

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 100318

Please Read
Application And
Notes, If Any,
Attached

This is to certify that WALKER MARY ANN TRUSTEE /Robert Coughlin
has permission to enlarge existing 6'x 6' deck to 8' x 8' deck w/ stairs
AT 13 BACK COVE ESTATES CBL 156 F006013

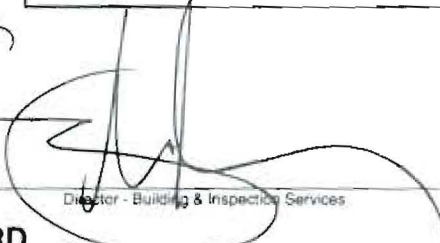
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.
PERMIT ISSUED

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. APR 15 2010
Health Dept. _____
Appeal Board _____
Other City of Portland
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0318	Issue Date:	CBL: 156 F006013
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Location of Construction: 13 BACK COVE ESTATES	Owner Name: WALKER MARY ANN TRUSTEE	Owner Address: 13 BACK COVE ESTATES	Phone:
Business Name:	Contractor Name: Robert Coughlin	Contractor Address: 105 Swett Road Windham	Phone 2078074708
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Condo	Proposed Use: Single Family Condo - replace / enlarge existing 6'x 6' deck to 8' x 8' deck w/ stairs	Permit Fee: \$30.00	Cost of Work: \$600.00	CEO District: 4
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John used # of res. condos is 65

FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-2</i> Type <i>SB</i> <i>IBC 2003</i>
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Proposed Project Description:
enlarge existing 6'x 6' deck to 8' x 8' deck w/ stairs

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature	Date:	

Permit Taken By: Idobson	Date Applied For: 04/01/2010	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input checked="" type="checkbox"/> Shoreland - expanded <i>deck setback are foot beyond 75'</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ cond. has</i> Date: <i>4/2/10</i> <i>JAN</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Am</i>

PERMIT ISSUED

APR 15 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Framing and final inspection required. This can be done at the same time if the framing is visible.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

APR 15 2010

City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0318	Date Applied For: 04/01/2010	CBL: 156 F006013
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Location of Construction: 13 BACK COVE ESTATES	Owner Name: WALKER MARY ANN TRUSTEE	Owner Address: 13 BACK COVE ESTATES	Phone:
Business Name:	Contractor Name: Robert Coughlin	Contractor Address: 105 Swett Road Windham	Phone: (207) 807-4708
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Condo - replace / enlarge existing 6'x 6' deck to 8' x 8' deck w/ stairs	Proposed Project Description: enlarge existing 6'x 6' deck to 8' x 8' deck w/ stairs
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 04/02/2010
Note:	Ok to Issue: ✓		
1) This property shall remain as sixty-five residential condominiums. Any change of use shall require a separate permit application for review and approval. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 04/15/2010
Note:	Ok to Issue: ✓		
1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

Comments:
4/2/2010-gg: received 11 x 17 as of 04/02/10. Gg

PERMIT ISSUED

APR 15 2010

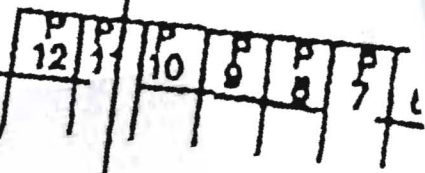
City of Portland

1765.69'

