

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 050208

Please Read Application And Notes, If Any, Attached

This is to certify that Back Cove Estates Llc /Georg Schuma
has permission to units 52 & 53 Tenant fit-up / remove partition wall merging two units into one
AT 610 Baxter Blvd units 52 & 53 156 F006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED
MAR 15 2005
CITY OF PORTLAND

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in.
HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name: _____

[Signature] 3/15/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0208	Issue Date: 03/03/2005 <i>MAR 15 2005</i>	CBL: 156 F006001
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Location of Construction: 610 Baxter Blvd units 52 & 53	Owner Name: Back Cove Estates Llc	Owner Address: 163 Mountain Rd	Phone:
Business Name:	Contractor Name: George Schuman	Contractor Address: 11 Eastfield Rd. Cape Elizabeth	Phone: 207/990366
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: <i>R-3</i>

Past Use: Commercial / 66 residential Condominium units	Proposed Use: Condo / units 52 & 53 Tenant fit-up / remove party wall making two units into one- Therefore a total of 65 residential condominium units	Permit Fee: \$399.00	Cost of Work: \$42,000.00	CEO District: 4	<i>signed</i>
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>5B</i> <i>3/15/05</i>		

Proposed Project Description:
units 52 & 53 Tenant fit-up / remove party wall making two units into one

Signature: _____ Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied
w/A

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 02/28/2005	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>03/13/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3/15/05 Pre-Con done in office w/ Dave Scribner
& George Schuman - discussed conditions
of permit. JD

4/4/05 Close in done today. egress windows OK. JR

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0208	Date Applied For: 02/28/2005	CBL: 156 F006001
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Location of Construction: 610 Baxter Blvd units 52 & 53	Owner Name: Back Cove Estates Llc	Owner Address: 163 Mountain Rd	Phone:
Business Name:	Contractor Name: George Schuman	Contractor Address: 11 Eastfield Rd. Cape Elizabeth	Phone (207) 799-0366
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Condo / units 52 & 53 Tenant fit-up / remove party wall making two units into one- Therefore a total of 65 residential condominium units	Proposed Project Description: units 52 & 53 Tenant fit-up / remove party wall making two units into one
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/03/2005

Note: past approved use was for 66 residential condo units **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain sixty five (65) residential condominium dwelling units with the issuance of this permit. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 03/15/2005

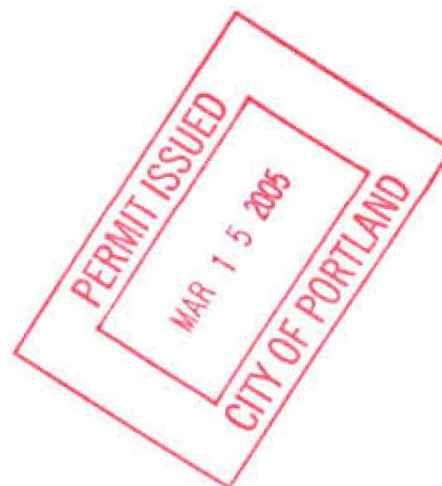
Note: **Ok to Issue:**

- 1) All sleeping rooms must have egress sized windows.

All new framing must have appropriate hangers or ledger.

Dept: Fire **Status:** Not Applicable **Reviewer:** Lt. MacDougal **Approval Date:** 03/07/2005

