

# BACK COVE ESTATES PORTLAND, MAINE Unit 41 Improvements Smith Condominium

L & L STRUCTURAL ENGINEERING SERVICES, INC  
6 Q Street  
South Portland, Maine 04106 207-767-4830

159 Jc (c/o BAKER)  
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAY - 6 2005  
RECEIVED

George A. Schuman ID NUMBER 30067599  
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ARCHITECTURE - CONSTRUCTION MANAGEMENT  
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Shoreline Design Studio,  
I.LC 207-799-0366

No.	Description	Date

Title Sheet  
Project number 20054  
Date 042905

T-1

## DRAWING LIST

Sheet No.	Sheet Name
T-1	Title Sheet
T-2	Drawing List - General Notes
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D-1	Removals Plan - 1 <sup>st</sup> Floor Plan Unit <1
D-2	Removals -2 <sup>nd</sup> Floor
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## GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF IBC/IRC 2003 INTERNATIONAL BUILDING CODE. THE WORK SHALL ALSO CONFORM TO ALL LOCAL, STATE, NATIONAL, NFPA AND OTHER SAFETY CODES AND ORDINANCES WHICH APPLY.
- THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DRAWINGS TO THE ARCHITECT / DESIGNER / CONSTRUCTION MANAGER BEFORE START OF WORK.
- WORK INDICATED ON DRAWINGS IS NEW UNLESS SPECIFIED AS EXISTING.
- THE CONTRACTOR'S WORK PRACTICES, EQUIPMENT AND PERSONNEL PROTECTION MEASURES SHALL CONFORM TO OSHA STANDARDS.
- THE CONTRACTOR SHALL PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN.
- SURFACES INDICATED TO BE PAINTED SHALL BE PREPARED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- ELECTRICAL INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), NFPA AND ALL STATE AND LOCAL CODES.
- ALL EQUIPMENT, MATERIALS, ITEMS AND PRODUCTS ARE TO BE PROVIDED, DELIVERED, STORED, PROTECTED, HANDLED AND INSTALLED IN ACCORDANCE WITH THE LATEST WRITTEN INSTRUCTIONS OF THE MANUFACTURER OR PRODUCER.
- THE WORD "PROVIDE" MEANS THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT TO FURNISH AND INSTALL AND TO COMPLETE AND MAKE FULLY OPERATIONAL.
- COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS.
- ALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE INDICATED.

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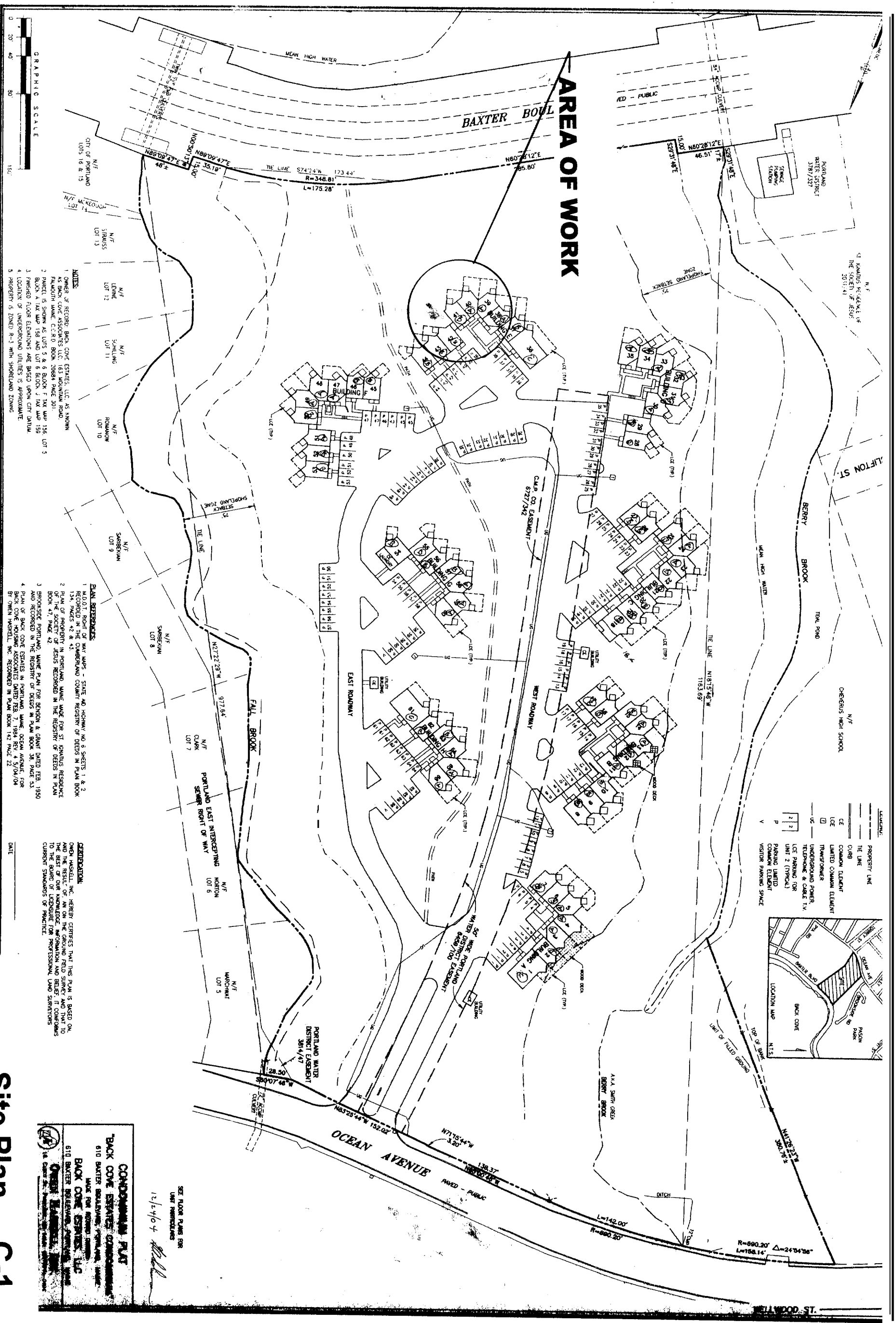
No.	Description	Date

## Drawing List - General Notes

Project number 20054  
Date 050305  
Drawn by George A. Schuman  
Checked by

T-2

# AREA OF WORK



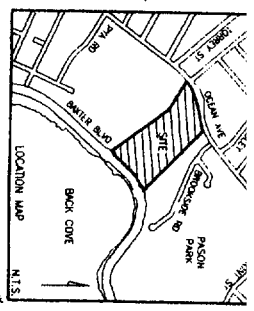
- NOTES:**
1. OWNER OF RECORD: BACK COVE ESTATES, LLC AS ANONYMOUS LIMITED LIABILITY COMPANY, 610 BAXTER BULLWATER, PORTLAND, OREGON 97204. PLANNING NAME: C.C.R.D. BOOK 20884 PAGE 301.
  2. PLOTT IS SHOWN AS LOTS 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
  3. BLOCK A TAX MAP 158 AND LOT 6 BLOCK J TAX MAP 155.
  4. FINISHED FLOOR ELEVATIONS ARE BASED UPON CITY DATUM.
  5. PROPERTY IS ZONED R-3 WITH SHORELAND ZONING.

- PLAN REFERENCES:**
1. M.D.T. RIGHT OF WAY MAP - STATE AND HIGHWAY NO. 3, SHEETS 1, 4, 3, 134, PAGES 42 & 43.
  2. PLAN OF PROPERTY IN PORTLAND, OREGON, MADE FOR ST. GABRIEL'S RESIDENCE OF THE SOCIETY OF JESUS, RECORDED IN THE REGISTER OF DEEDS IN PLAN BOOK 47, PAGE 42.
  3. SHORESIDE PORTLAND, WASHINGTON PLAN FOR BENSON & GRANT DATED FEB. 1950 AND RECORDED IN THE REGISTER OF DEEDS IN PLAN BOOK 38, PAGE 53.
  4. PLAN OF BACK COVE ESTATES IN PORTLAND, OREGON, MADE BY OCEAN AVENUE, FOR BACK COVE HOUSING ASSOCIATES DATED FEB. 7, 1984 REV. 4/5/04/04 BY OWEN HASWELL, INC. RECORDED IN PLAN BOOK 142 PAGE 22.

**CERTIFICATION:**  
 OWEN HASWELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON AND THE RESULT OF AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT COMFORMS TO THE CURRENT STANDARDS OF PROFESSIONAL LAND SURVEYING CURRENT STANDARDS OF PRACTICE.

DATE: \_\_\_\_\_

- LEGEND:**
- PROPERTY LINE
  - THE LINE
  - COMMON ELEMENT
  - LIMITED COMMON ELEMENT
  - TRANSFER
  - UNDERGROUND POWER, TELEPHONE & CABLE TV
  - LOE PARKING FOR UNIT 2 (TYPICAL)
  - PARKING LIMITED COMMON ELEMENT VISITOR PARKING SPACE



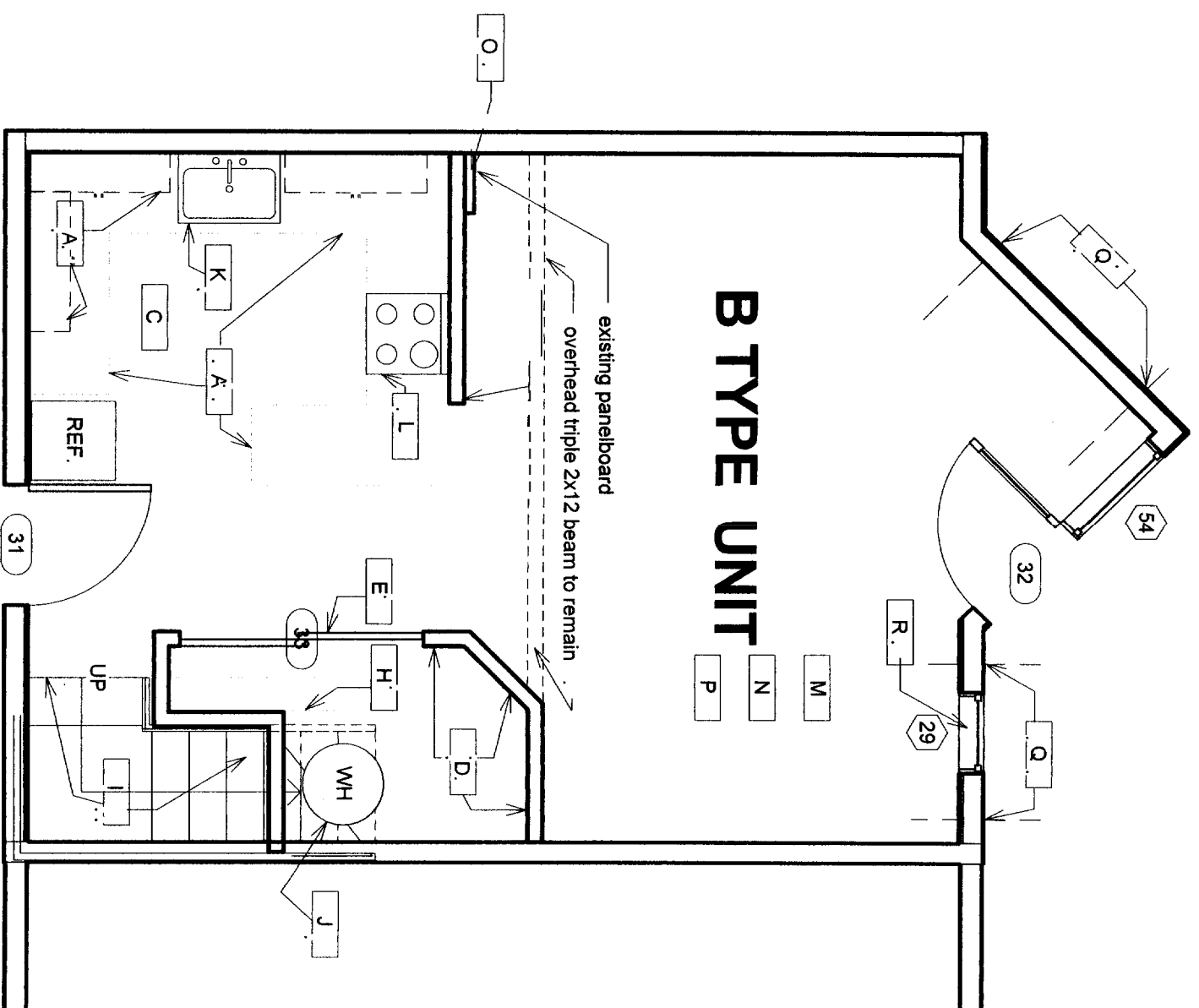
**CONDOMINIUM PLAN**  
**BACK COVE ESTATES CONDOMINIUMS**  
 610 BAXTER BULLWATER, PORTLAND, OREGON  
 MADE FOR RECORD BY:  
**BACK COVE ESTATES, LLC**  
 610 BAXTER BULLWATER, PORTLAND, OREGON  
 OWEN HASWELL, INC.  
 14. Carter St., Portland, Oregon 97204

SEE FLOOR PLANS FOR UNIT NUMBERS  
 12/24/04

## Site Plan C-1

# REMOVALS KEYNOTES

- REMOVE EXISTING WALL & BASE CABINETS, COUNTERS & ASSOCIATED TRIM & BRACING. PATCH DAMAGED GYP BR WALLS AS REQUIRED. PREPARE FOR KITCHEN CABINETS AND COUNTERS. COORDINATE WITH A-1, AR-1 THRU AR-5.
- REMOVE EXISTING CARPET. COORDINATE WITH DRAWING A-1. PREPARE FLOOR FOR NEW CARPET. COORD. WITH DRAWING A-1, A-2 & A-12.
- REMOVE EXISTING COMPOSITION FLOOR TILE & PREPARE FOR INSTALLATION OF CERAMIC FLOOR TILE. COORD WITH DRAWING A-1, A-2 & A-12.
- REMOVE EXISTING WOOD STUD & GYPSUM BOARD PARTITION & ASSOCIATED BRACING.
- REMOVE EXISTING WOOD DOOR & TRIM.
- REMOVE EXISTING WOOD WALL BASE.
- REMOVE EXISTING GYPSUM BOARD CEILING AS REQUIRED. COORD. WITH DRAWING A-1 & E-1.
- REMOVE EXISTING SHELVES
- REMOVE EXISTING STAIR TREADS & RISERS STRINGERS & ASSOCIATED BRACING.
- REMOVE EXISTING WATER HEATER
- REMOVE EXISTING SINK.
- REMOVE EXISTING STOVE / RANGE.
- REMOVE EXISTING WALL RECEPTACLES, LIGHT SWITCHES & ASSOCIATED WIRING. COORD WITH DRAWING A-1 & E-1.
- REMOVE EXISTING LIGHTING FIXTURES. SEE A-1 & E-1.
- REMOVE EXISTING PANELBOARD. PROTECT & STORE FOR REINSTALLATION. COORD WITH DRAWING A-1 & E-1.
- REMOVE EXISTING ELECTRIC HEATING BASE UNITS. STORE AND PROTECT FOR REINSTALLATION. SEE DRAWING E-1.
- REMOVE PORTION OF 2X6 EXTERIOR WALL. PREPARE FOR 2X8 HEADER & WINDOW INSTALLATION.
- REMOVE EXISTING WINDOW.



1 First Floor  
1/4" = 1'-0"

## EXISTING

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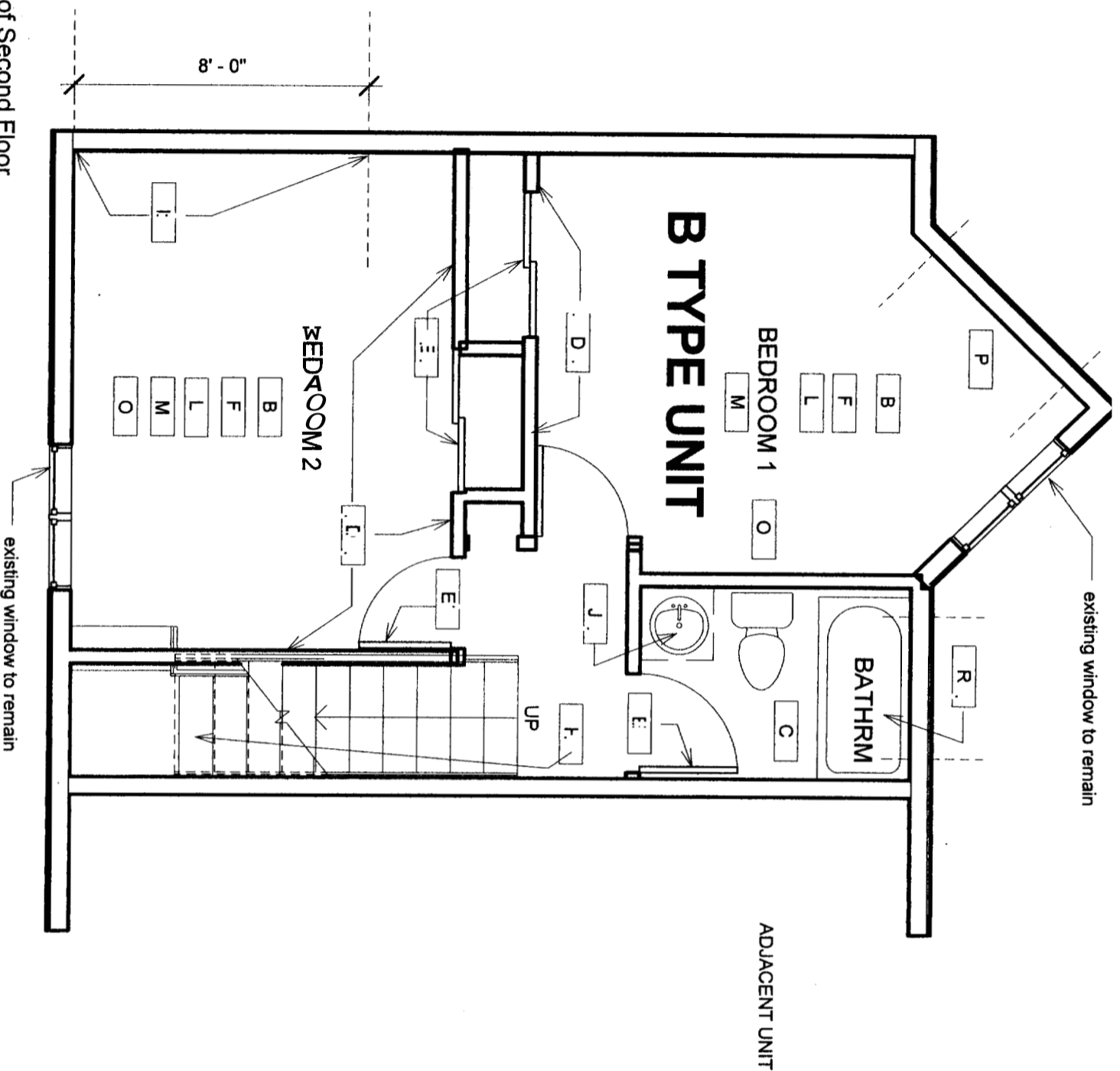
No.	Description	Date