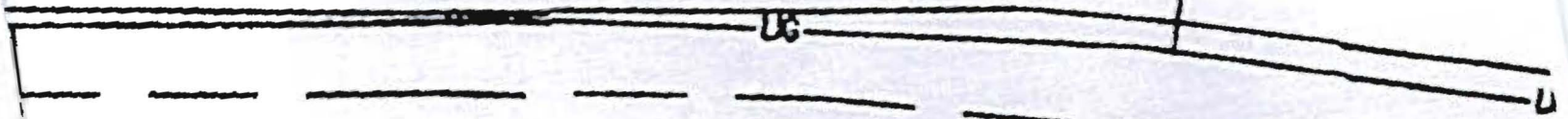
WOOD DECK



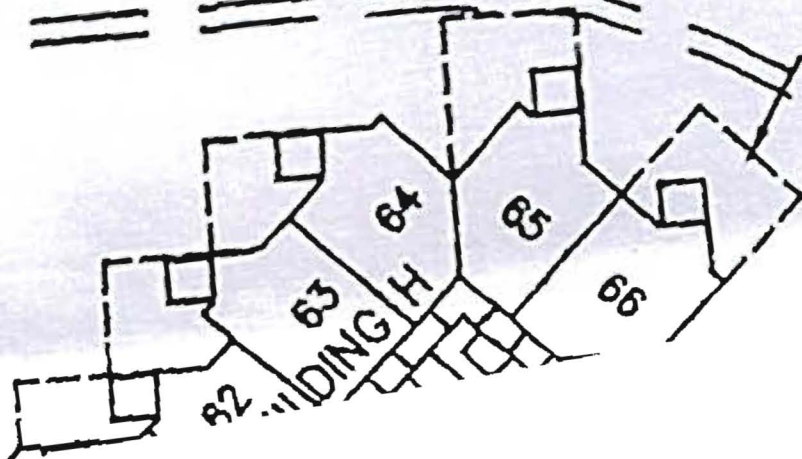
WOOD



WEST ROADWAY



LCE (TRP.)



1103.69'

Existing Deck 6'x6'
Proposed Deck 8'x8'
with steps

WOOD DECK

13 BUILDING

17 16 15 14
P P P P
17 17 18 15 14

13 12 11 10
P P P P
13 12 11 10 9 8 P

WEST ROADWAY

S

LCE (TRP.)