Note: **Ok to Issue:**



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>67 OCEAN AVE (REF 610 BAXTER BLVD)</u> <u>UNITS 52 & 53</u>		
Total Square Footage of Proposed Structure <u>NA</u>	Square Footage of Lot <u>NA</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>156 F006</u> , Block# <u>158A005</u> , Lot# <u>159J006</u>	Owner: <u>BACK COVE ESTATES, LLC</u> <u>JIM MCCANN</u> <u>163 MOUNTAIN ROAD</u> <u>EALMOUTH, ME 04109</u>	Telephone: <u>671-5082</u>
Lessee/Buyer's Name (If Applicable) <u>NA</u>	Applicant name, address & telephone: <u>SAME AS ABOVE</u>	Cost Of Work: \$ <u>42,000</u> Fee: \$
Current use: <u>CONDO - 66 Residential D.U.</u>		
If the location is currently vacant, what was prior use: <u>NA</u>		
Approximately how long has it been vacant: <u>NA</u>		
Proposed use: <u>CONDO - 65 Residential D.U.</u>		
Project description: <u>PARTIAL REMOVAL OF PARTY WALL BETWEEN 52 & 53 TO PERMIT INTEGRATION. REMOVAL & UPGRADE OF KIT, BATH, INTERIOR PARTITION & OTHER MODIFICATIONS</u>		
Contractor's name, address & telephone: <u>FIRST CHOICE CONSTRUCTION, 15 MARTIN RD, SCARBOROUGH, ME 207-318-</u>		
Who should we contact when the permit is ready: <u>GEORGE A. SCHUMAN 2876</u>		
Mailing address: <u>11 EASTFIELD RD, CAPE ELIZABETH, ME 04107</u> <u>(DESIGN / CONSTR. MGMT)</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-799-0366 C 207-756-3448		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>James M. Cann</u>	Date: <u>2-18-05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- DSS Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- DSS Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

DSS If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

DSS CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Dave Scibner
Signature of Applicant/Designee