Removals Plan - 1st Floor Unit41	
Project number	20054
Date	050305
Drawn by	George A. Schuman
Checked by	Checker
Scale	D-1

# REMOVALS KEYNOTES

- A NOT USED
- B REMOVE EXISTING CARPET. PREPARE FLOOR FOR NEW CARPET. COORD WITH DRAWINGS A-2 & A-12.
- C REMOVE EXISTING COMPOSITION FLOOR TILE & PREPARE FOR INSTALLATION OF CERAMIC FLOOR TILE. COORD WITH DRAWING A-2 & A-12.
- D REMOVE EXISTING WOOD STUD & GYPSUM BOARD PARTITION WALL & ASSOCIATED BRACING.
- E REMOVE EXISTING WOOD DOOR & TRIM
- F REMOVE EXISTING WOOD WALL BASE
- G REMOVE EXISTING SHELVES
- H REMOVE EXISTING STAIR TREADS, RISERS, STRINGERS & ASSOCIATED BRACING.
- I REMOVE EXIST. 2X6 EXT. WALL. SEE A-2 & A-12 FOR LIMIT
- J REMOVE EXISTING SINK.
- K NOT USED
- L REMOVE EXISTING WALLRECEPTACLES, LIGHT SWITCHES & ASSOCIATED WIRING. COORD WITH A-2 & E-1.
- M REMOVE EXISTING LIGHTING FIXTURES. SEE C-2 & C-12 NOT USED
- N NOT USED
- O REMOVE EXISTING ELECTRIC HEATING BASE UNITS. PROTECT & STORE FOR REINSTALLATION. SEE DRAWING E-1.
- P REMOVE PORTION OF EXISTING 2X6 EXTERIOR WALL. PREPARE FOR 2X8 HEADER & NEW WINDOW INSTALLATION.
- Q REMOVE EXISTING TOILET
- R REMOVE EXISTING TUB / SHOWER

1 Copy of Second Floor  
 1/4" = 1'-0"  
**EXISTING**

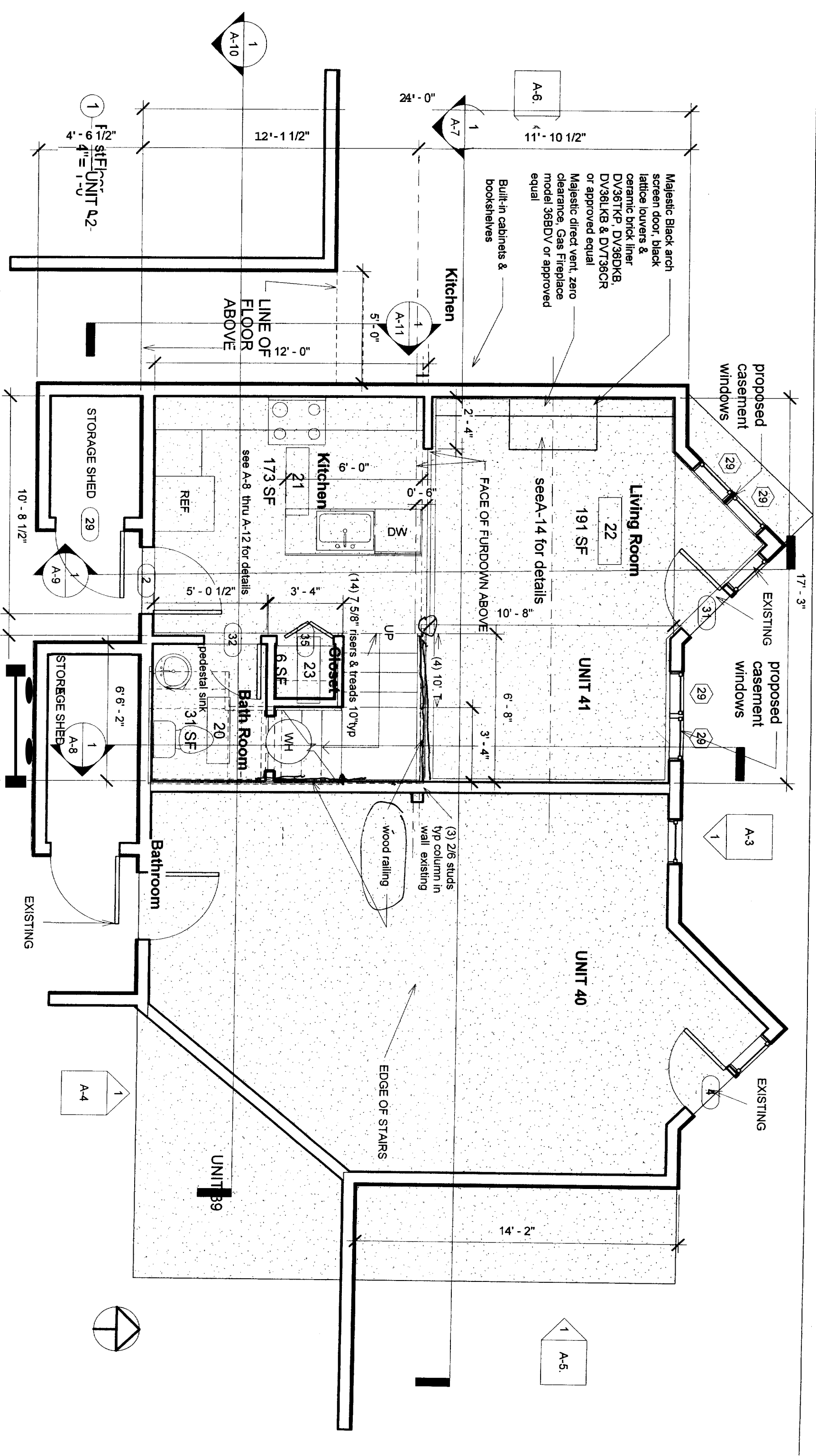


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No.	Description	Date

Removals - 2nd Floor		dlam
Project number	20054	D-2
Date	050305	
Drawn by	George A. Schuman	



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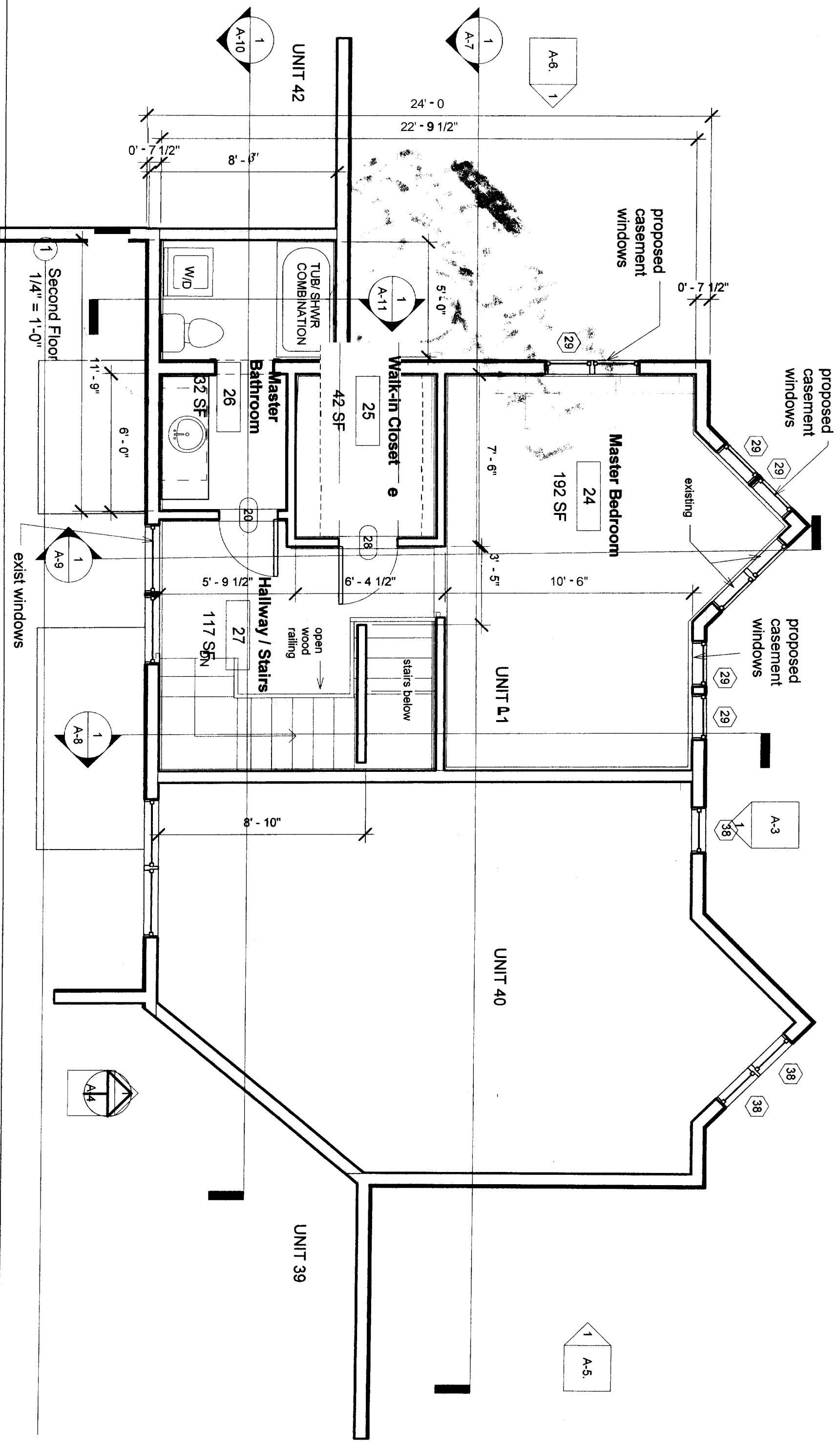
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No.	Description	Date

**First Floor Plan - Unit 41**

Project number 20054  
 Date 050305  
 Drawn by gas  
 Checked by Checker

**A-1**  
 Scale 1/4" = 1'-0"



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No.	Description	Date

<b>Second Floor Plan - Unit A1</b>	
Project number	20054
Date	050305
Drawn by	George Schuman
Checked by	Checker
Scale 1/4" = 1'-0"	

9-2

PROJECT LIMITS

UNIT 39

UNIT 40

UNIT 41

UNIT 42

EXISTING ASPHALT SHINGLE ROOF TYP

Roof  
181'-0"

PROPOSED CLAPBOARD  
EXISTING CLAPBOARD SIDING  
MASTER BATHROOM EXTENSION

NIC.

PROPOSED

EXISTING

PROPOSED

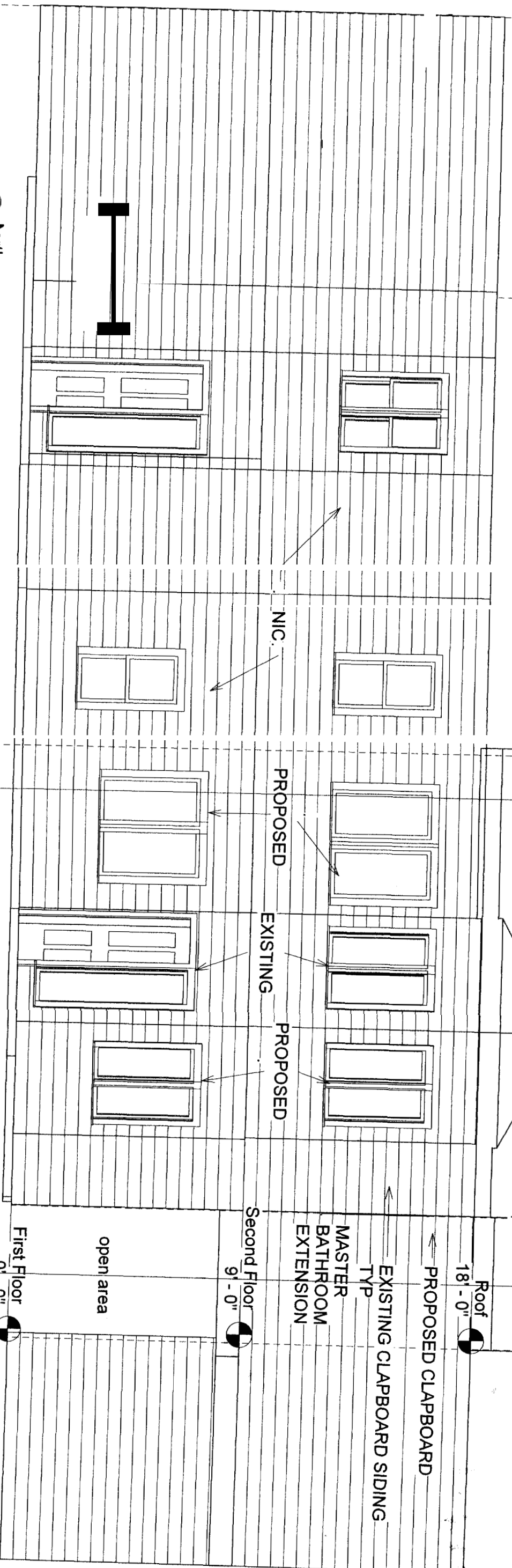
Second Floor  
91'-0"

First Floor  
0'-0"

Foundation  
-3'-6"

open area

1 North  
1/4" = 1'-0"



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No.	Description	Date

North Elevation Unit 41

Project number 20054  
Date 050305  
Drawn by Author  
Checked by Checker

A-3

Scale 1/4" = 1'-0"

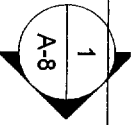


UNIT 42

UNIT 41

UNIT 40

UNIT 39



EXISTING ASPHALT SHINGLES TYP

ADJACENT UNIT

MASTER BATH EXTENSION

open area

EXISTING WINDOWS

EXISTING DOOR

NIC

1 South  
1/4" = 1'-0"

PROJECT LIMITS:

Roof  
18' - 0"

Second Floor  
9' - 0"

First Floor  
0' - 0"

Foundation  
-3' - 6"

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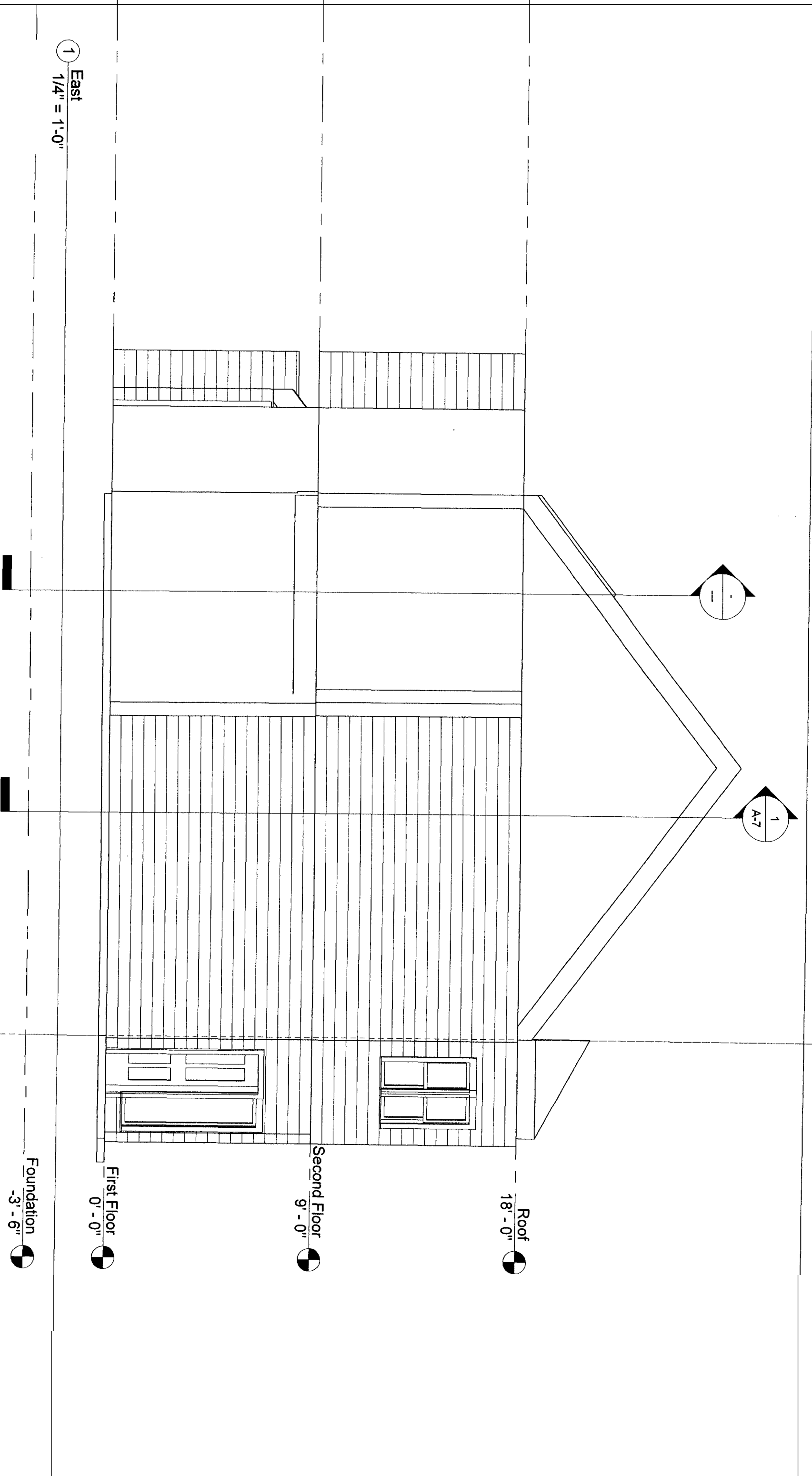
South Elevation Unit 41


Project number 20054  
Date 050305  
Drawn by George Schuman  
Checked by Checker

A-4

Scale 1/4" = 1'-0"