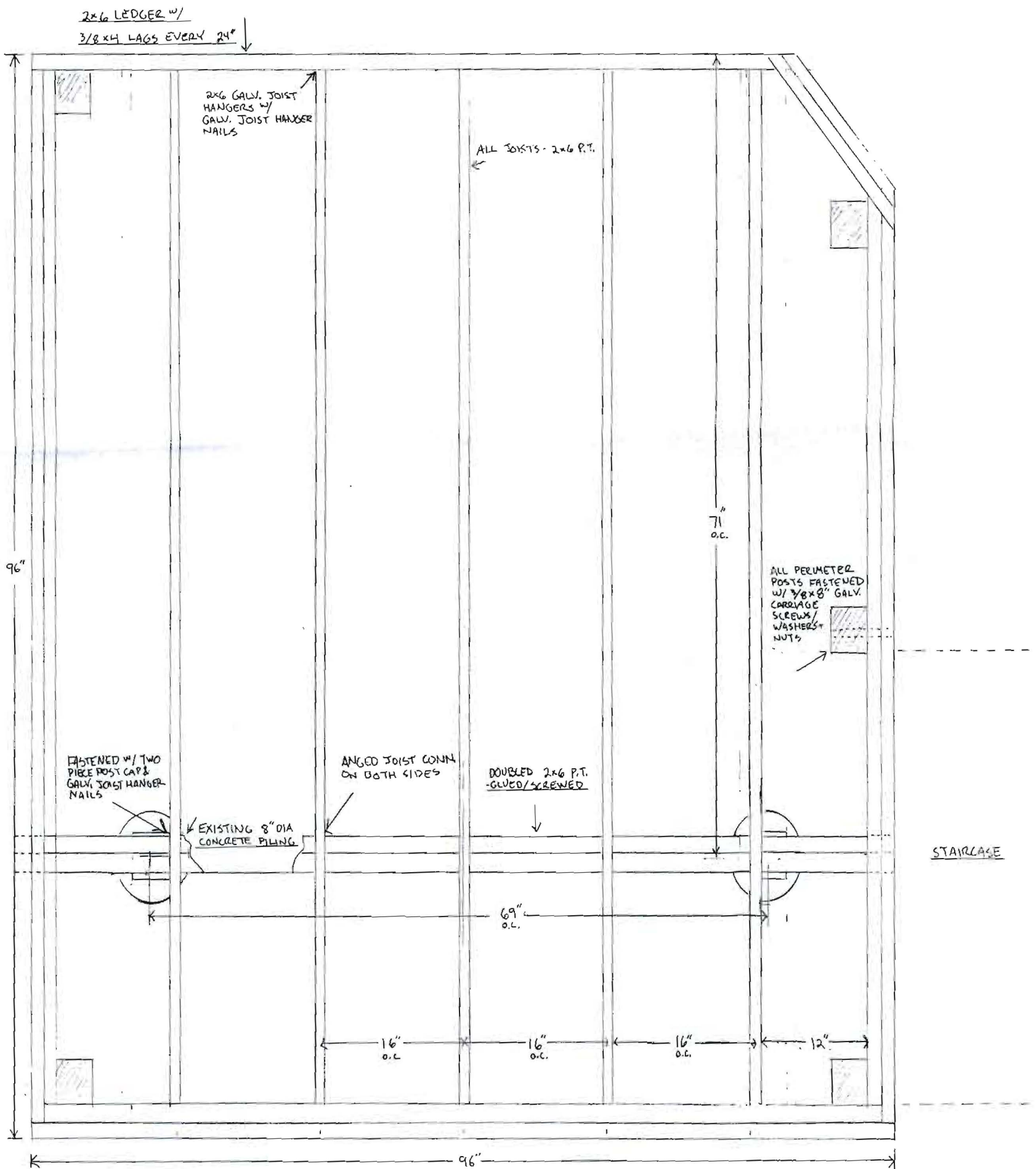
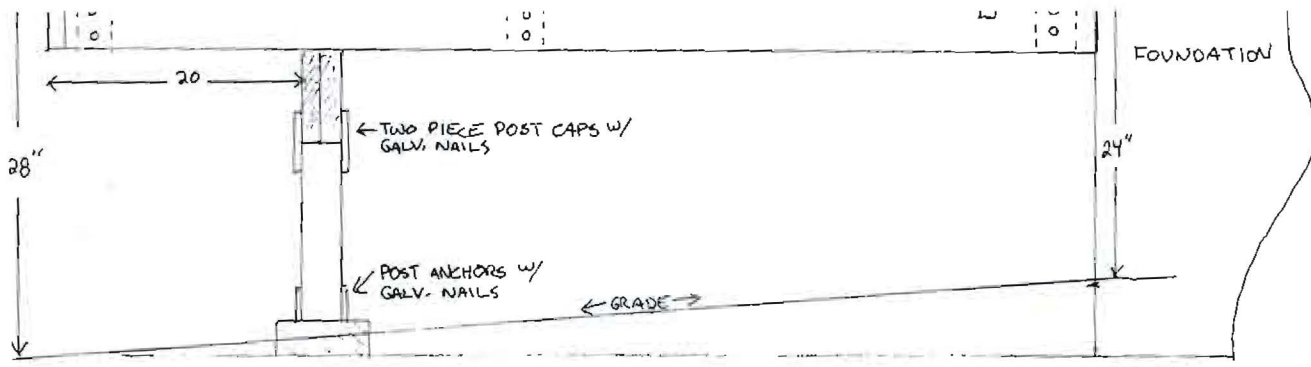
83 BUILDING H 84 85 86