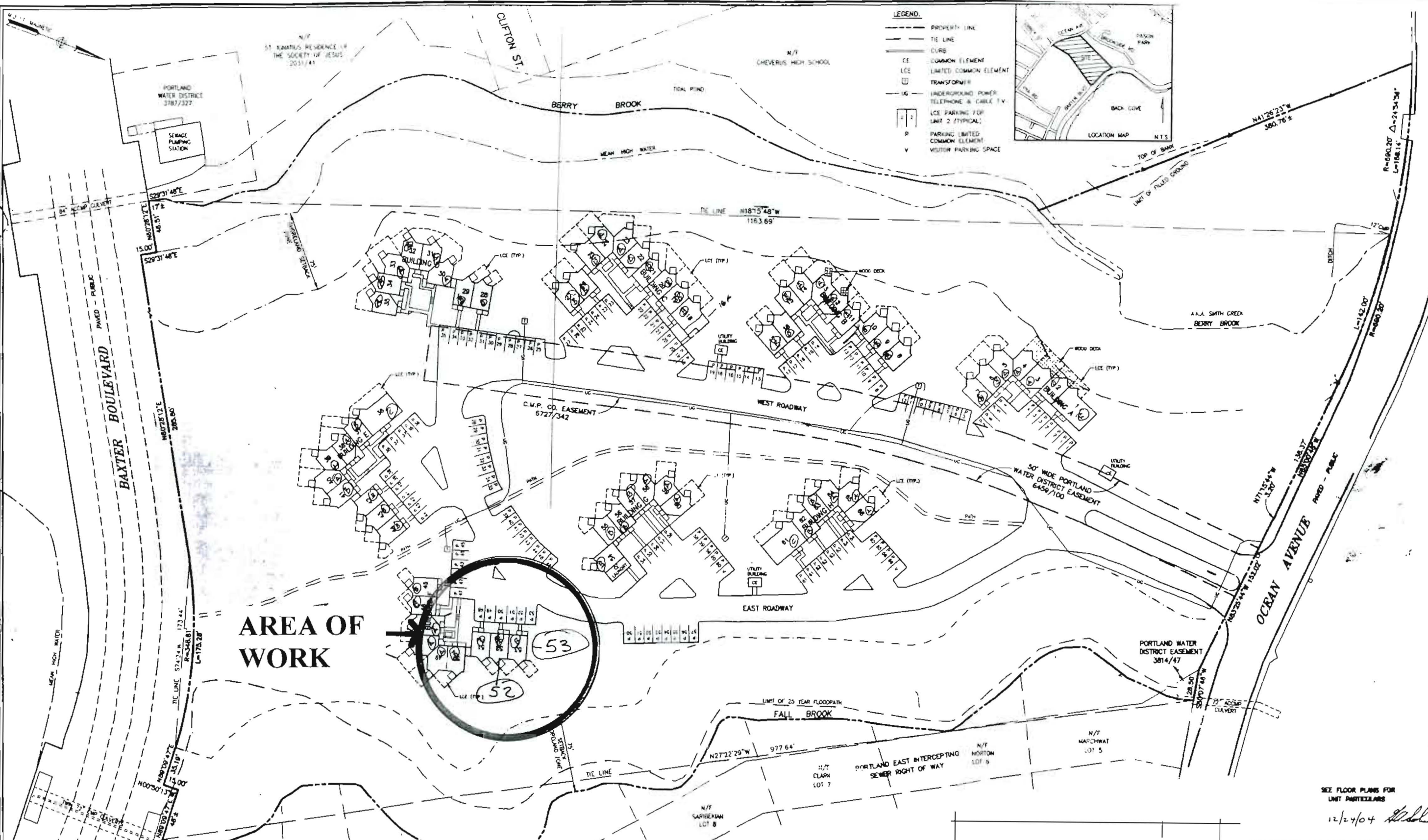
3/15/05
Date

Kevin McCall
Signature of Inspections Official

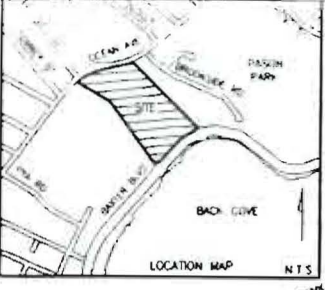
3/15/05
Date

CBL: 156-F-006

Building Permit #: 05-0208



- LEGEND**
- PROPERTY LINE
 - - - TIE LINE
 - CURB
 - CE COMMON ELEMENT
 - LCE LIMITED COMMON ELEMENT
 - ☐ TRANSFORMER
 - UG UNDERGROUND POWER, TELEPHONE & CABLE T.V.
 - LCE PARKING FOR UNIT 2 (TYPICAL)
 - P PARKING LIMITED COMMON ELEMENT
 - V VISITOR PARKING SPACE



AREA OF WORK

SITE PLAN C-1

- NOTES:**
1. OWNER OF RECORD: BACK COVE ESTATES, LLC, AS SHOWN AS BACK COVE ASSOCIATES, LLC, 163 MOUNTAIN ROAD, FALMOUTH, MAINE, C.C.R.D. BOOK 20684 PAGE 301
 2. PARCEL IS SHOWN AS LOTS 5 & 6 BLOCK 1 TAX MAP 150, LOT 5 BLOCK A TAX MAP 158 AND LOT 6 BLOCK 2 TAX MAP 150
 3. FINISHED FLOOR ELEVATIONS ARE BASED UPON CITY DATUM
 4. LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE
 5. PROPERTY IS ZONED R-3 WITH SHORELAND ZONING

- PLAN REFERENCES:**
1. M.D.D. RIGHT OF WAY MAPS - STATE AND HIGHWAY NO. 8 SHEETS 1 & 2 RECORDED IN THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 134 PAGES 42 & 43
 2. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR ST. IGNATIUS RESIDENCE OF THE SOCIETY OF JESUS RECORDED IN THE REGISTRY OF DEEDS IN PLAN BOOK 47 PAGE 42
 3. SHIPYARD PORTLAND, MAINE PLAN FOR BECKSON & GRANT DATED FEB. 1950 AND RECORDED IN THE REGISTRY OF DEEDS IN PLAN BOOK 38, PAGE 53
 4. PLAN OF BACK COVE ESTATES IN PORTLAND, MAINE, OCEAN AVENUE, FOR BACK COVE HOUSING ASSOCIATES DATED FEB. 7, 1994 REV. 4/5/04/04 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 142 PAGE 22

CERTIFICATION:
 OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON AND THE RESULT OF AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