No.	Description	Date



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No.	Description	Date

**East Elevation - UNIT 41**

Project number 20054  
 Date 050305  
 Drawn by Author  
 Checked by Checker

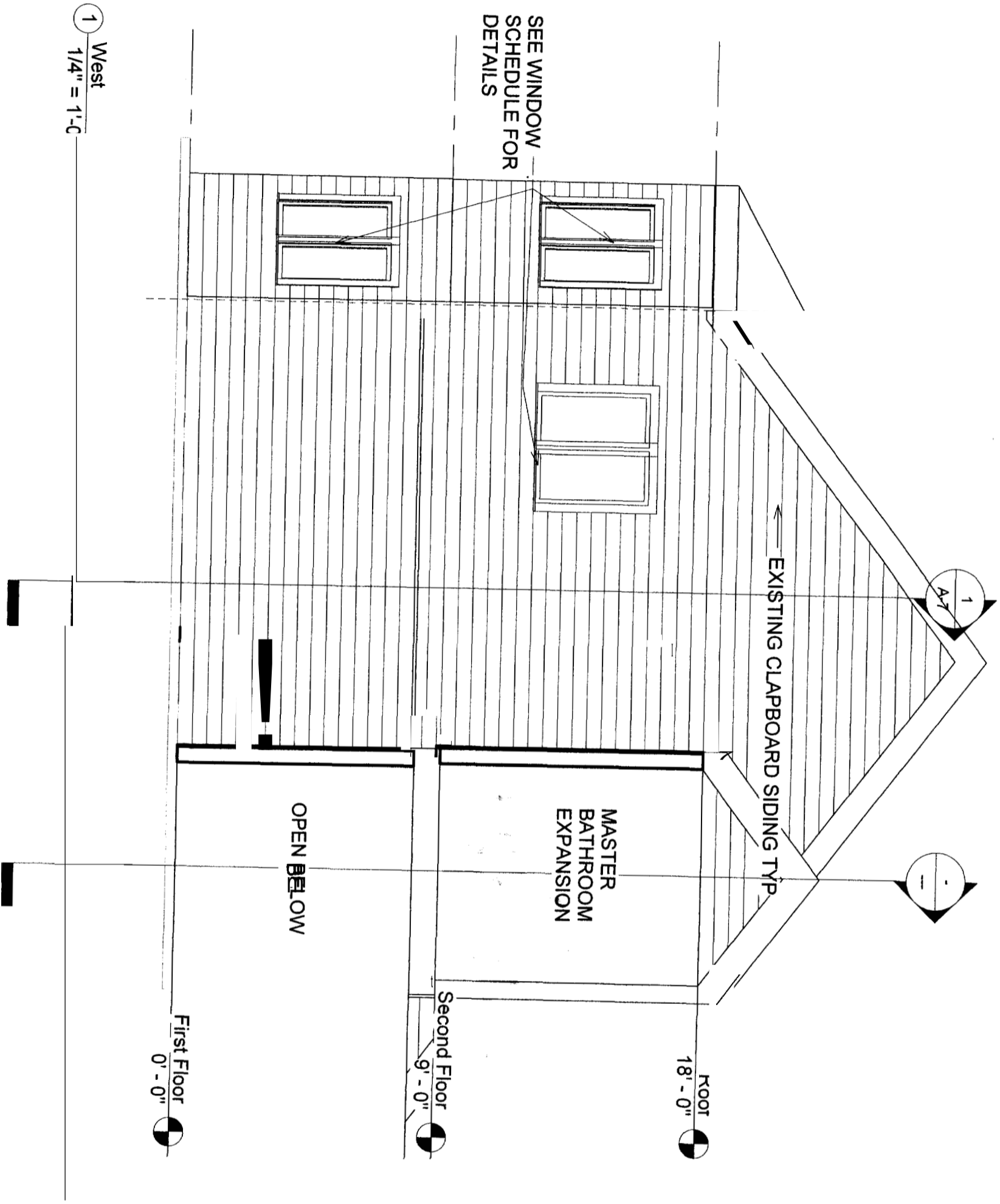
**A-5.**

Scale 1/4" = 1'-0"

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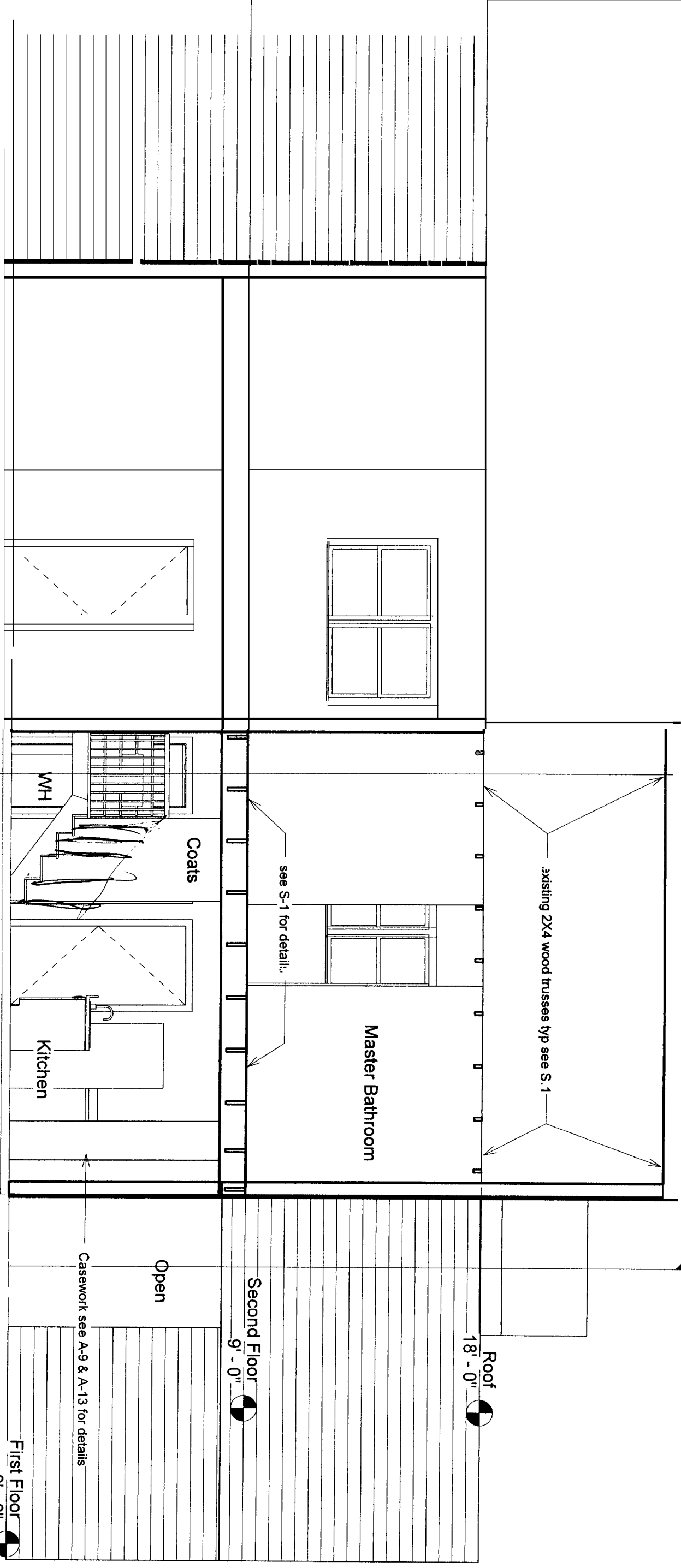
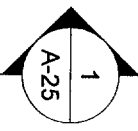
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No.	Description	Date

<b>West Elevation - Unit 41</b>	
Project number	20054
Date	050305
Drawn by	gas
Checked by	Checker
Scale 1/4" = 1'-0"	

A-6



Indication  
-3' - 6"

1 Section 1  
1/4" = 1'-0"

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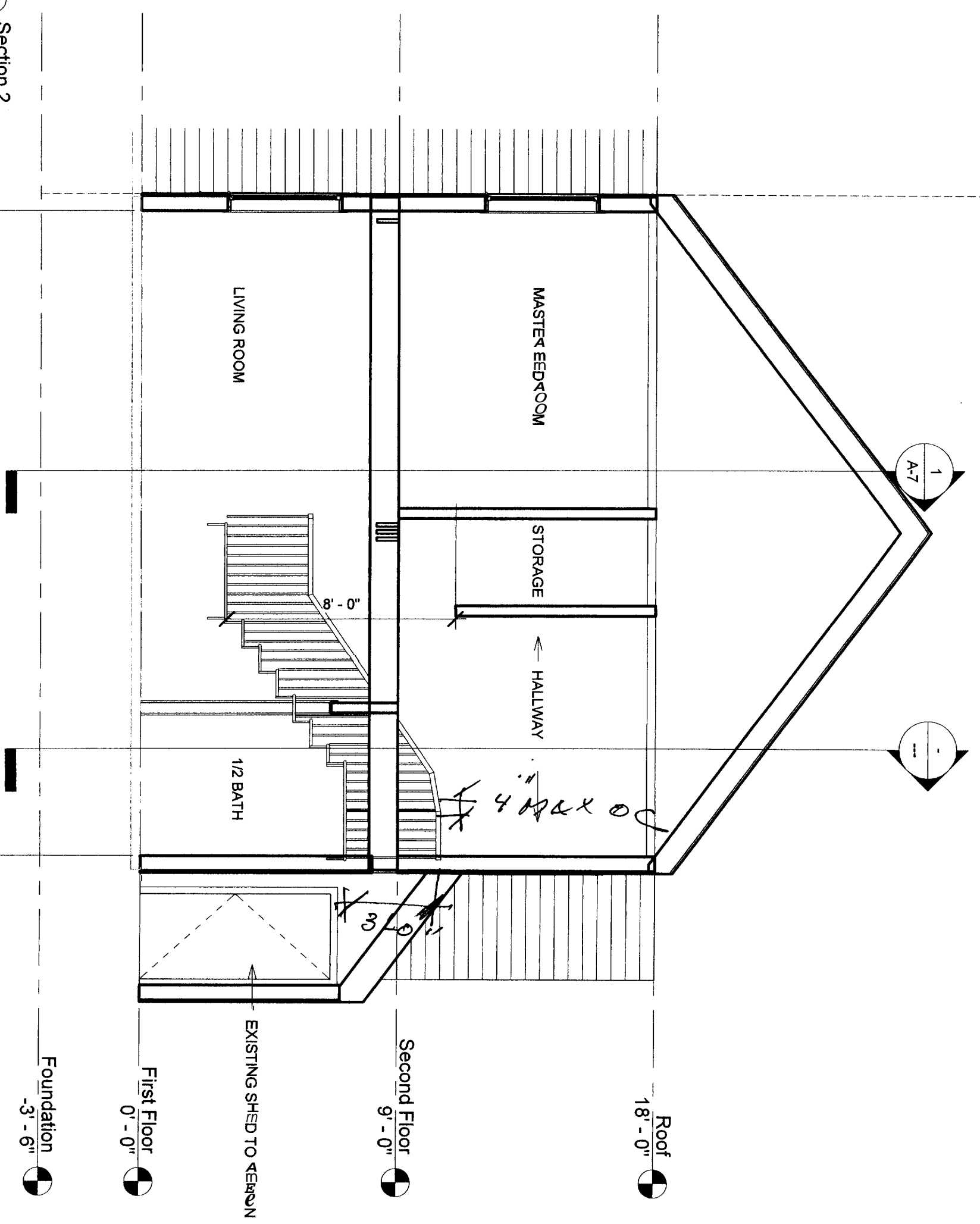
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LLC 207-799-0366

No.	Description	Date

Section 1 Unit 41  
Project number 20054  
Date 050305  
Drawn by gas  
Checked by Checker  
Scale 1/4" = 1'-0"

A-7

1 Section 2  
1/4" = 1'-0"



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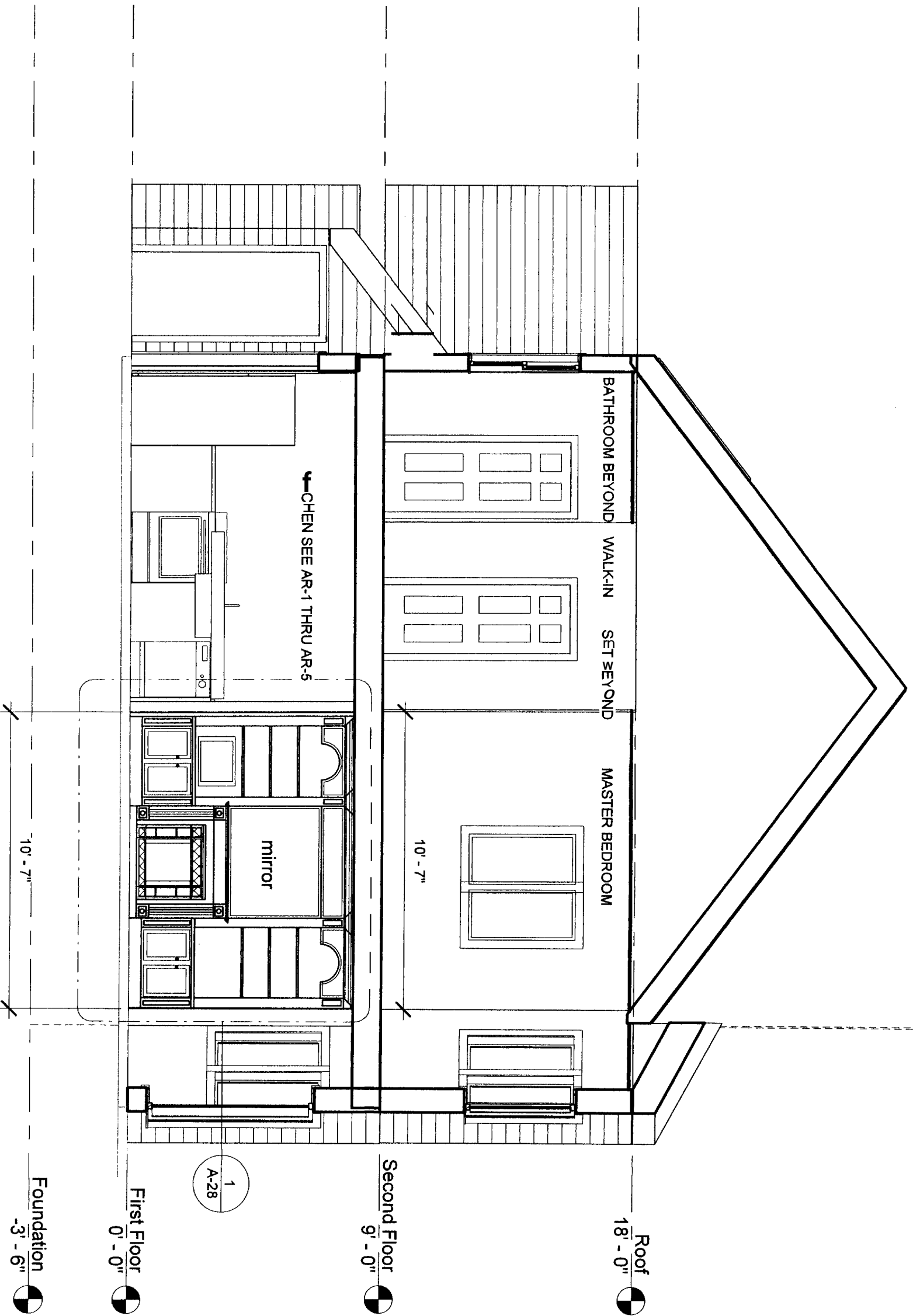
Shoreline Design Studio,  
22'-8 1/2"

WWW.:

No.	Description	Date
X		

<b>Section 2 - Unit 41</b>	
Project number	20054
Date	050305
Drawn by	George Schuman
Checked by	Checker