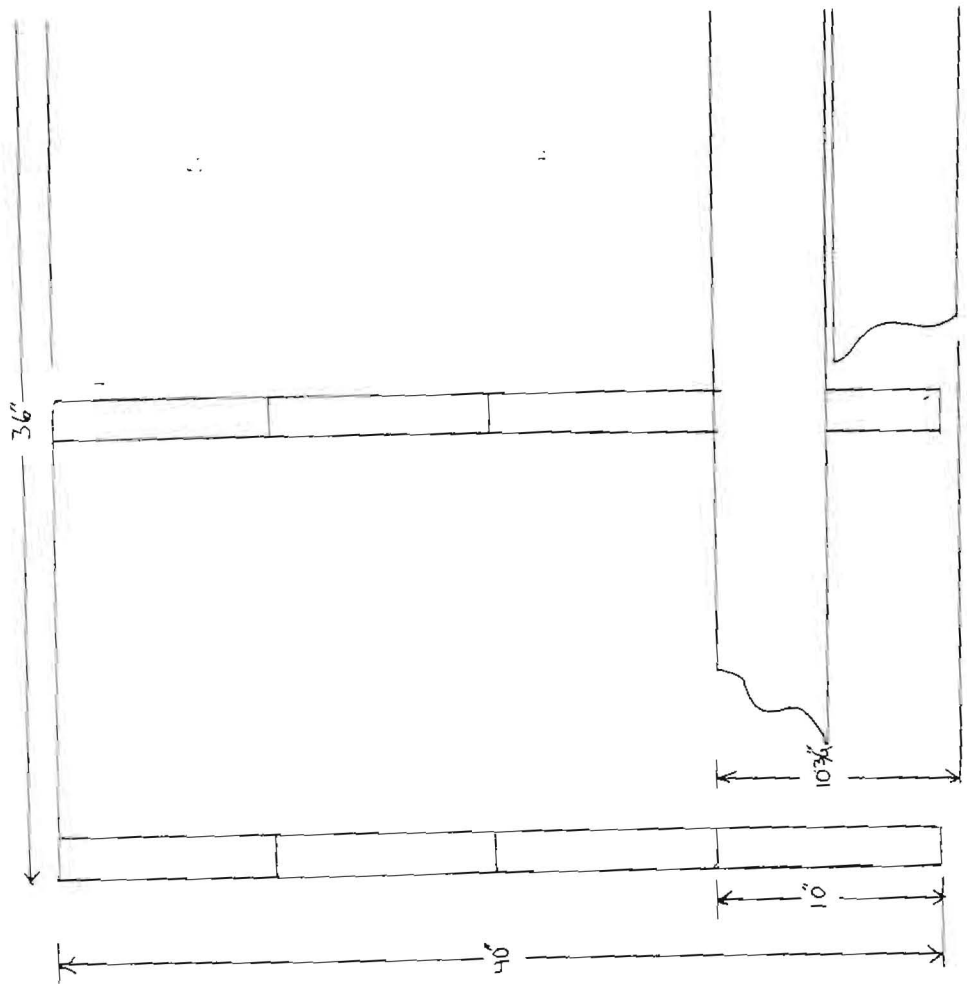
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P	P	P	P
0	18	14	13