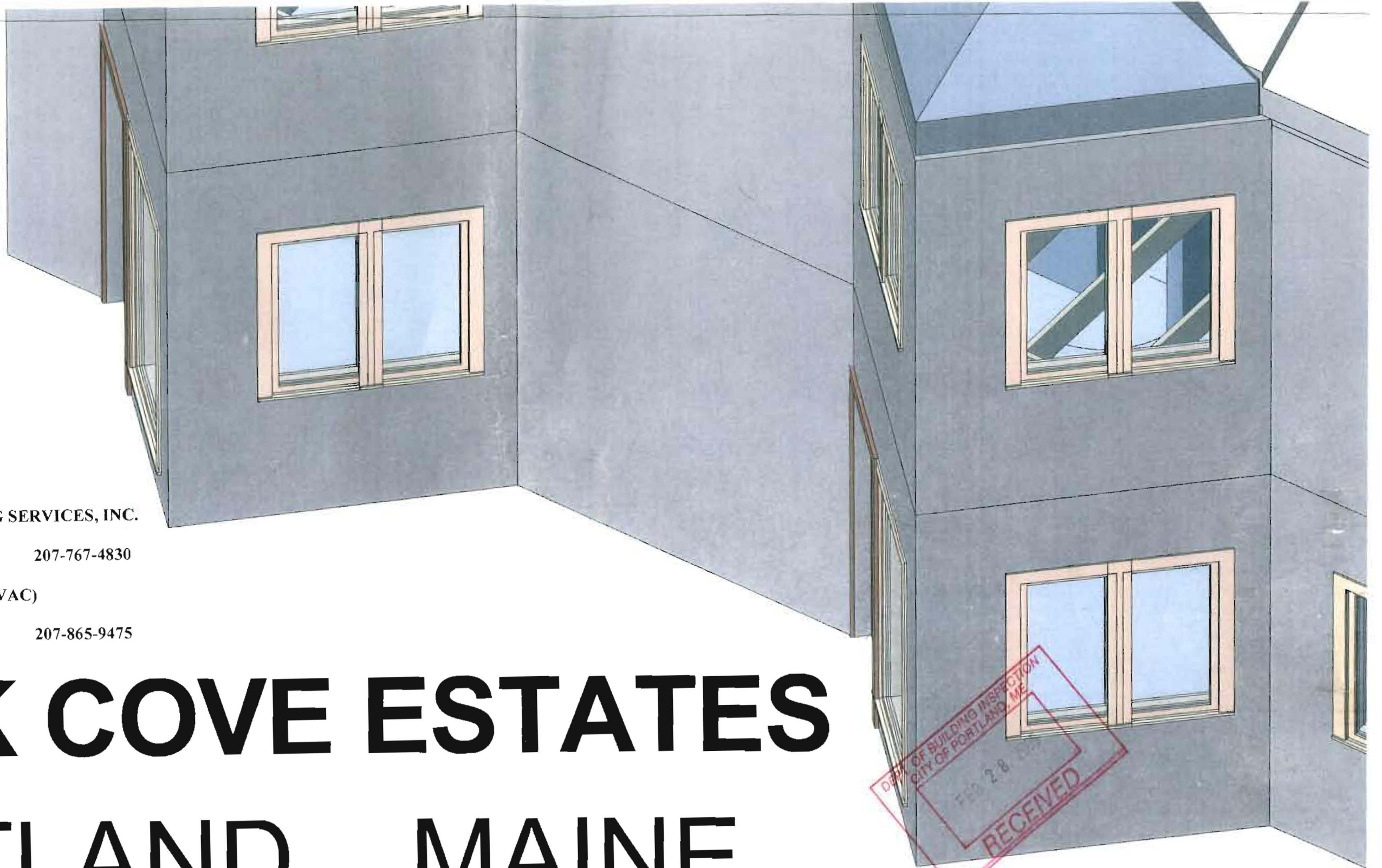
SEE FLOOR PLANS FOR UNIT PARTICULARS
 12/24/04 *[Signature]*

CONDOMINIUM PLAN
"BACK COVE ESTATES CONDOMINIUM"
 610 BAXTER BOULEVARD, PORTLAND, MAINE
 MADE FOR RECORD OWNER:
BACK COVE ESTATES, LLC
 610 BAXTER BOULEVARD, PORTLAND, MAINE

OWEN HASKELL, INC.
 18 CLARK ST., PORTLAND, ME 04101 (207) 774-2000
 PROFESSIONAL LAND SURVEYORS

Drawn By: CH	Scale:	1" = 50'
Trace By: JLV	Sheet: 245-2000	of 24
Check By: JMS	Date:	12/24/04
Printed By: JMS	Scale:	1" = 50'