A-8



1 Section 3  
1/4" = 1'-0"

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No.	Description	Date

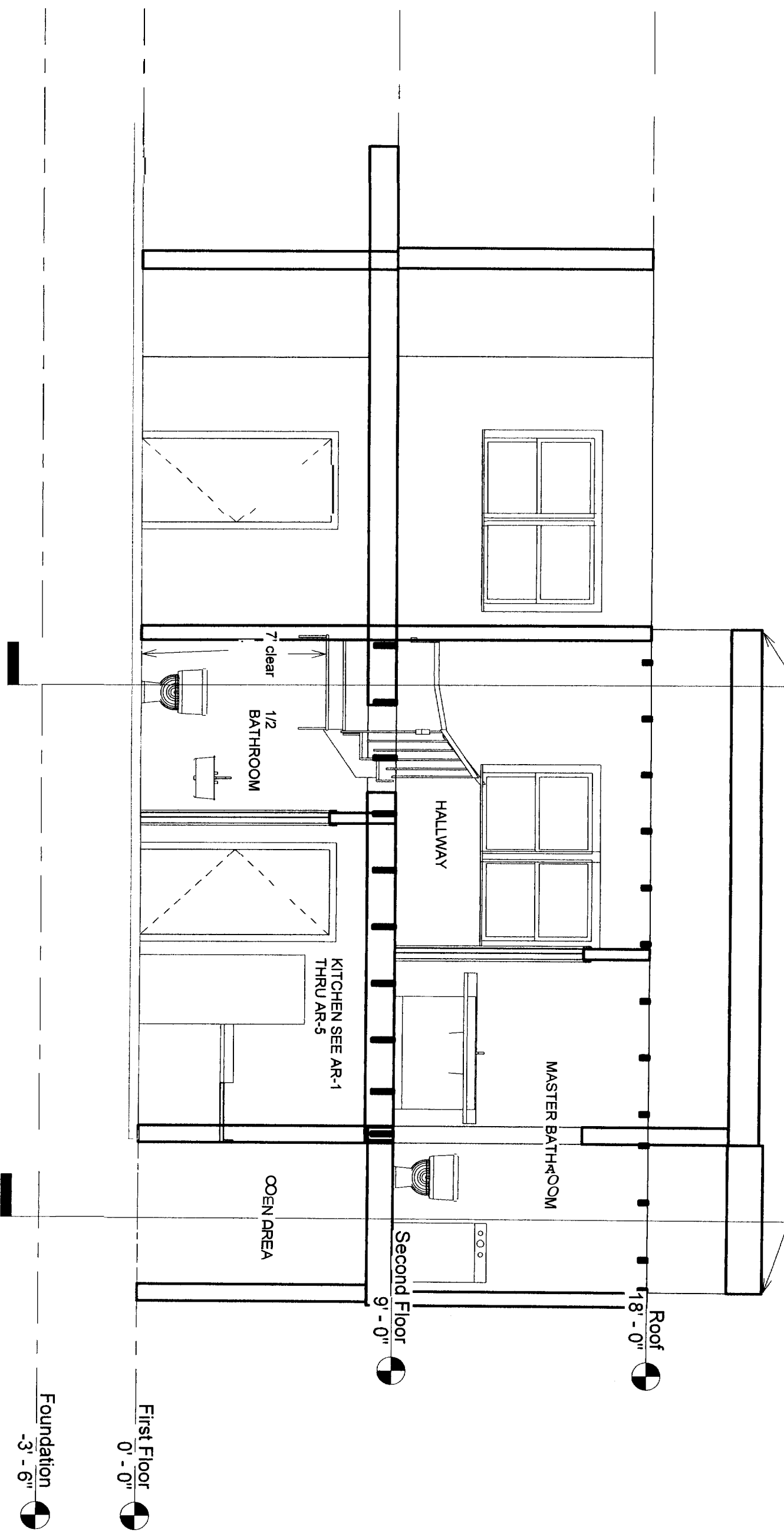
Section 3 - Unit 41

Project number 20054  
Date 050305  
Drawn by Author

1  
A-8

1  
A-11

PROJECT LIMITS



1 Section 4  
1/4" = 1'-0"

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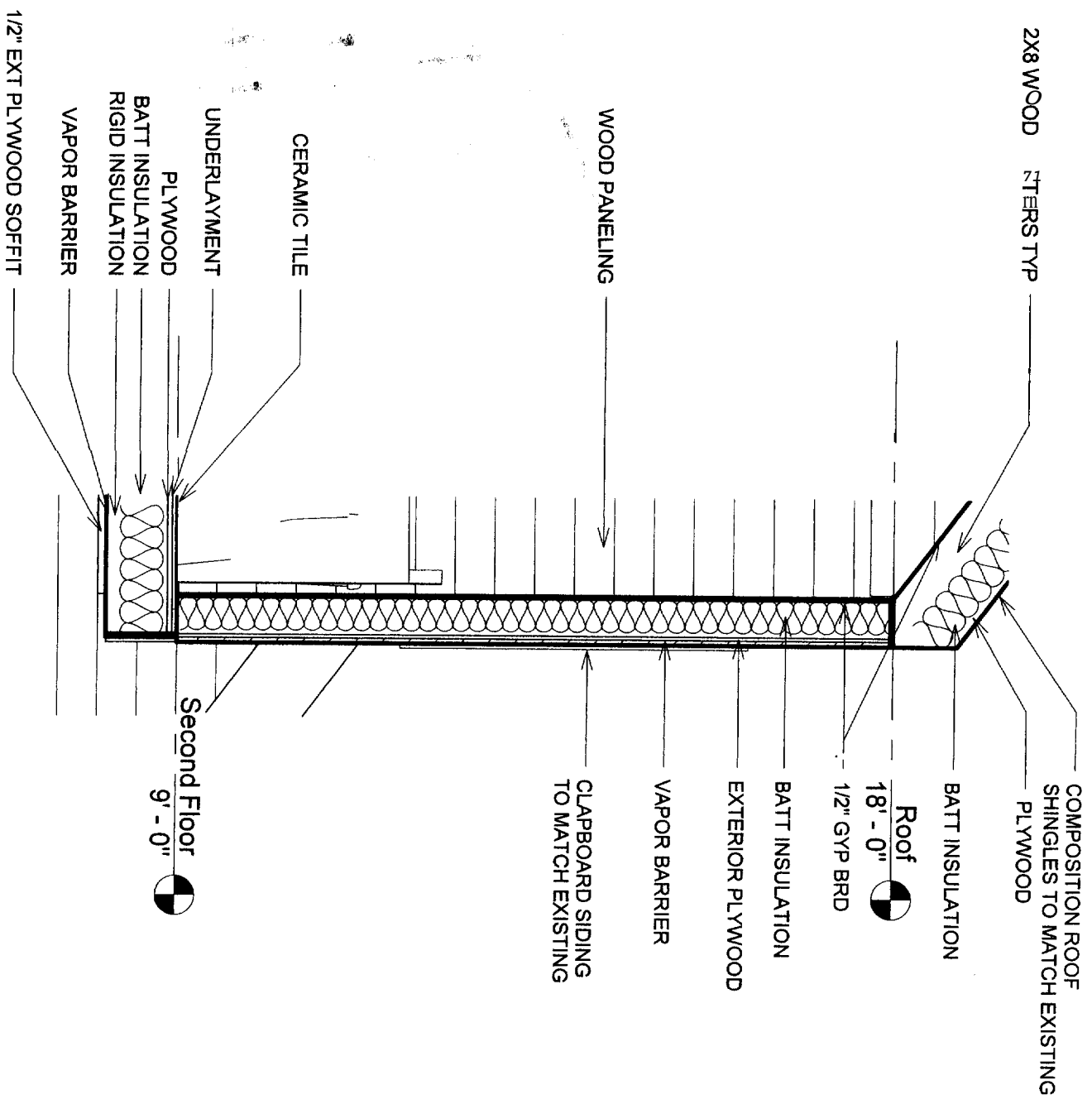
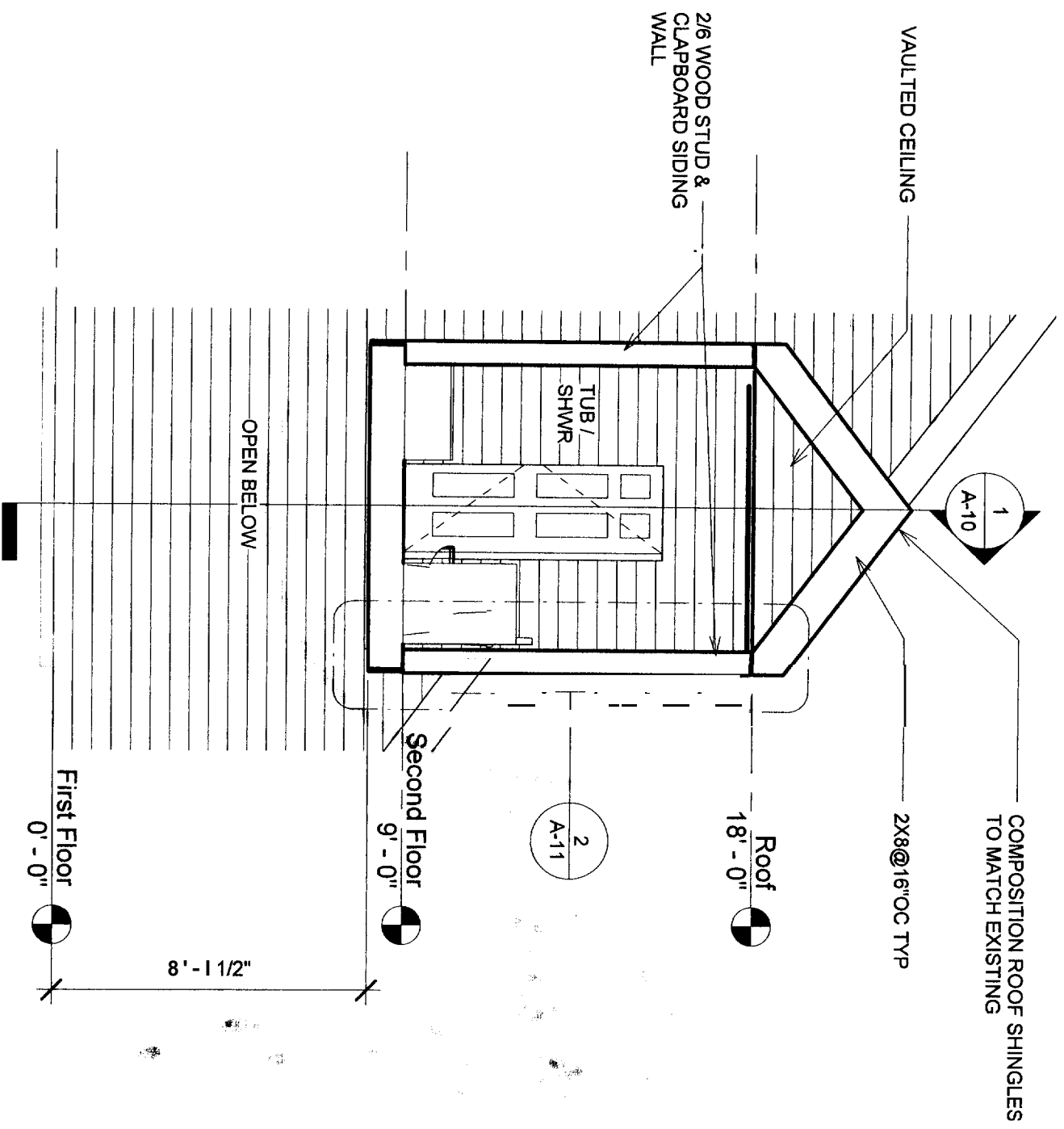
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No.	Description	Date

**Section A - Unit 41**

Project number 20054  
Date 050305  
Drawn by gas  
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**A-10**



**WALL SECTION A**

1/2" = 1'-0"

1 Section 5  
1/4" = 1'-0"

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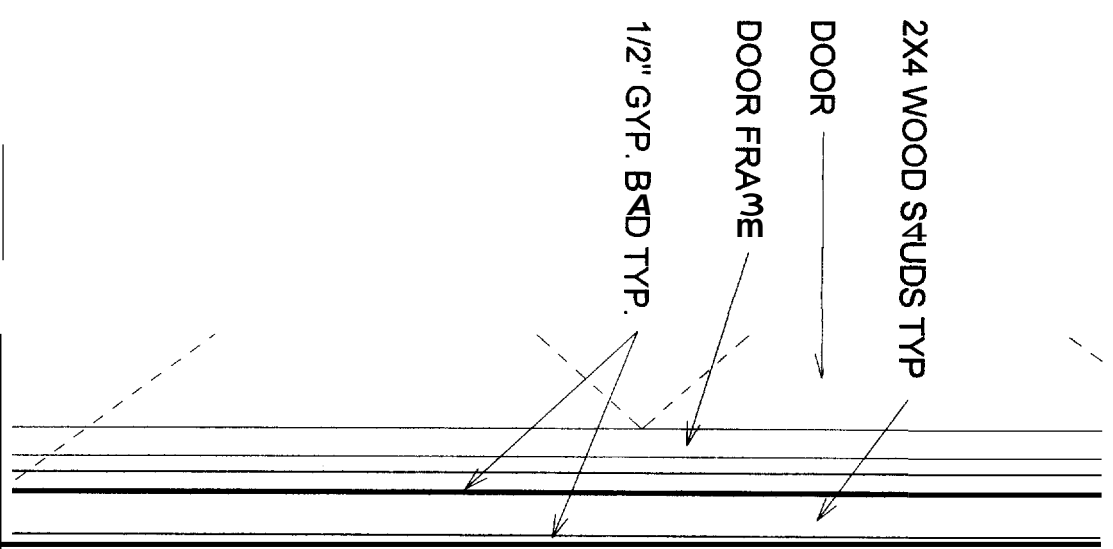
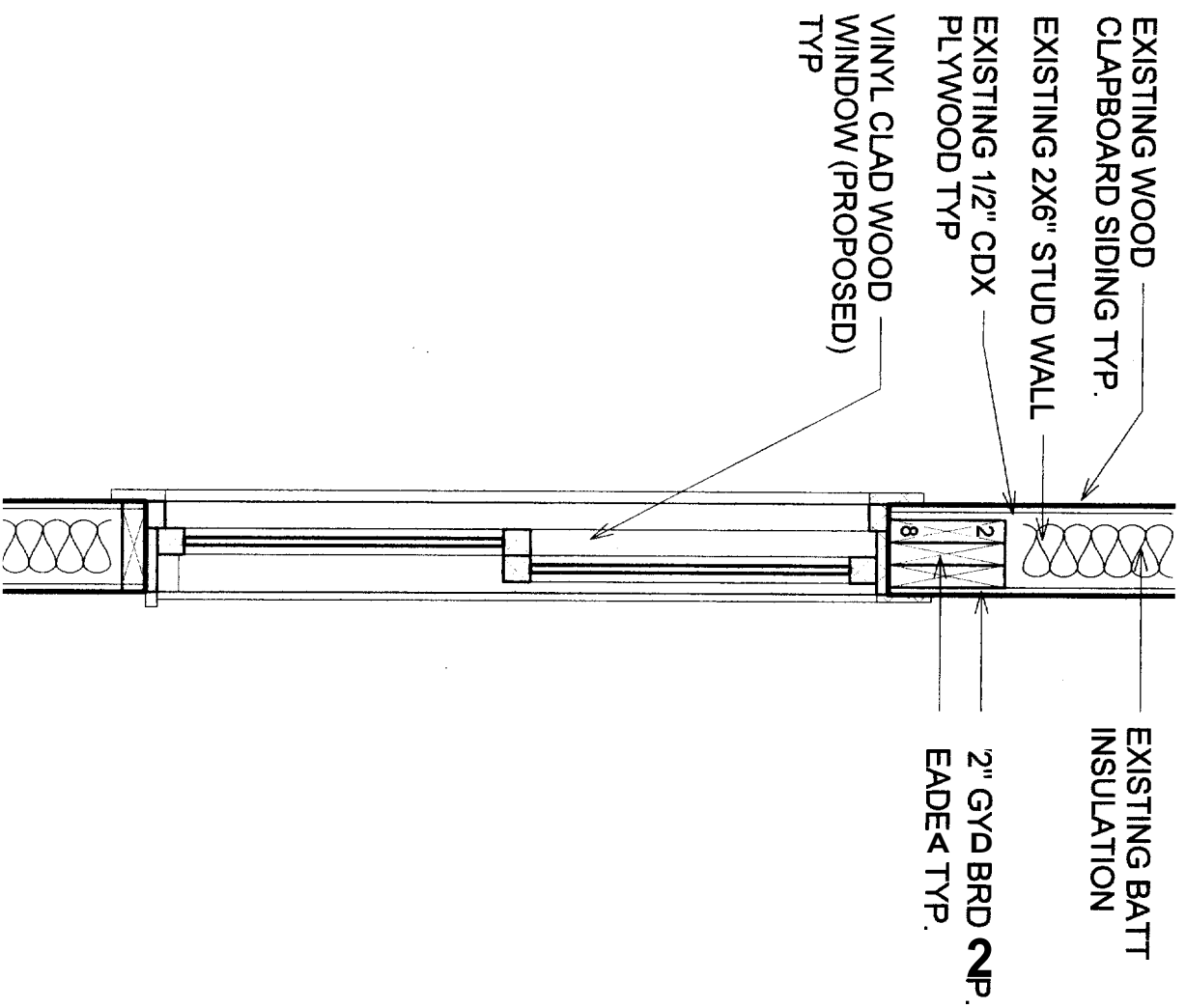
No.	Description	Date

**Section 5 & Wall Section A**

Project number	20054
Date	050305
Drawn by	Author
Checked by	Checker

A-11





**TYP. 6" EXTERIOR WALL & WINDOW**

**TYP. 4 1/2" INTERIOR PARTITION**

2 Callout of Section 1  
1" = 1'-0"

1 Callout (2) of Section 1  
1" = 1'-0"

Second Floor  
9'-0"

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No.	Description	Date

<b>Wall Sections - Unit A1</b>	
Project number	20053
Date	042805
Drawn by	George Schuman
Checked by	Checker

A-12.

Room Number	Room Name	Room Finish Schedule					Comments
		Floor	Base	Wall	Ceiling		

21	Kitchen	CT	TBD	PTD	PTD	
22	Living Room	CPT	PTD	PTD	PTD	
23	Closet	CPT	PTD	PTD	PTD	
24	Master Bedroom	CPT	4TD	PTD	4TD	
25	Walk-in Closet	CPT	4TD	4TD	4TD	
26	Master Bathroom	CPT	PTD	PTD	PTD	VAULTED CLG
27	Hallway / Stairs	CPT	PTD	PTD	PTD	

Type Mark	Rough Opening		Manufacturer	Model	Material	Finish	Comments
	Width	Height					

29	4' - 0"	4' - 0"	ANDERSON	CW48LR			
----	---------	---------	----------	--------	--	--	--

Window Schedule

Door Schedule

Door Number	Door Type	Door Size	Manufacturer	Fire Rating	Description	Finish		
						Door	Frame	Comments
2	39	36" x 80"		-	SHED	PTD	PTD	EXISTING
20	174	30" x 80"			6 PANEL	PTD	PTD	
28	174	30" x 80"			6 PANEL	PTD	PTD	
29	39	36" x 80"		-	SHED	PTD	PTD	EXISTING
31	146	30" x 80"			EGRESS	PTD	PTD	
32	38	30" x 80"			6 PANEL	PTD	PTD	
35	64	30" x 80"			BI-FOLD	PTD	PTD	

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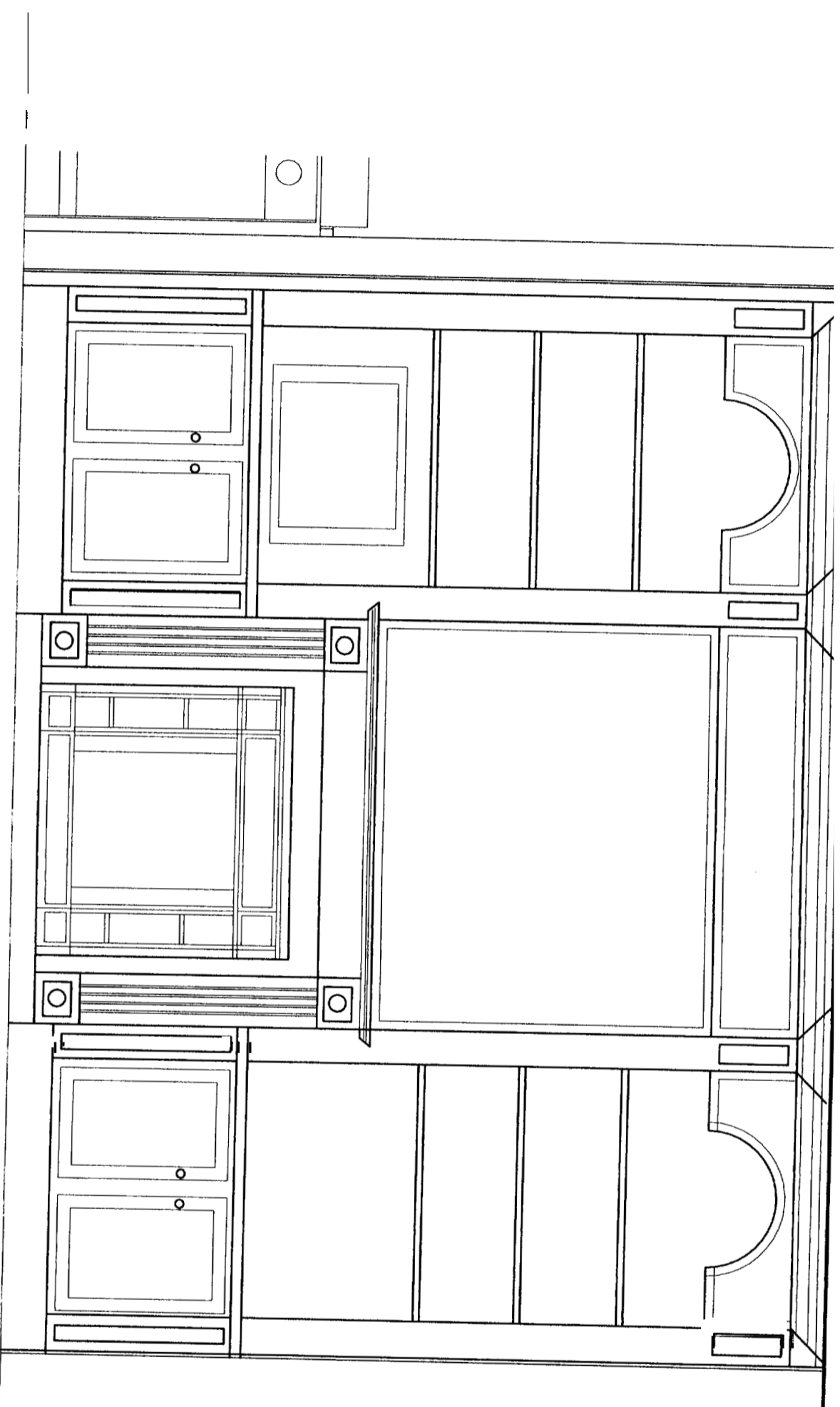
Window, Door & Finish Schedules

