND:
MONUMENT FOUND
IRON ROD MET
STAKE SET
IRON PIPE FOUND
UTILITY POLE
LIGHT
HYDRANT
GATE BASIN
WATER VALVE
MAN HOLE
SEWER
WATER MAIN
UNDERGROUND POWER-
TELEPHONE & CABLE TV
TELEPHONE RISER
T.V. RISER

RECEIVED

JUL 20 2010

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City of Portland Maine

NOTE:
THIS PLAN SHOWS A MAJOR CHANGE TO THE SUBDIVISION PLAN DATED 2/7/84, AS RECORDED IN THE REGISTRY OF DEEDS IN PLAT BOOK 142, PAGE 22 ON MAY 10, 1984 AT 11:27 A.M. THIS CHANGE INVOLVES THE MOVING OF BUILDING 2 APPROXIMATELY 5' IN A NORTHEASTLY DIRECTION. ALL OTHER ITEMS REMAIN UNCHANGED.
2) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE
3) FINAL FINISH OF WALKS AND PARKING AREAS IS INCOMPLETE. LOCATION TAKEN FROM FIELD SURVEY AND DESIGN PLAN.



Schedule: Trees and Building Planting

Common Name	Size	Qty
Norway Spruce	6-8'	1
Eastern White Pine	6-8'	1
Colorado Spruce	6-8'	1
Austrian Pine	5-8'	1
Red Sunset Orange	2-2.5'	1
Burnish Dracaena	2-4'	1
Donald Wyman	2-3'	1
White Weeping Willow	2-3'	1
Crinum Cordatum	2-3'	1
Ivory Silk Japanese	2-3'	1
Compact Palm	1-2'	1
Dwarf Korean	1-2'	1
Magi Carpet	1-2'	1
Broadwings Juniper	3'	1

1. All plants to be installed in accordance with standard practices advised by the American Association of Nurserymen.
2. All plants shall be guaranteed for one year from the date of install.
3. Any existing plants that are compromising buildings at the present time may be removed.

Scale 1" = 40'

UNIT
P PARKI
COMM
V VISITO

MEAN HIGH WATER

TIE LINE N18°15'48"W
1163.69'

WOOD DECK

LCE (TYP.)

LCE (TYP.)

BUILDING 30-35

BUILDING 18-27

BUILDING 8-17

UTILITY BUILDING
CE

WEST ROADWAY

C.M.P. CO. EASEMENT
6727/342

LCE (TYP.)

LCE (TYP.)

LCE (TYP.)

PATH

W 10'

W 10'

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P 9

P 8

P 7

P 6

P 5

P 4

P 3

P 2

P 1

P 0

P -1

P -2

P -3

P -4

P -5