P	P	P	P	P	P	P
12	11	10	9	8	7	6

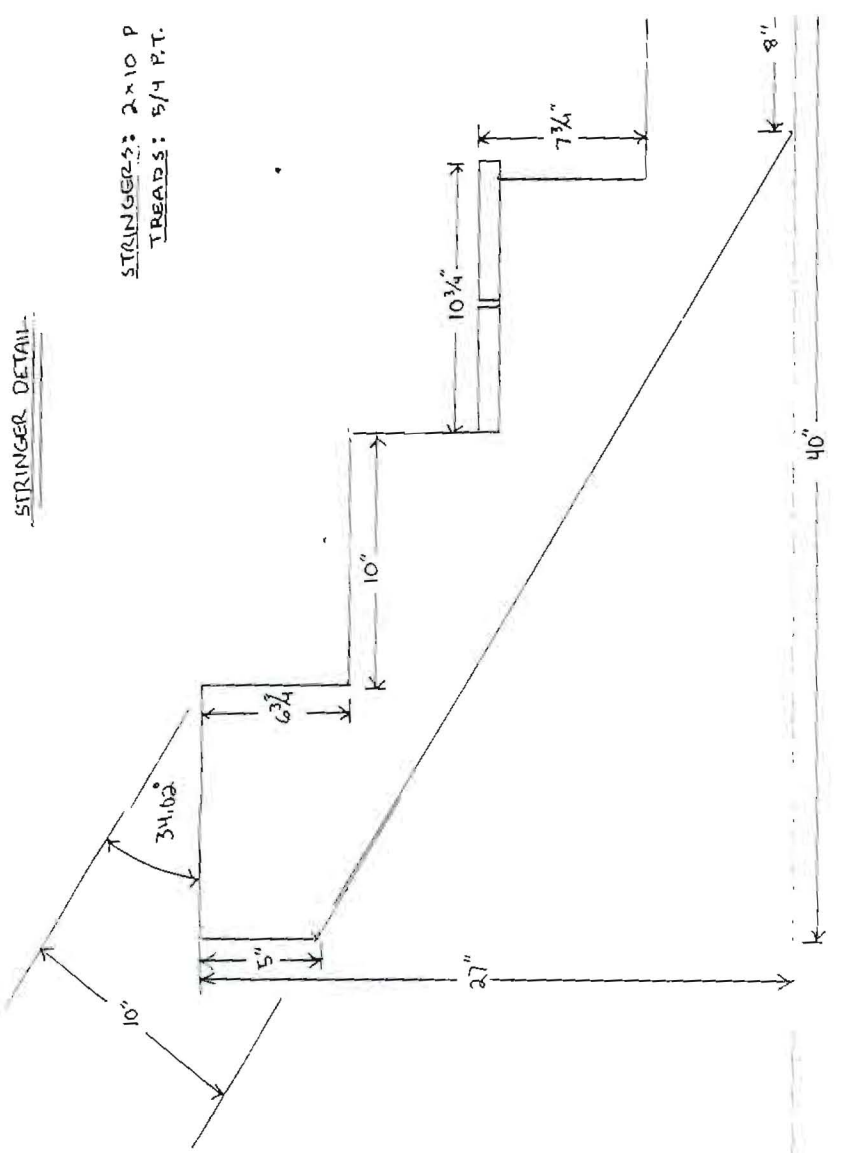
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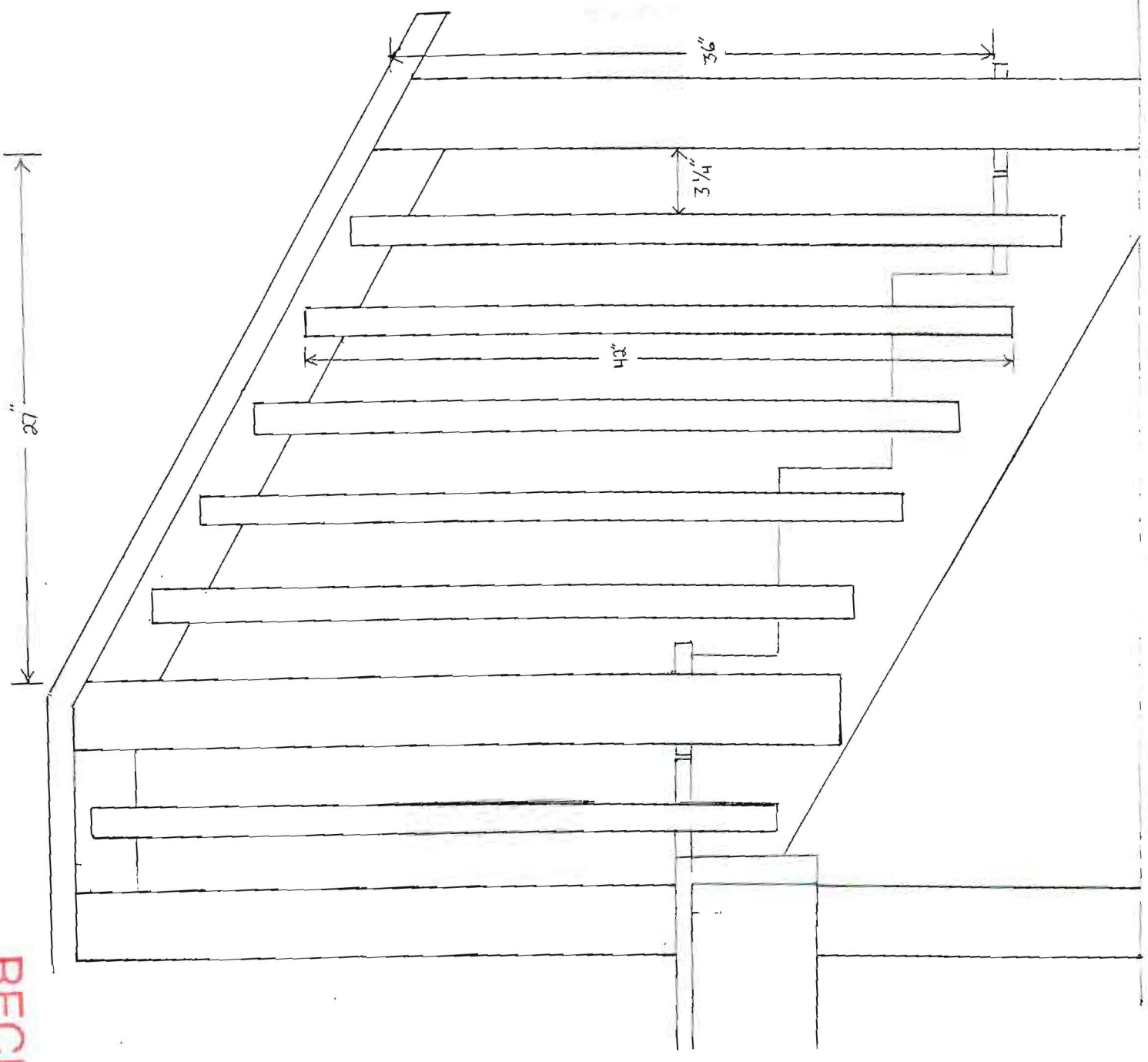
STRINGER DETAIL