No. Description Date  
 Project number 20054  
 Date 050305  
 Drawn by Author

A-13

JUU

U



3/4"=1'-0"

First Floor  
0' - 0"

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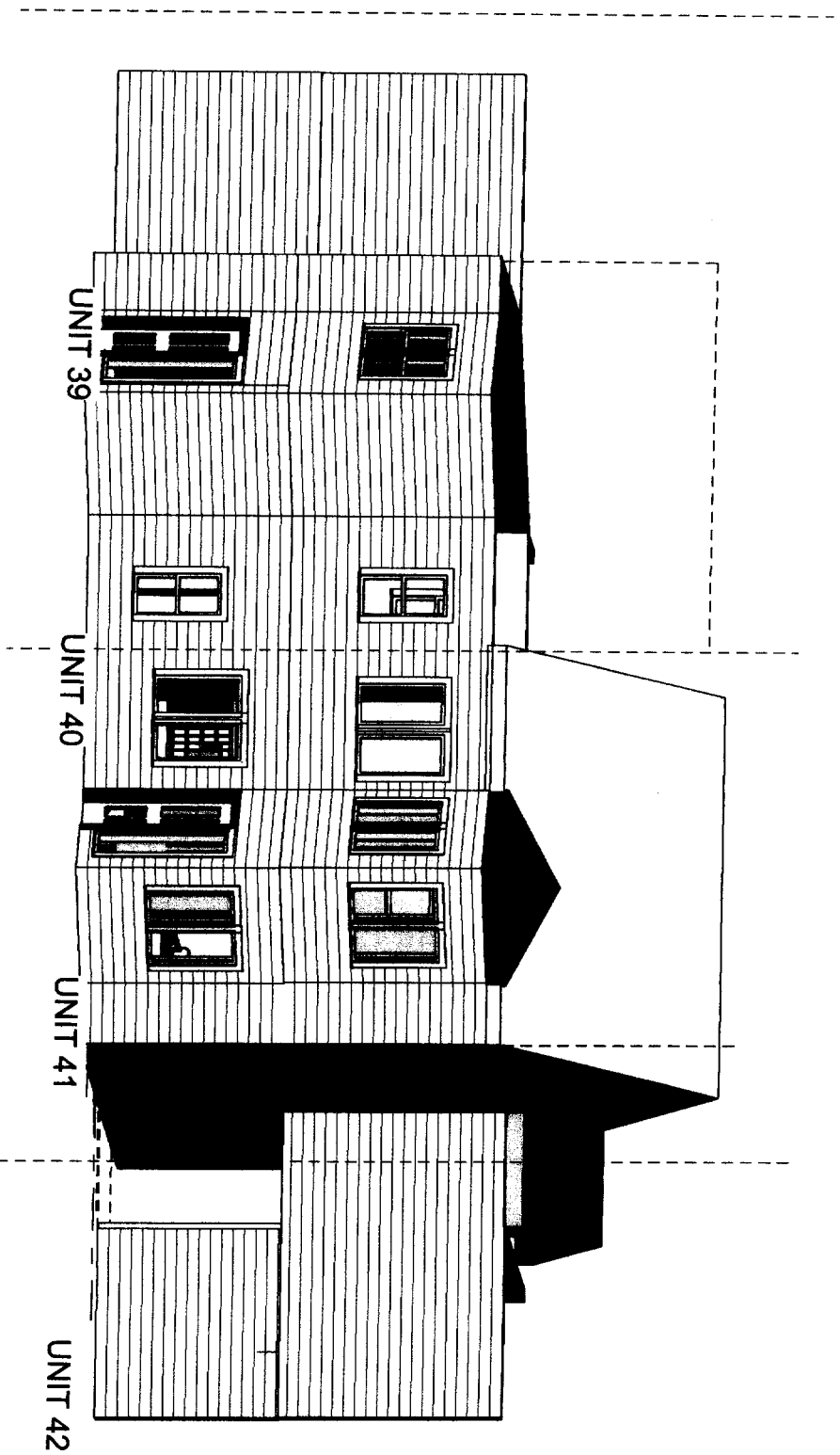
Description	Date

Interior Elevation - Living Room

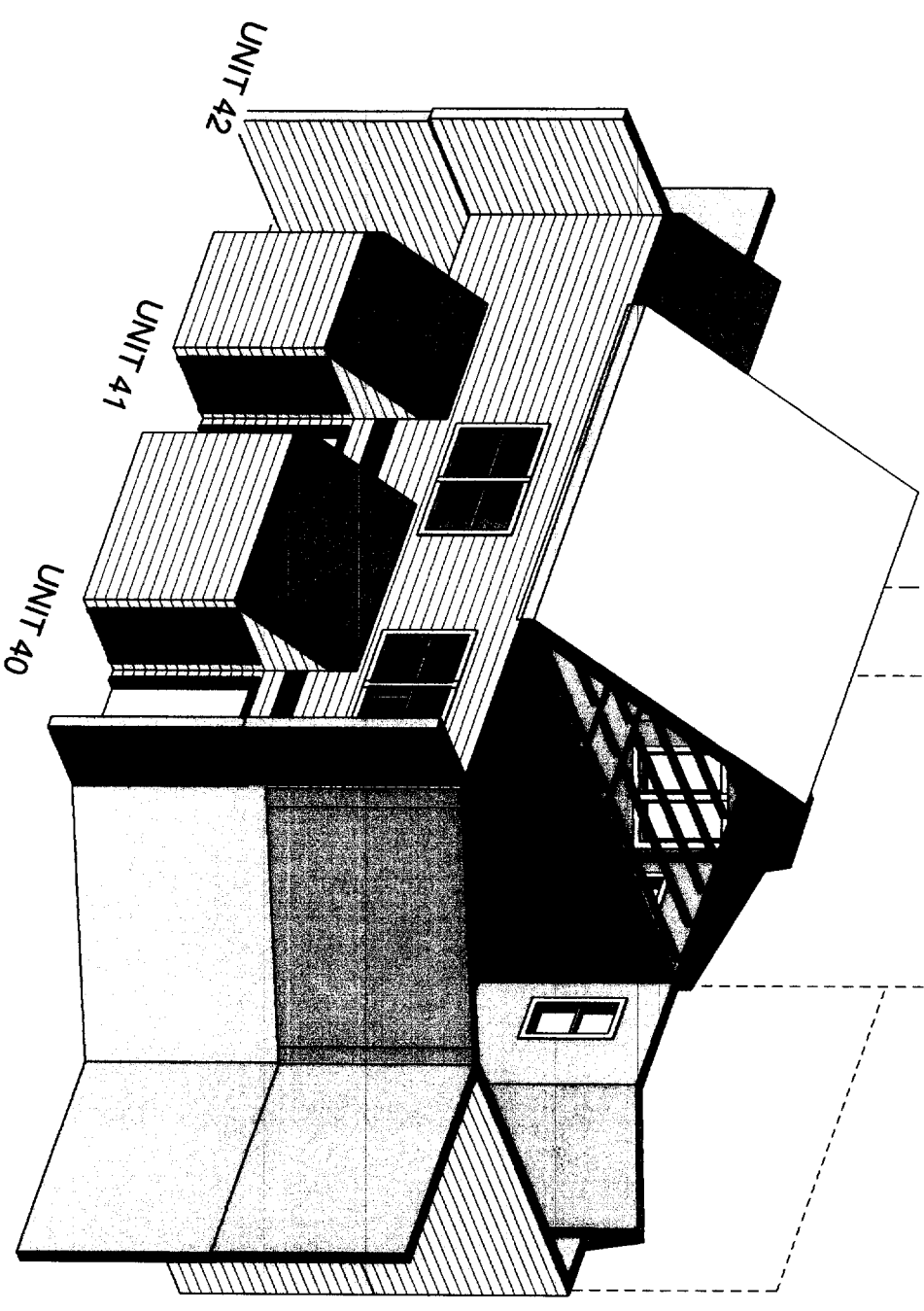
Project number 20054  
 Date 050305  
 Drawn by Author  
 Checked by Checker

A-14

Scale 3/4" = 1'-0"



① Copy of 3D View 4 - Unit 41



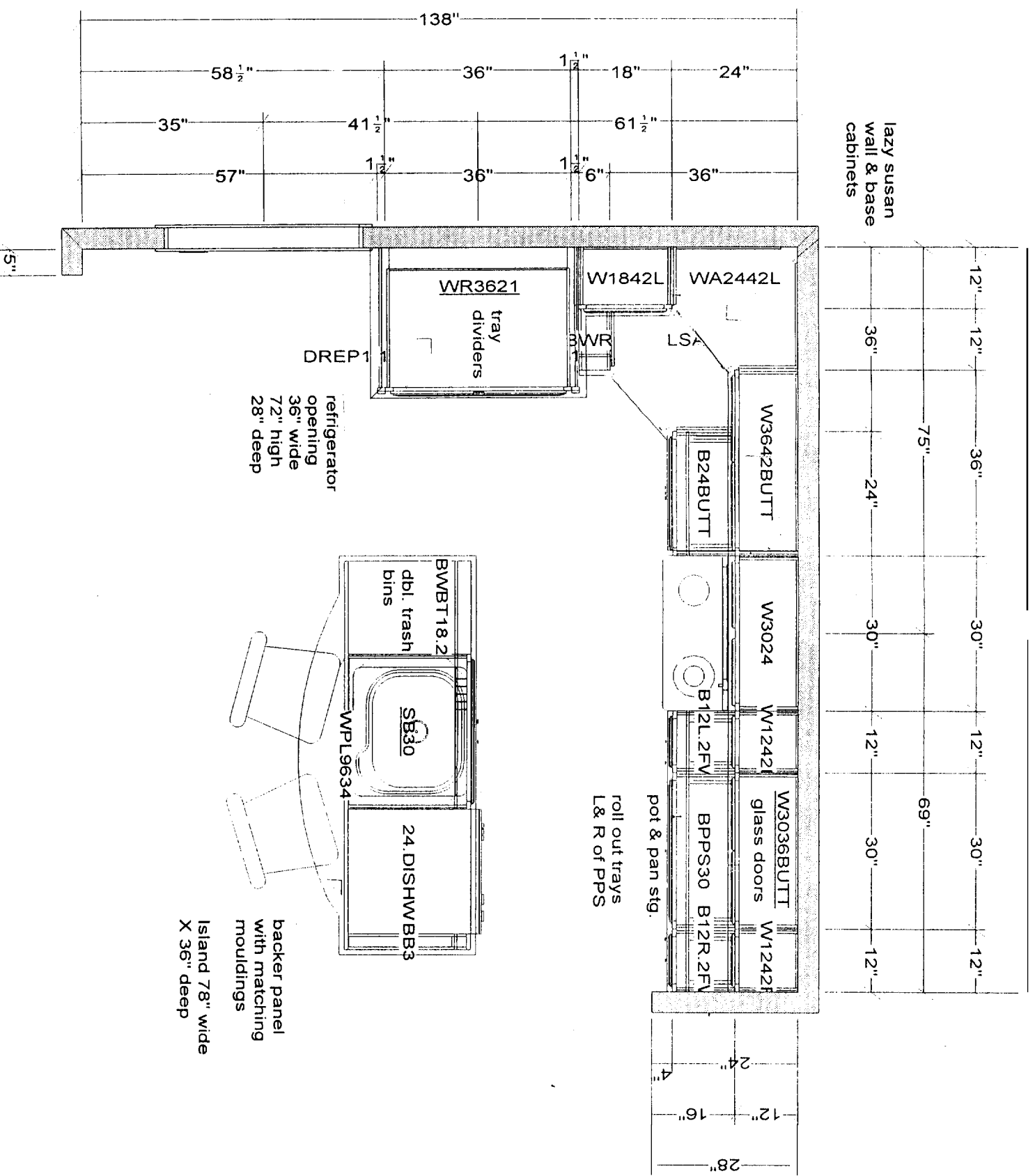
② 3D View 2 - Unit 41

GEORGE A SCHUMAN ID NUMBER 30067599  
 Associate Member American Institute of Architects  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT  
 www.autodesk.com/revit

**Shoreline Design Studio,**  
**LLC 207-799-0366**

No.	Description	Date

<b>3D Views 1 &amp; 2 - Unit 41</b>	
Project number	20054
Date	050305
Drawn by	Author
Checked by	Checker
Scale	<b>A-15</b>



All dimensions, size designations given are subject to verification on job site and adjustment to fit job conditions.

**2020** TECHNOLOGIES

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 3/24/2005  
Printed: 3/24/2005

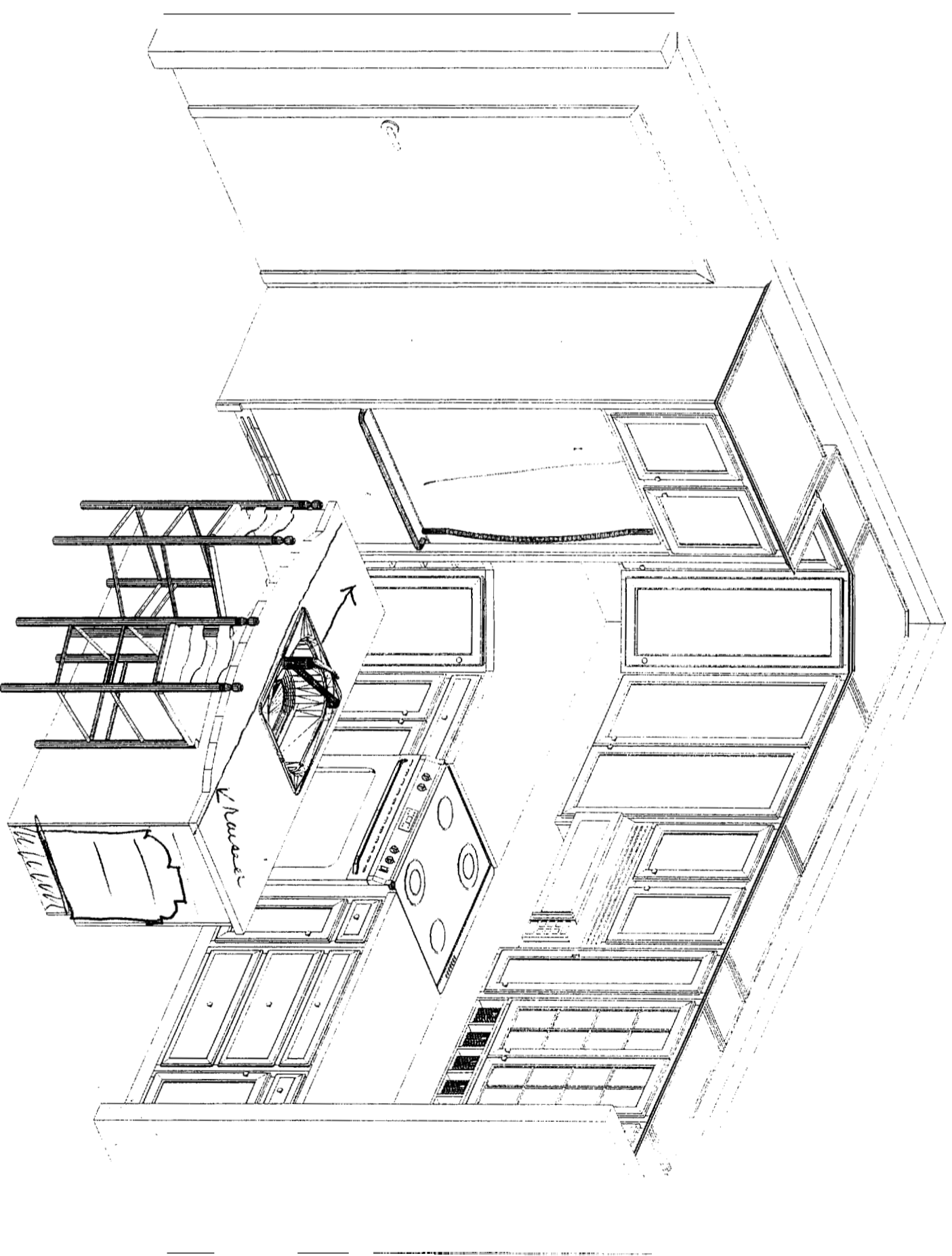
# Kitchen Plan - Unit 41

## AR-1

Smith, Bob Marty 32105

All

Drawing #: 1



Note: This drawing is an artistic interpretation of the general appearance of the design.



Designed: 3/24/2005  
Printed: 3/24/2005

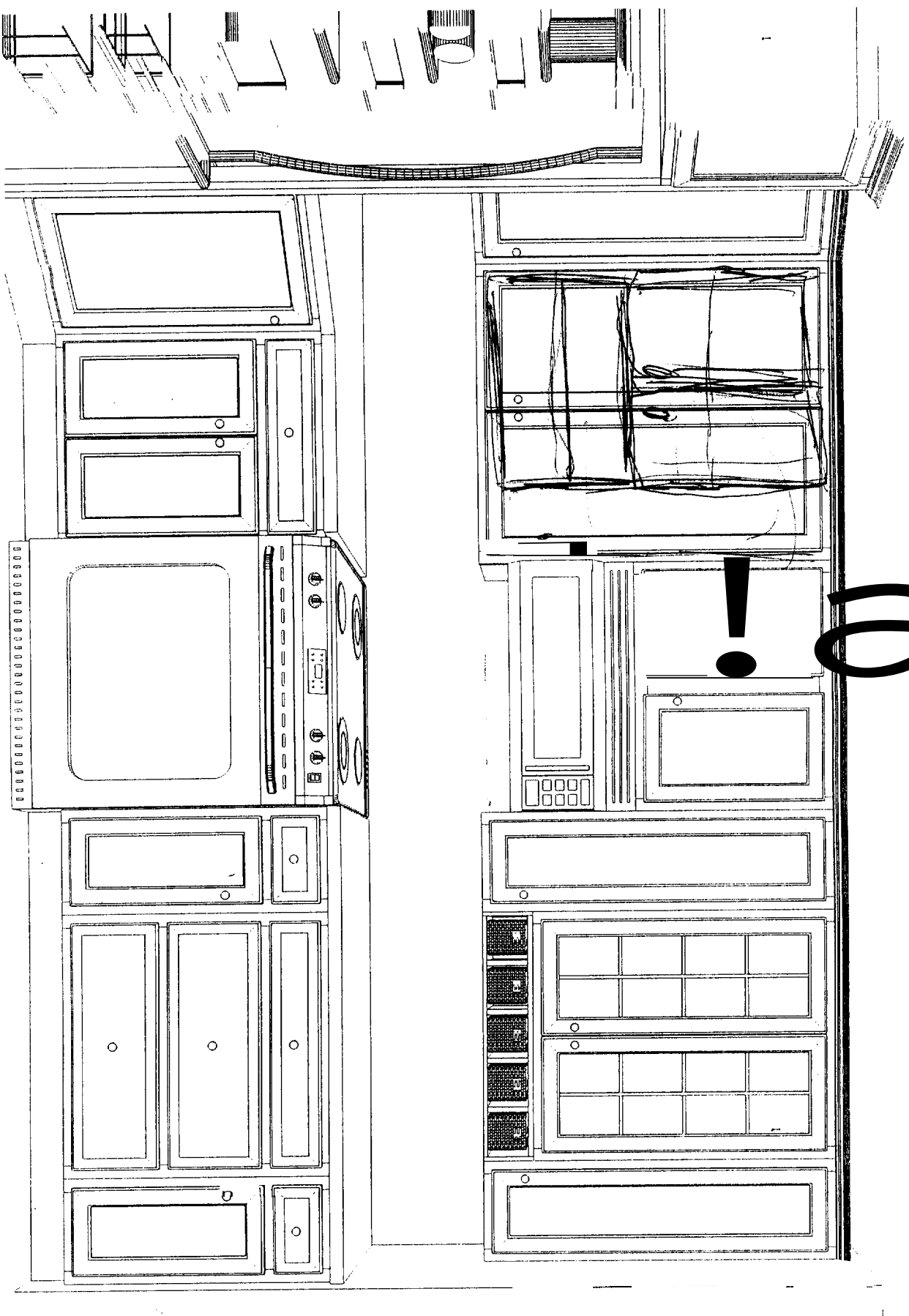
# Kitchen Axonometric View - Unit 41

## AR-2

Smith, Bob Marty 32105

Smith, Bob Marty 32105

Drawing #: 1



3

Note: This drawing is an artistic interpretation of the general appearance of the design.



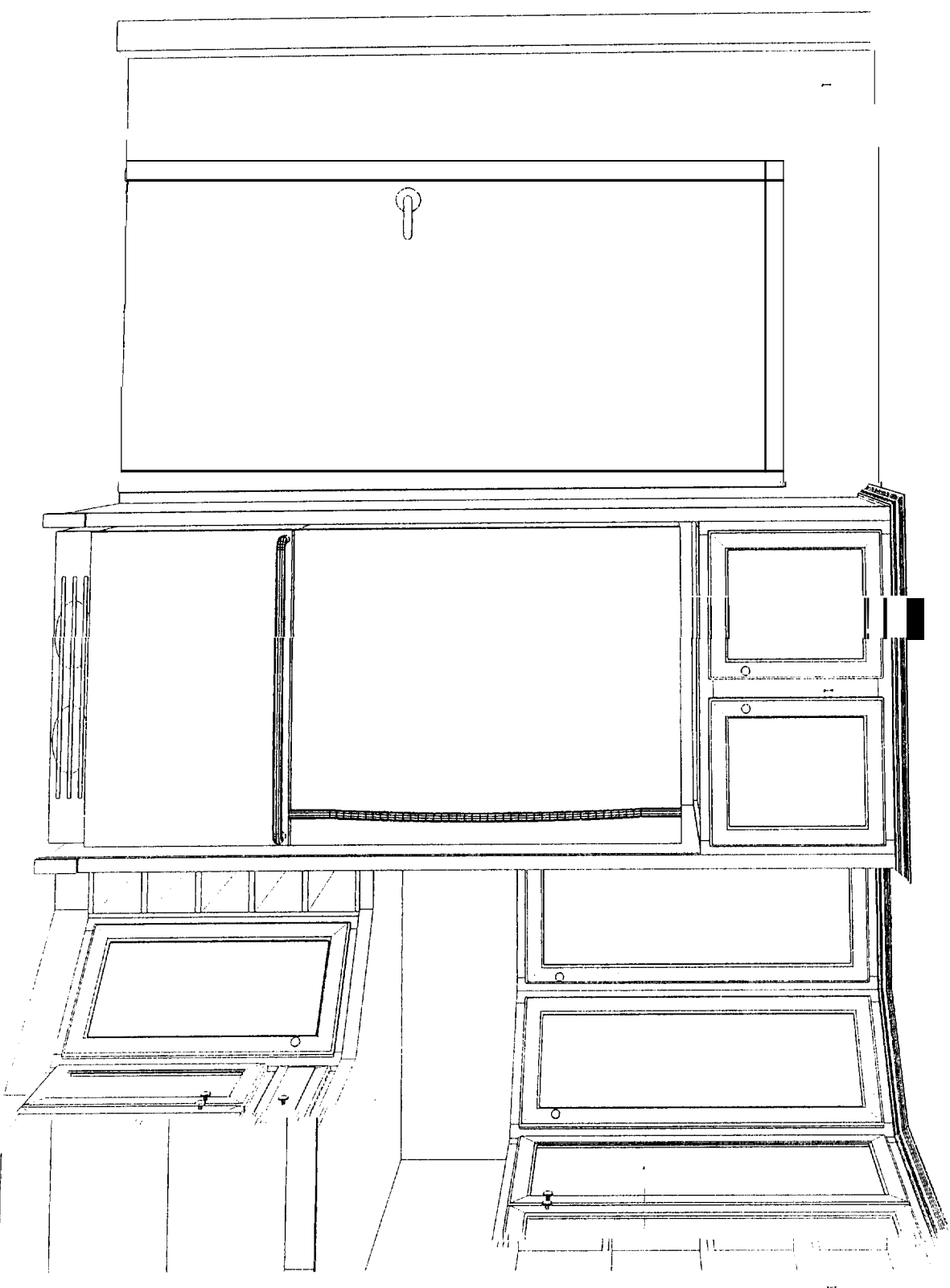
Designed: 3/24/2005  
Printed: 3/24/2005

# KITCHEN West Interior Elevation – Unit 41

## AR-3

Smith, Bob Marty 32105

Smith, Bob Marty 32105 | Drawing #: 1



Note: This drawing is an artistic interpretation of the general appearance of the design rendition



Designed: 3/24/2005  
Printed: 3/24/2005

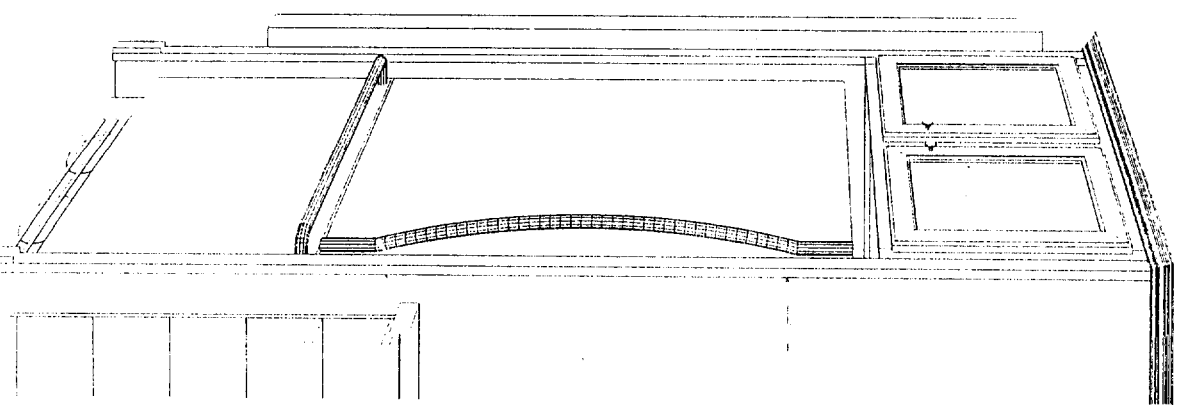
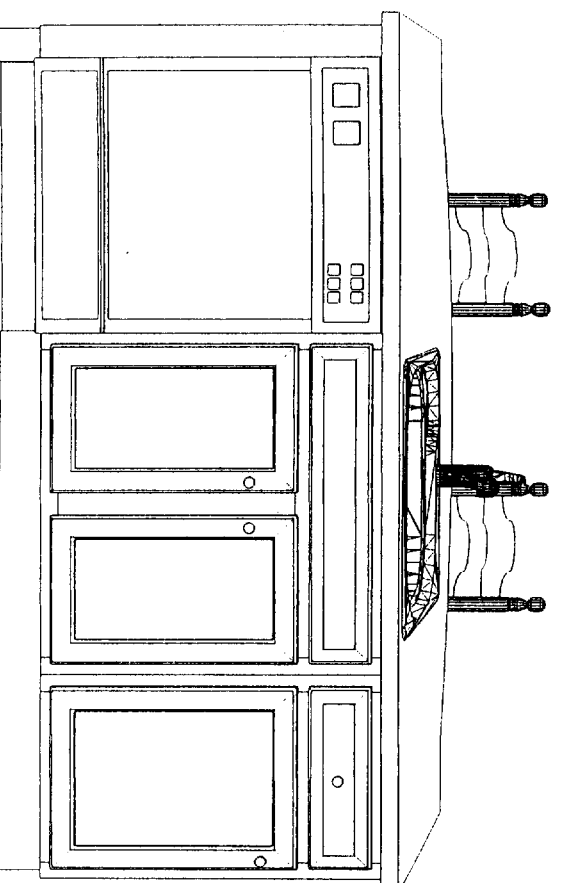
# Kitchen South Interior Elevation – Unit 41

## AR-4

Smith, Bob Marty 32105

Smith, Bob Marty 32105 Draw # : 1





Note: This drawing is an artistic interpretation of the general appearance of the design in its final rendition.



Designed: 3/24/2005  
Printed: 3/24/2005

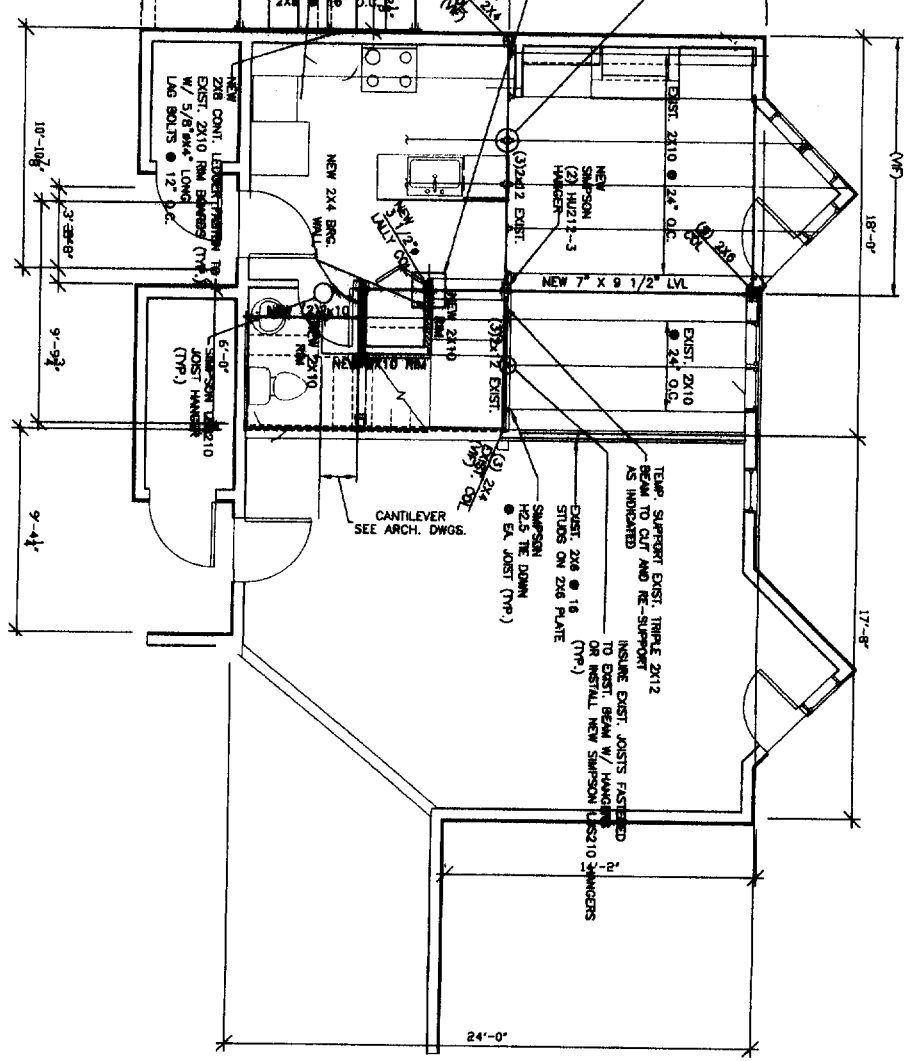
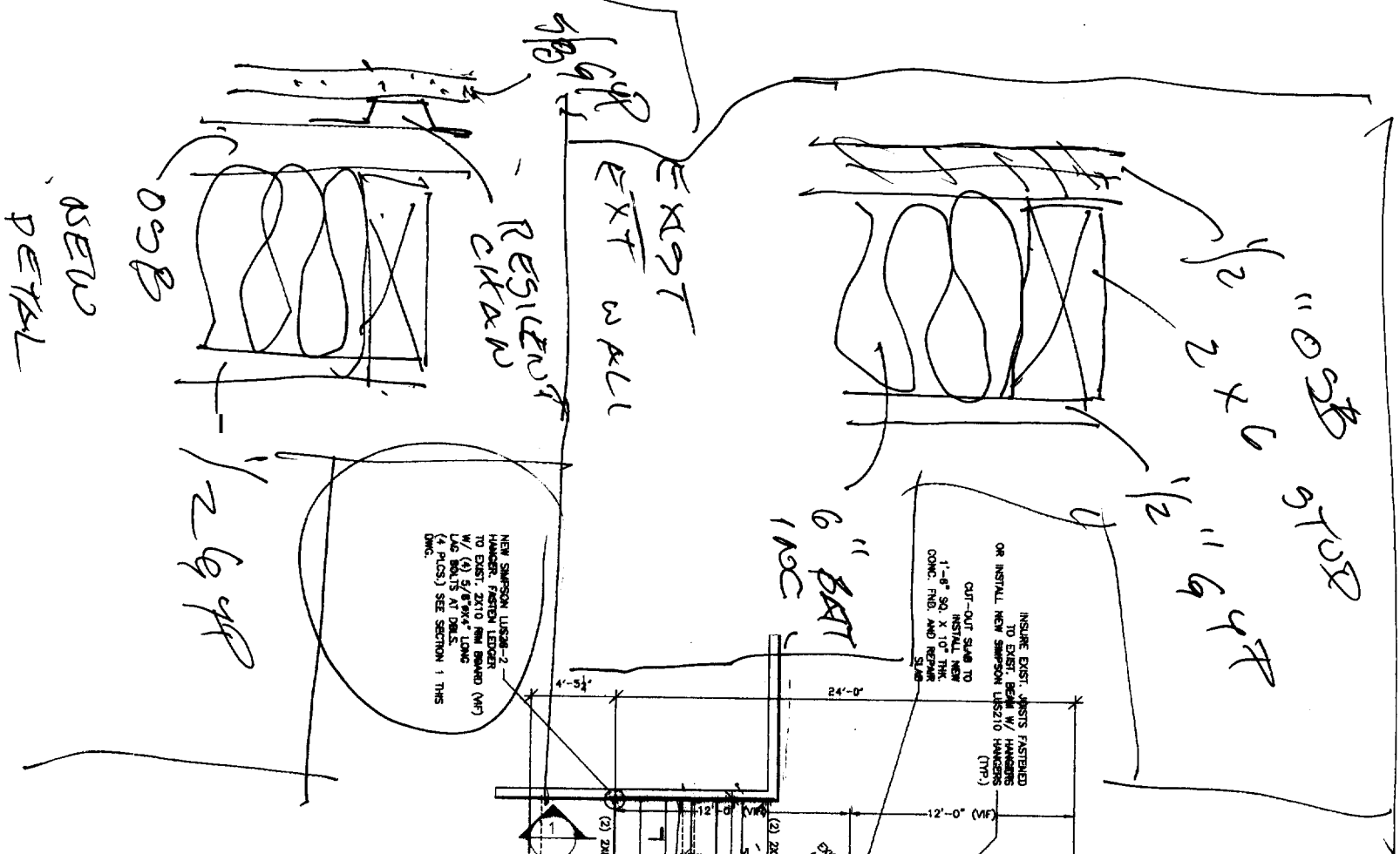
# Kitchen East Interior Elevation - Unit 41

## AR-5

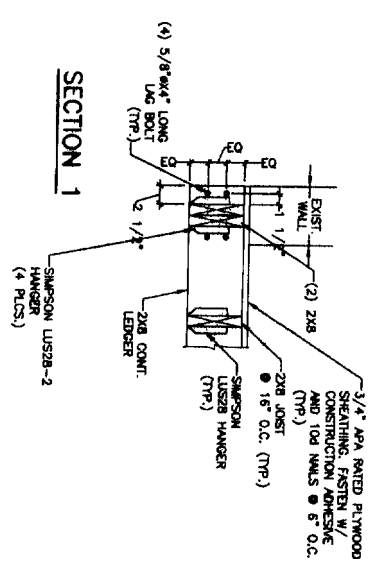
Smith, Bob Marty 32105

Smith, Bob Marty 32105

Drawing #: 1



SECOND FLOOR FRAMING PLAN  
1/8"=1'-0"