STRINGERS: 2x10 P
TREADS: 5/4 P.T.



RAILING DETAIL

RAILINGS: 2x4 P.T.
BALUSTERS: 1 1/2x1 1/2 P.T.



RECEIVED

APR - 2 2010

Dept. of Building Inspections
City of Portland Maine

1" = 40'

N/F
CHEVERUS HIGH SCHOOL

TIDAL POND

BERRY BROOK

MEAN HIGH WATER

TIE LINE N18°15'48"W
1163.69'

WEST ROADWAY

C.M.P. CO. EASEMENT
6727/342

50' WIDE PC
WATER DISTRICT
6459'

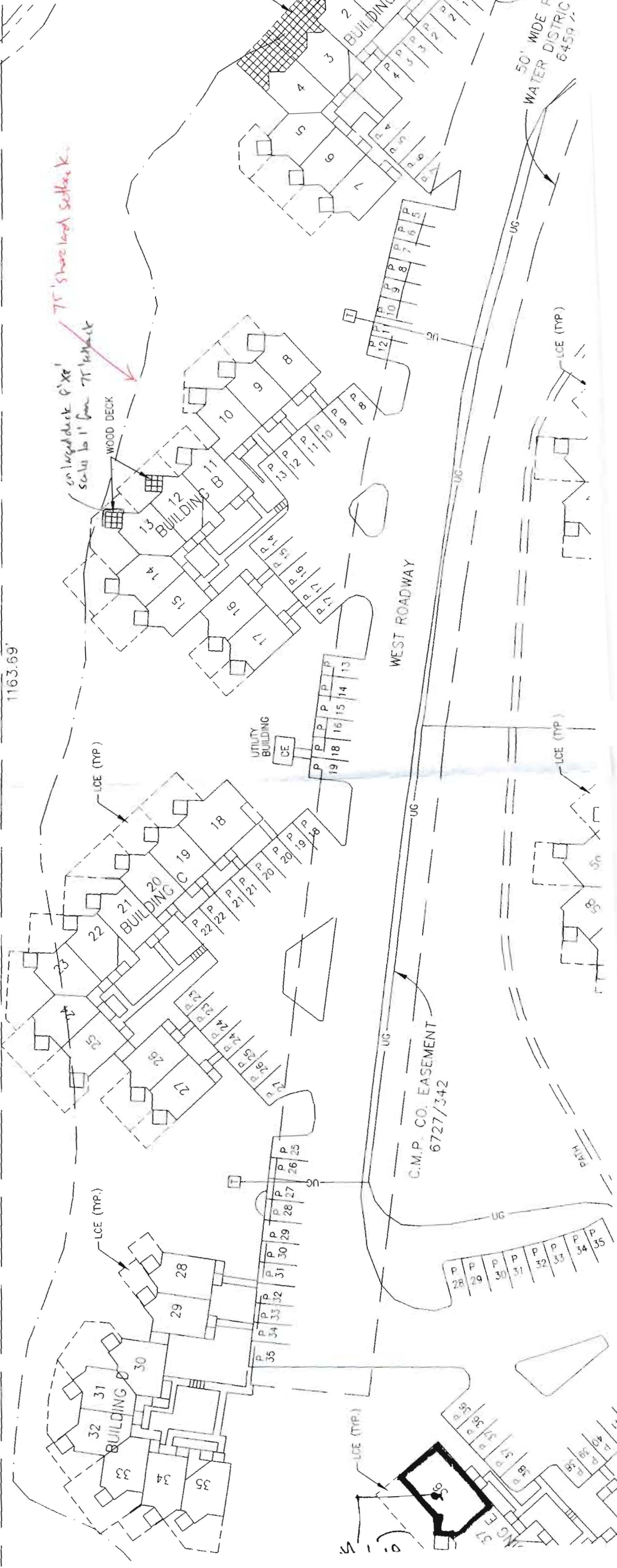
- PROPERTY LINE
- TIE LINE
- === CURB
- CE COMMON ELEMENT
- LCE LIMITED COMMON ELEMENT
- [T] TRANSFORMER
- UG UNDERGROUND POWER, TELEPHONE & CABLE TV.
- [2] LCE PARKING FOR UNIT 2 (TYPICAL)
- P PARKING LIMITED COMMON ELEMENT
- V VISITOR PARKING SPACE