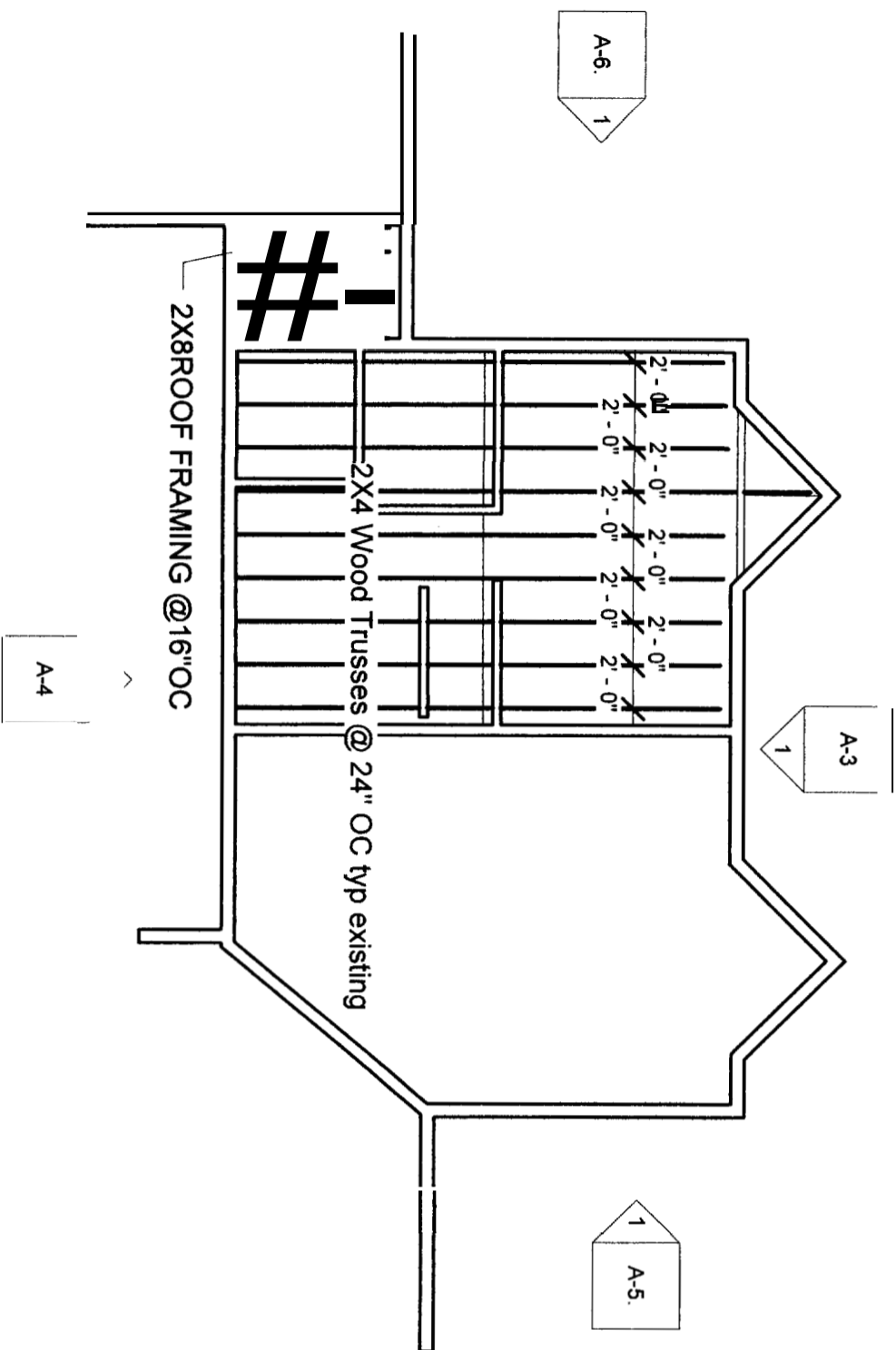
**ST**

BACKBAY ESTATES  
UNIT # 41  
PORTLAND, ME.  
RENOVATION - SECOND FLOOR FRAMING PLAN

designed by: MFL	rev.	date	description	app'd
drawn by: TFH				
checked by: JHL				
scale: 1/4" = 1'-0"				
date: 4-12-05				
plot date: -				
project #:				



**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**  
SIX Q STREET  
SOUTH PORTLAND, MAINE 04106  
PHONE: (207) 767-4830  
FAX: (207) 792-5432  
EMAIL: mmeasure@l-l-eng.com



1 Second Floor(1)  
1/8" = 1'-0"

GEORGE A SCHUMAN ID NUMBER 30067599  
Associate Member American Institute of Architects®  
ARCHITECTURE - CONSTRUCTION MANAGEMENT

www.autodesk.com/revit

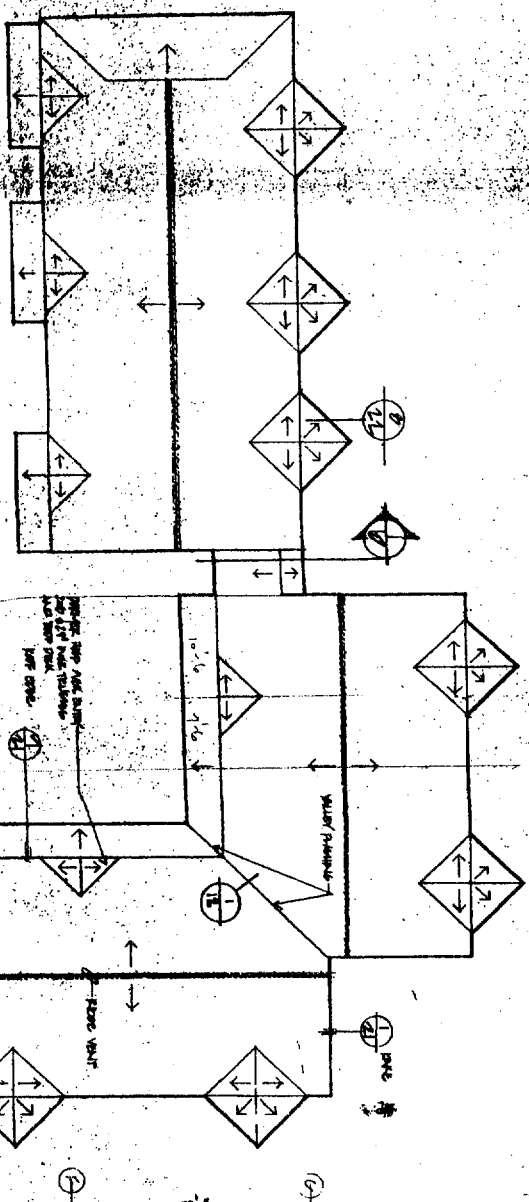
Shoreline Design Studio,  
I.L.C 207-799-0366

No.	Description	Date

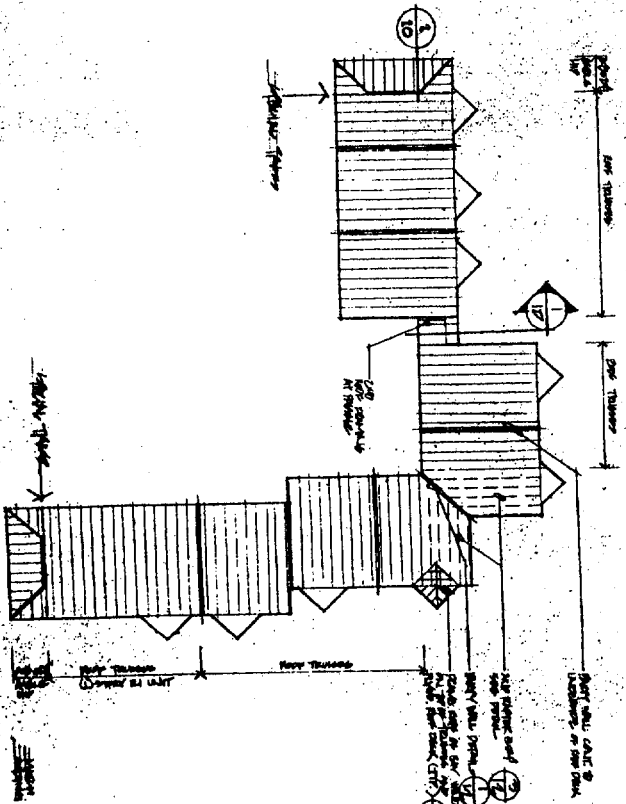
Roof Framing Plan - Unit 1

Date 050305  
Drawn by George Schuman  
Checked by Checker

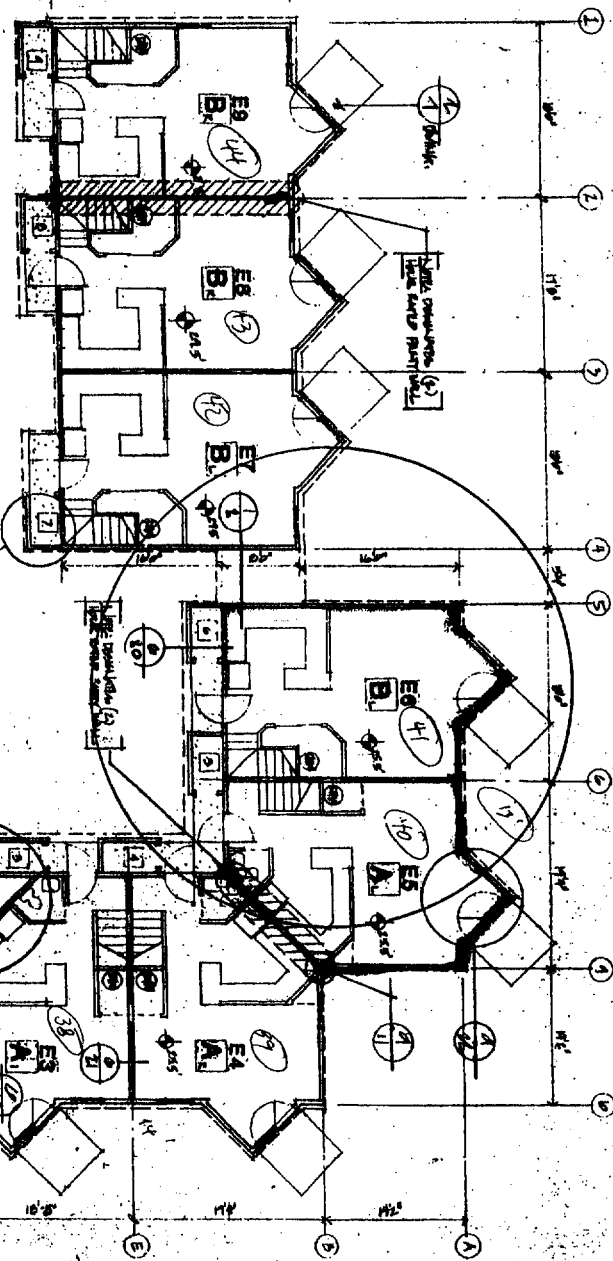
S-2



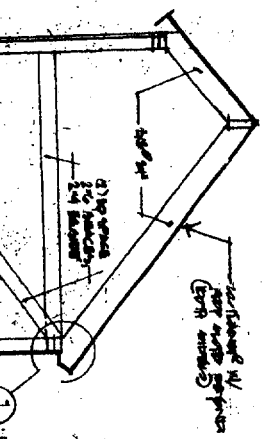
**ROOF PLAN**  
 UNIT: 1/8" = 1'-0"  
 1/8" = 1'-0"



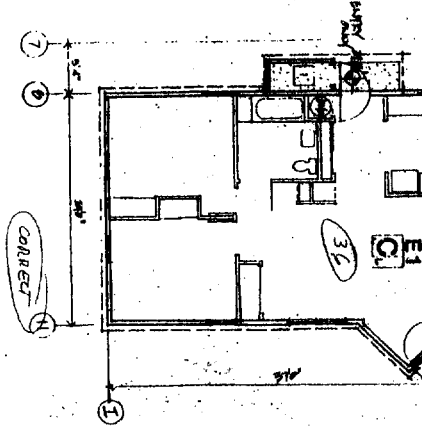
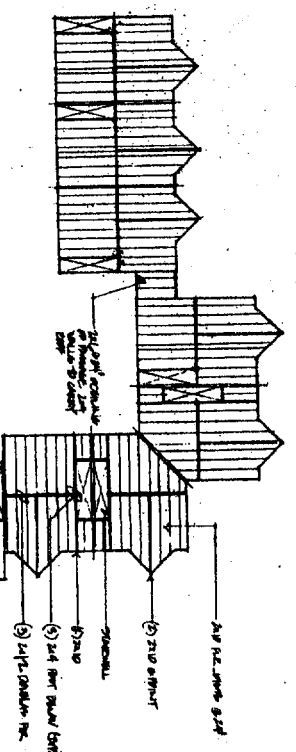
**ROOF FRAMING PLAN**  
 1/8" = 1'-0"



**GROUND FLOOR PLAN**  
 1/8" = 1'-0"



**2ND FLOOR FRAMING**  
 1/8" = 1'-0"



**KEY TO SYMBOLS**

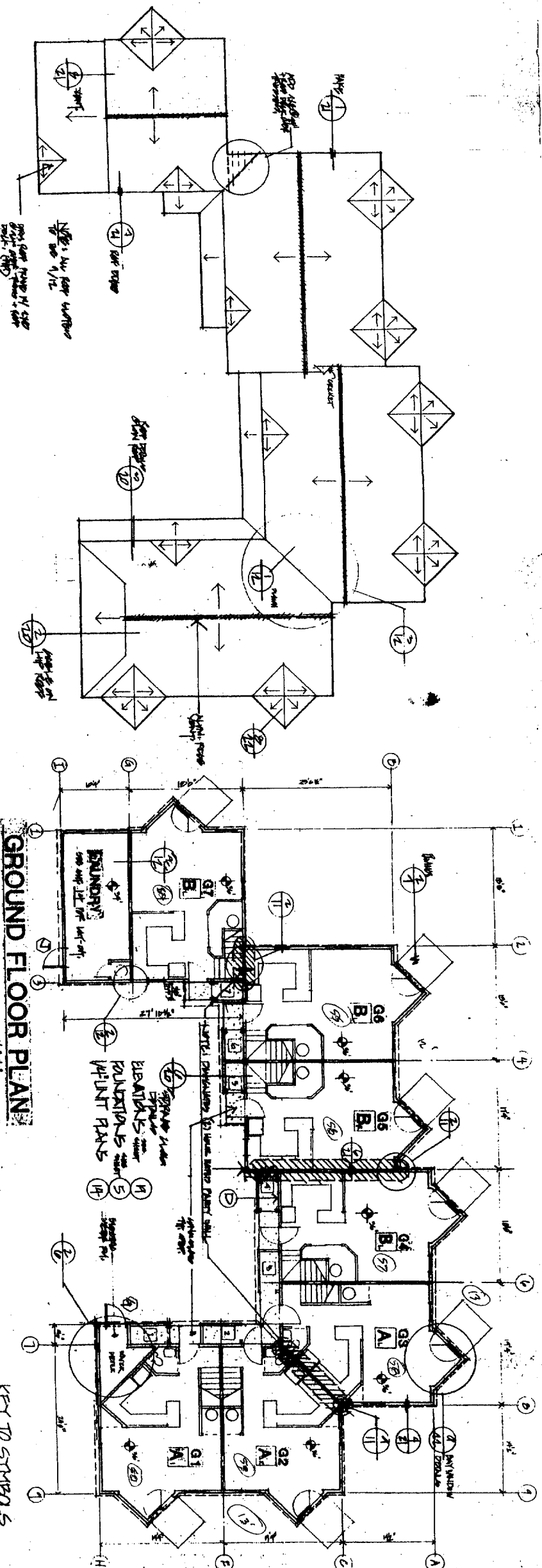
- ⊕ UNIT 100 9' x 12'
- ⊕ 1 1/2" x 12" P.N.
- ⊕ 2" x 12" P.N.
- ⊕ 3" x 12" P.N.
- ⊕ 4" x 12" P.N.
- ⊕ 5" x 12" P.N.
- ⊕ 6" x 12" P.N.
- ⊕ 7" x 12" P.N.
- ⊕ 8" x 12" P.N.
- ⊕ 9" x 12" P.N.
- ⊕ 10" x 12" P.N.
- ⊕ 11" x 12" P.N.
- ⊕ 12" x 12" P.N.
- ⊕ 13" x 12" P.N.
- ⊕ 14" x 12" P.N.
- ⊕ 15" x 12" P.N.
- ⊕ 16" x 12" P.N.
- ⊕ 17" x 12" P.N.
- ⊕ 18" x 12" P.N.
- ⊕ 19" x 12" P.N.
- ⊕ 20" x 12" P.N.
- ⊕ 21" x 12" P.N.
- ⊕ 22" x 12" P.N.
- ⊕ 23" x 12" P.N.
- ⊕ 24" x 12" P.N.
- ⊕ 25" x 12" P.N.
- ⊕ 26" x 12" P.N.
- ⊕ 27" x 12" P.N.
- ⊕ 28" x 12" P.N.
- ⊕ 29" x 12" P.N.
- ⊕ 30" x 12" P.N.
- ⊕ 31" x 12" P.N.
- ⊕ 32" x 12" P.N.
- ⊕ 33" x 12" P.N.
- ⊕ 34" x 12" P.N.
- ⊕ 35" x 12" P.N.
- ⊕ 36" x 12" P.N.
- ⊕ 37" x 12" P.N.
- ⊕ 38" x 12" P.N.
- ⊕ 39" x 12" P.N.
- ⊕ 40" x 12" P.N.
- ⊕ 41" x 12" P.N.
- ⊕ 42" x 12" P.N.
- ⊕ 43" x 12" P.N.
- ⊕ 44" x 12" P.N.
- ⊕ 45" x 12" P.N.
- ⊕ 46" x 12" P.N.
- ⊕ 47" x 12" P.N.
- ⊕ 48" x 12" P.N.
- ⊕ 49" x 12" P.N.
- ⊕ 50" x 12" P.N.
- ⊕ 51" x 12" P.N.
- ⊕ 52" x 12" P.N.
- ⊕ 53" x 12" P.N.
- ⊕ 54" x 12" P.N.
- ⊕ 55" x 12" P.N.
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- ⊕ 59" x 12" P.N.
- ⊕ 60" x 12" P.N.
- ⊕ 61" x 12" P.N.
- ⊕ 62" x 12" P.N.
- ⊕ 63" x 12" P.N.
- ⊕ 64" x 12" P.N.
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- ⊕ 66" x 12" P.N.
- ⊕ 67" x 12" P.N.
- ⊕ 68" x 12" P.N.
- ⊕ 69" x 12" P.N.
- ⊕ 70" x 12" P.N.
- ⊕ 71" x 12" P.N.
- ⊕ 72" x 12" P.N.
- ⊕ 73" x 12" P.N.
- ⊕ 74" x 12" P.N.
- ⊕ 75" x 12" P.N.
- ⊕ 76" x 12" P.N.
- ⊕ 77" x 12" P.N.
- ⊕ 78" x 12" P.N.
- ⊕ 79" x 12" P.N.
- ⊕ 80" x 12" P.N.
- ⊕ 81" x 12" P.N.
- ⊕ 82" x 12" P.N.
- ⊕ 83" x 12" P.N.
- ⊕ 84" x 12" P.N.
- ⊕ 85" x 12" P.N.
- ⊕ 86" x 12" P.N.
- ⊕ 87" x 12" P.N.
- ⊕ 88" x 12" P.N.
- ⊕ 89" x 12" P.N.
- ⊕ 90" x 12" P.N.
- ⊕ 91" x 12" P.N.
- ⊕ 92" x 12" P.N.
- ⊕ 93" x 12" P.N.
- ⊕ 94" x 12" P.N.
- ⊕ 95" x 12" P.N.
- ⊕ 96" x 12" P.N.
- ⊕ 97" x 12" P.N.
- ⊕ 98" x 12" P.N.
- ⊕ 99" x 12" P.N.
- ⊕ 100" x 12" P.N.