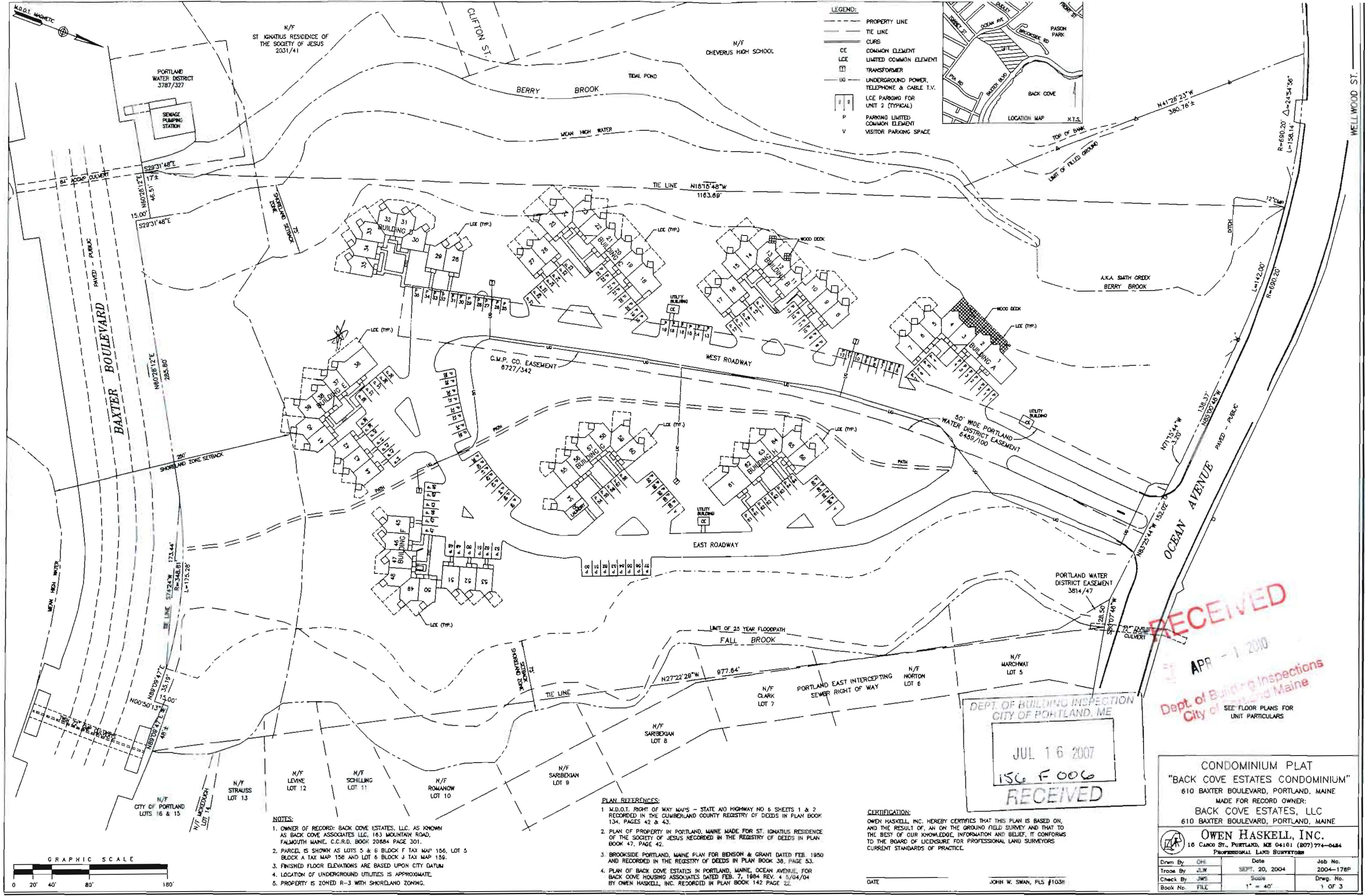
on large deck 6' x 6' scales to 1' from TT's back