**NOTES**

**Reference Drawing 1 RD-1**

MAY 9 1964





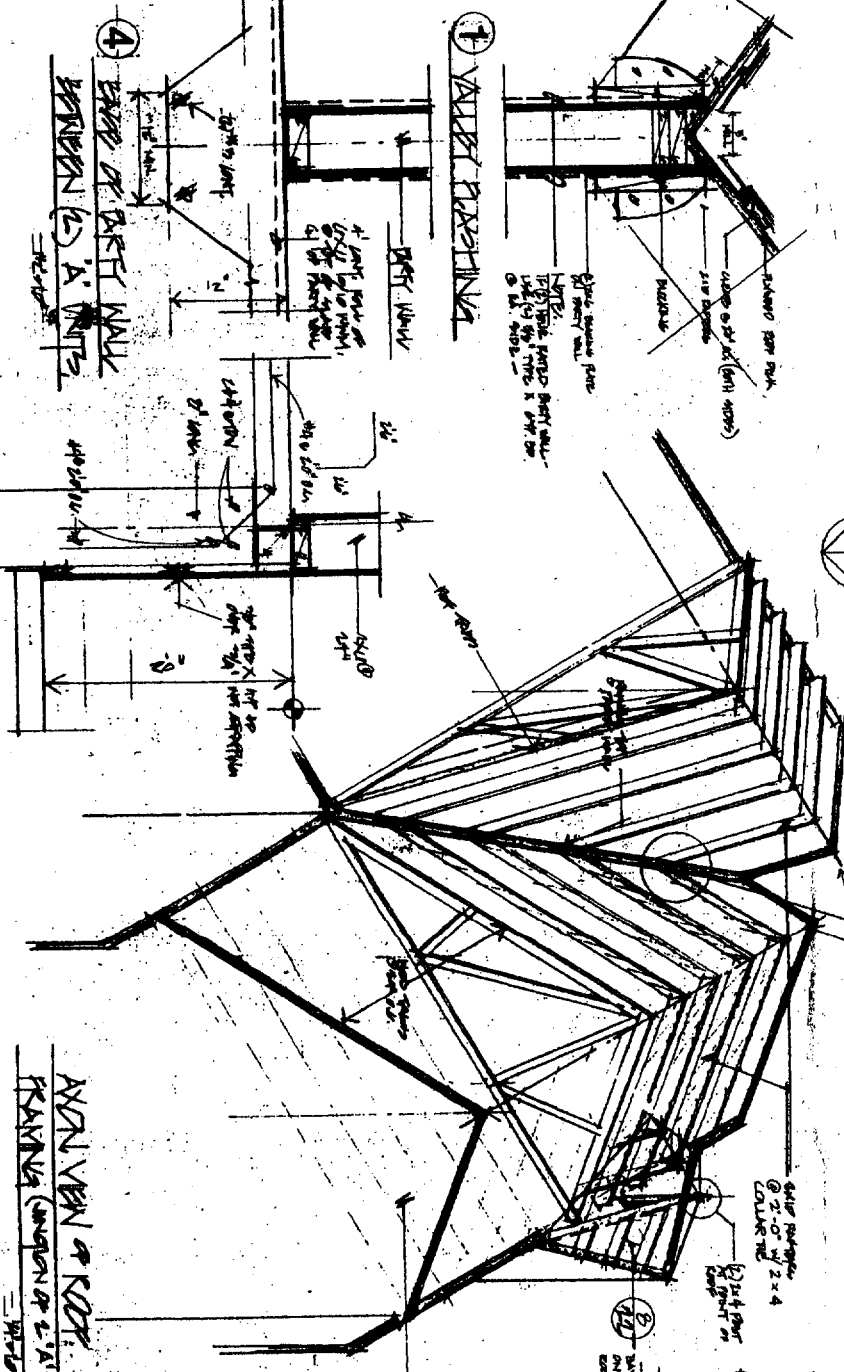
ROOF PLAN  
1/8"=1'-0"

2ND FLOOR FRAMING  
1/4"=1'-0"

ROOF FRAMING PLAN  
1/8"=1'-0"

GROUND FLOOR PLAN  
1/8"=1'-0"

KEY TO SYMBOLS  
 AB ← UNIT NO. & BUILDING  
 C ← UNIT TYPE  
 ← FIN. F.P. ELEV.  
 D ← DOOR TYPE  
 ← REFERENCE SYMBOL / SHEET  
 ○ (PARENTH. NOT LARGER THAN 1/2") SYMBOLS CANNOT BE LARGER THAN 1/2" IN ANY DIRECTION  
 ○ (PARENTH. NOT LARGER THAN 1/2") SYMBOLS CANNOT BE LARGER THAN 1/2" IN ANY DIRECTION

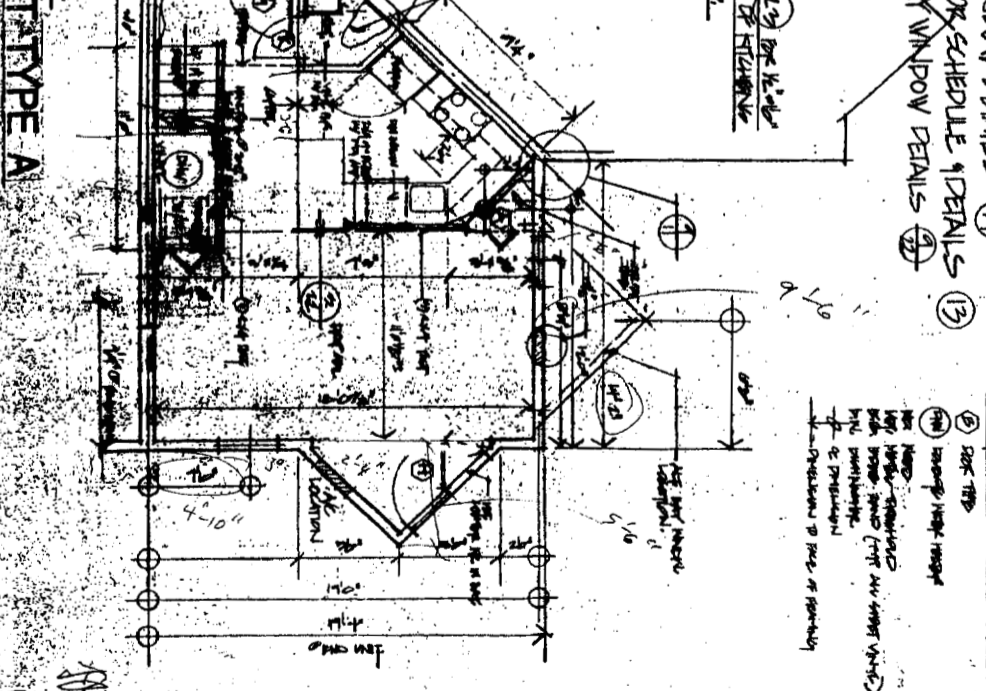
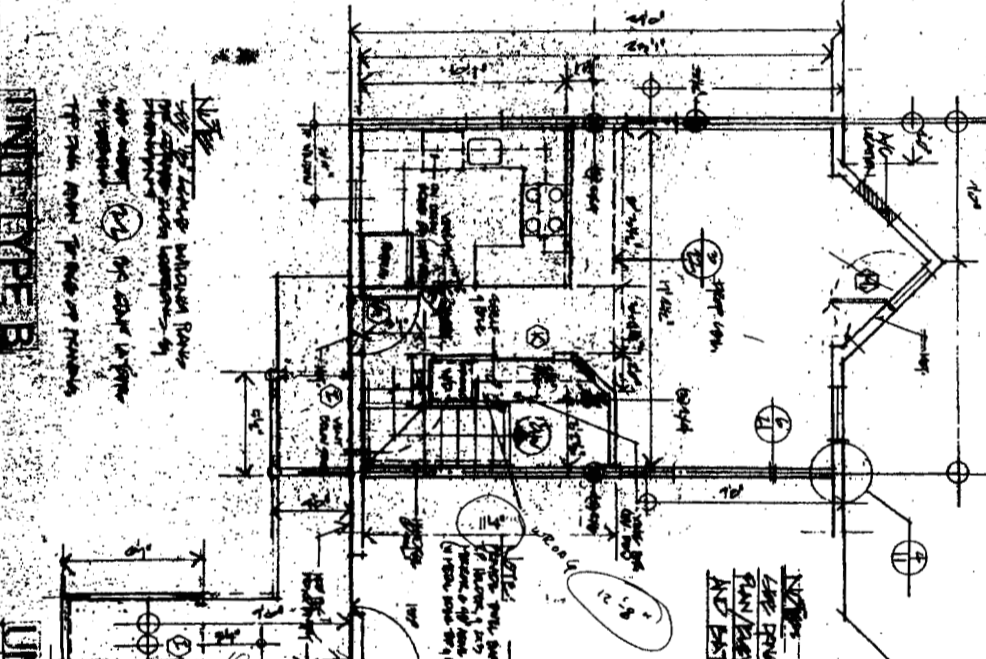
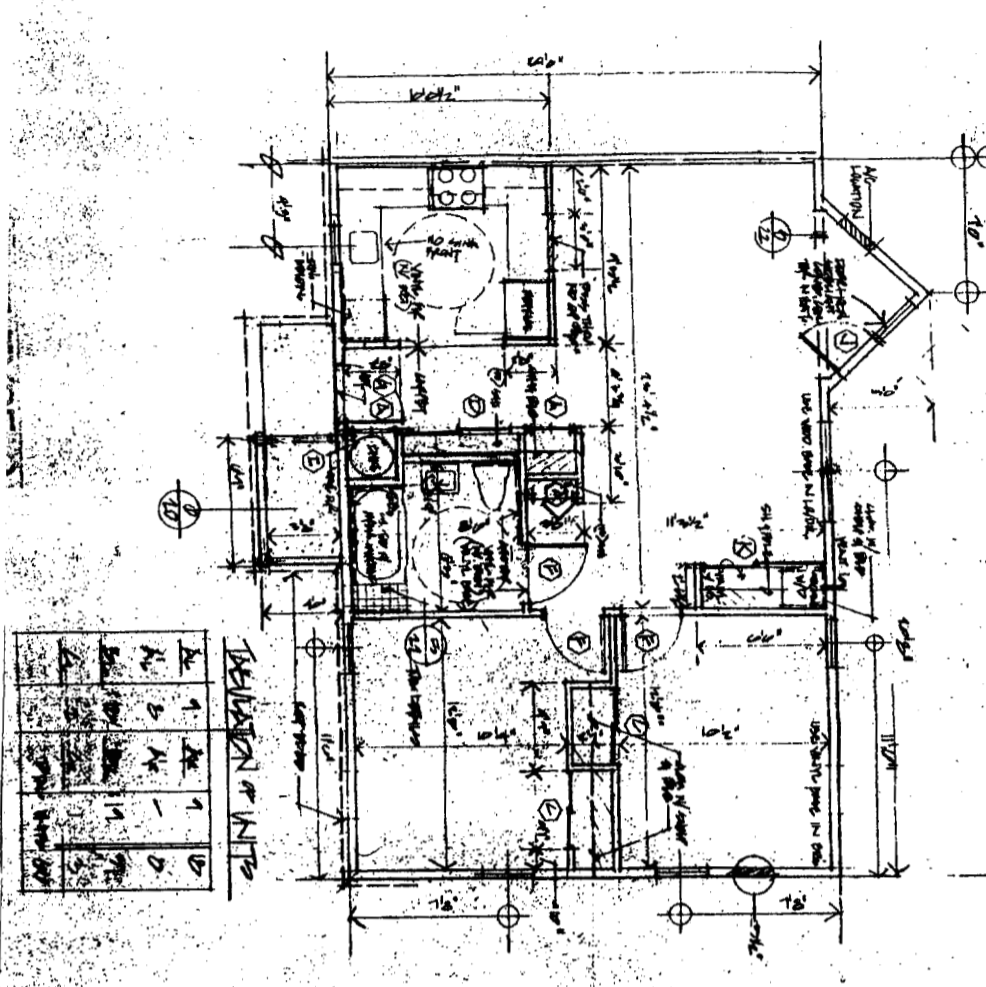
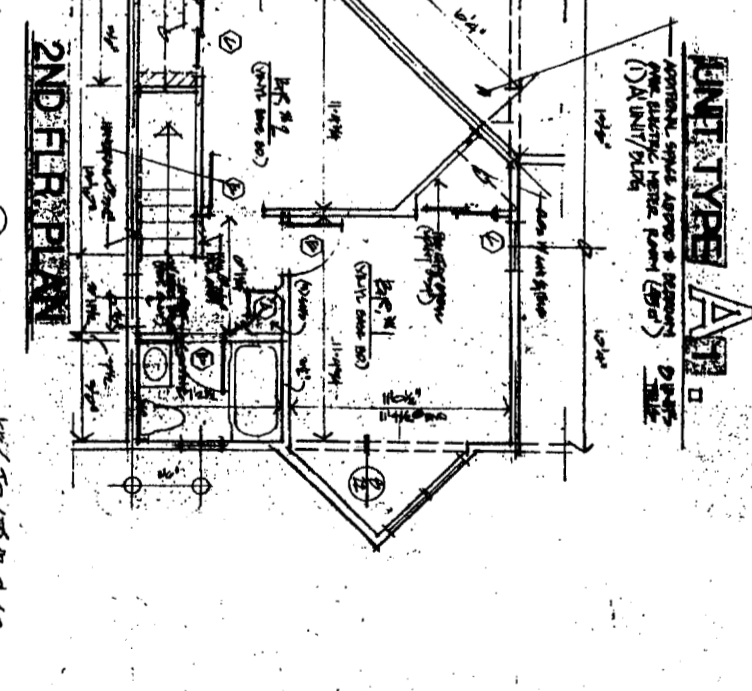
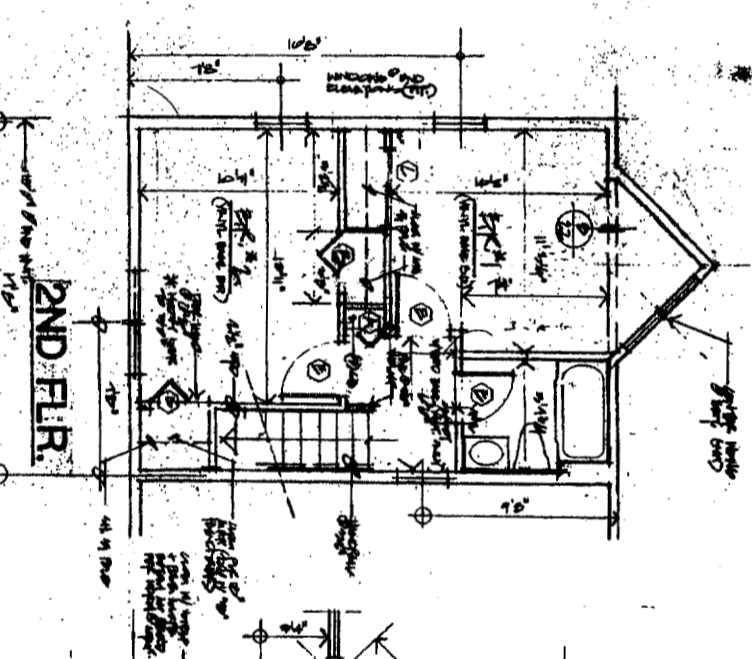
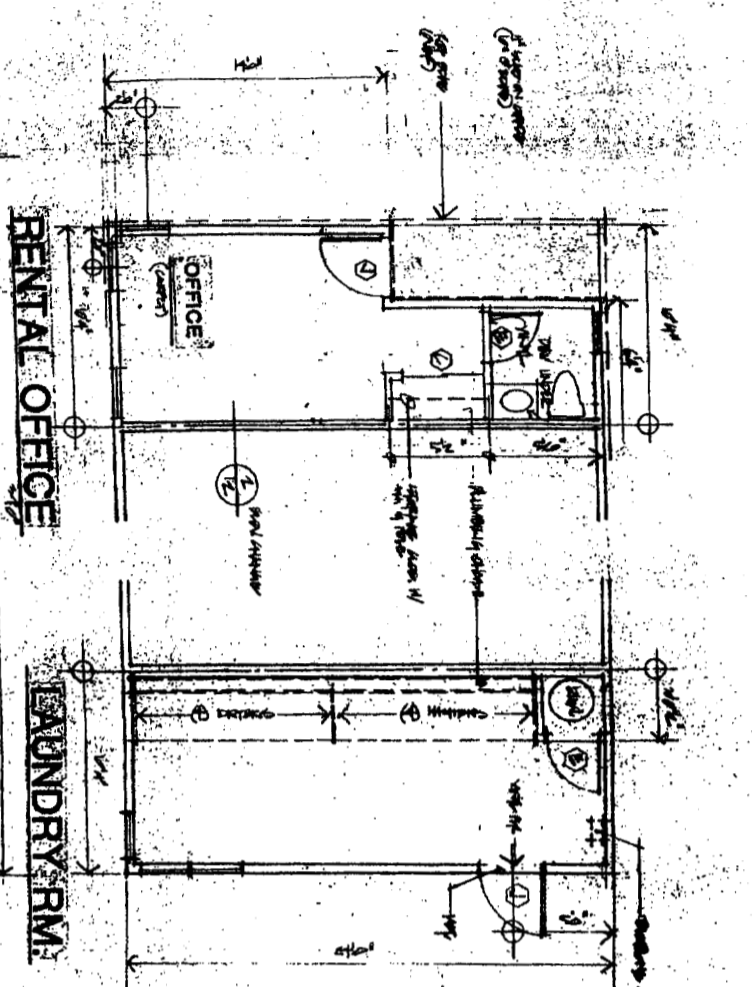


AVON VIEW OF ROOF  
 FRAMING (SECTION OF 2x4 TRUSS)  
 ③

Reference Drawing 3

RD-3

Main



SECTION OF UNITS

A	1	A	1	D
B	1	A	1	D
C	1	A	1	D
D	1	A	1	D

UNIT TYPE B  
 1/2" = 1'-0" SCALE  
 ALL DIMENSIONS UNLESS OTHERWISE NOTED  
 ALL FINISHES TO BE AS SHOWN  
 ALL WORK TO BE IN ACCORDANCE WITH THE SPECIFICATIONS  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS

WINDOW DETAILS ①  
 DOOR SCHEDULE ② DETAILS ③  
 BATH WINDOW DETAILS ④  
 KEY TO SYMBOLS  
 ① 20K TYPE  
 ② 20K TYPE  
 ③ 20K TYPE  
 ④ 20K TYPE

Reference Drawing 4 RD-4