TT's Shoreland Section K

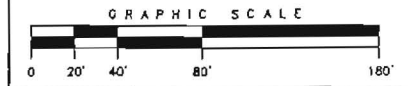
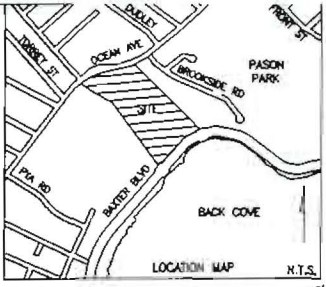
WOOD DECK

UTILITY BUILDING





LEGEND:
 - - - - - PROPERTY LINE
 - - - - - TIE LINE
 - - - - - CURB
 CE COMMON ELEMENT
 LCE LIMITED COMMON ELEMENT
 [] TRANSFORMER
 [] UNDERGROUND POWER, TELEPHONE & CABLE T.V.
 [] LCE PARKING FOR UNIT 2 (TYPICAL)
 P PARKING LIMITED COMMON ELEMENT
 V VISITOR PARKING SPACE



- NOTES:**
1. OWNER OF RECORD: BACK COVE ESTATES, LLC, AS KNOWN AS BACK COVE ASSOCIATES LLC, 163 MOUNTAIN ROAD, FALMOUTH MAINE, C.C.R.D. BOOK 20884 PAGE 301.
 2. PARCEL IS SHOWN AS LOTS 5 & 6 BLOCK F TAX MAP 156, LOT 5 BLOCK A TAX MAP 158 AND LOT 6 BLOCK J TAX MAP 159.
 3. FINISHED FLOOR ELEVATIONS ARE BASED UPON CITY DATUM.
 4. LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE.
 5. PROPERTY IS ZONED R-3 WITH SHORLAND ZONING.

- PLAN REFERENCES:**
1. M.D.O.T. RIGHT OF WAY MAPS - STATE AND HIGHWAY NO 6 SHEETS 1 & 2 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 134, PAGES 42 & 43.
 2. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR ST. IGNATIUS RESIDENCE OF THE SOCIETY OF JESUS RECORDED IN THE REGISTRY OF DEEDS IN PLAN BOOK 47, PAGE 42.
 3. BROOKSIDE PORTLAND, MAINE PLAN FOR BENSON & GRANT DATED FEB. 1950 AND RECORDED IN THE REGISTRY OF DEEDS IN PLAN BOOK 38, PAGE 53.
 4. PLAN OF BACK COVE ESTATES IN PORTLAND, MAINE, OCEAN AVENUE, FOR BACK COVE HOUSING ASSOCIATES DATED FEB. 7, 1984 REV. 4 3/04/04 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 142 PAGE 22.

CERTIFICATION:
 OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JUL 16 2007
 156 F 006
 RECEIVED

RECEIVED
 APR 11 2010
 Dept. of Building Inspections
 City of Portland, Maine
 SEE FLOOR PLANS FOR UNIT PARTICULARS

CONDOMINIUM PLAT
"BACK COVE ESTATES CONDOMINIUM"
 610 BAXTER BOULEVARD, PORTLAND, MAINE
 MADE FOR RECORD OWNER:
 BACK COVE ESTATES, LLC
 610 BAXTER BOULEVARD, PORTLAND, MAINE

OWEN HASKELL, INC.
 16 CAROL ST., PORTLAND, ME 04101 (807) 774-0484
 PROFESSIONAL LAND SURVEYORS

Drawn By: JWS	Date: SEPT. 20, 2004	Job No.: 2004-178P
Trace By: JWS	Scale: 1" = 40'	Drawn No.: 1 OF 3
Check By: JWS		
Book No.: FILE		