L & L STRUCTURAL ENGINEERING SERVICES, INC.
 6 Q Street
 South Portland, ME 04106 207-767-4830

BENNETT ENGINEERING, INC. (HVAC)
 Bennett Road
 Freeport, ME 04302 207-865-9475

BACK COVE ESTATES

PORTLAND, MAINE

CONDO UNITS 52 & 53 IMPROVEMENTS



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Shoreline Design Studio,
 LLC Cape Elizabeth, ME
 207-799-0366

No.	Description	Date

Title Sheet		
Project number	20053	T-1
Date	022805	
Drawn by	George A. Schuman	Scale
Checked by	Checker	

DRAWING LIST

Sheet No. Sheet Name

- T-1 Title Sheet
- T-2 Drawing List - General Notes
- C-1 Site Plan - Area of Work
- D-1 Removals Plan - 1st FL Plan 52 & 53
- D-2 Removals Plan - 2nd FL Plan 52 & 53
- A-1 First Floor Plan - Units 52 & 53
- A-2 Second Floor Plan - Units 52 & 53
- A-3 North Elevation - Units 52 & 53
- A-4 South Elevation - Units 52 & 53
- A-5 West Elevation - Units 52 & 53
- A-6 Section 1 - Units 52 & 53
- A-7 Section 2 - Units 52 & 53
- A-8 Wall Sections - Units 52 & 53
- A-9 Door , Window & Room Finish Schedules
- S-1 2ND Floor & Roof Framing Plans

REFERENCE DRAWING LIST

- AR-1 Kitchen Cabinetry Plan
- AR-2 Kitchen Axiometric View
- AR-3 Kitchen - South Elevation
- AR-4 Kitchen - East Elevation
- AR-5 Kitchen - North Elevation
- AR-6 Pantry - North Elevation
- AR-7 Kitchen - West Elevation
- AR-8 Master & Guest Bathroom Base Cab Plans
- AR-9 Master Bathroom - South Elevation
- AR-10 Guest Bathroom - North Elevation - Partial
- AR-11 Existing Bldg F Layout & Wall Sections
- AR-12 Existing Type B Typical Floor Plans
- AR-13 Existing Typical Roof Framing Plan

GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF IBC/IRC 2003 INTERNATIONAL BUILDING CODE. THE WORK SHALL ALSO CONFORM TO ALL LOCAL, STATE, NATIONAL, NFPA AND OTHER SAFETY CODES AND ORDINANCES WHICH APPLY.
2. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DRAWINGS TO THE ARCHITECT / DESIGNER / CONSTRUCTION MANAGER BEFORE START OF WORK.
3. WORK INDICATED ON DRAWINGS IS NEW UNLESS SPECIFIED AS EXISTING.
4. THE CONTRACTOR'S WORK PRACTICES, EQUIPMENT AND PERSONNEL PROTECTION MEASURES SHALL CONFORM TO OSHA STANDARDS.
5. THE CONTRACTOR SHALL PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN.
6. SURFACES INDICATED TO BE PAINTED SHALL BE PREPARED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ELECTRICAL INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), NFPA AND ALL STATE AND LOCAL CODES.
8. ALL EQUIPMENT, MATERIALS, ITEMS AND PRODUCTS ARE TO BE PROVIDED, DELIVERED, STORED, PROTECTED, HANDLED AND INSTALLED IN ACCORDANCE WITH THE LATEST WRITTEN INSTRUCTIONS OF THE MANUFACTURER OR PRODUCER.
9. THE WORD "PROVIDE" MEANS THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT TO FURNISH AND INSTALL AND TO COMPLETE AND MAKE FULLY OPERATIONAL.
10. COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS.
11. ALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE INDICATED.

GEORGE A. SCHUMAN 30067599
 Associate Member American Institute of Architects
 ARCHITECTURE - CONSTRUCTION MANAGEMENT

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Shoreline Design Studio,
 LLC Cape Elizabeth, ME
 207-799-0366

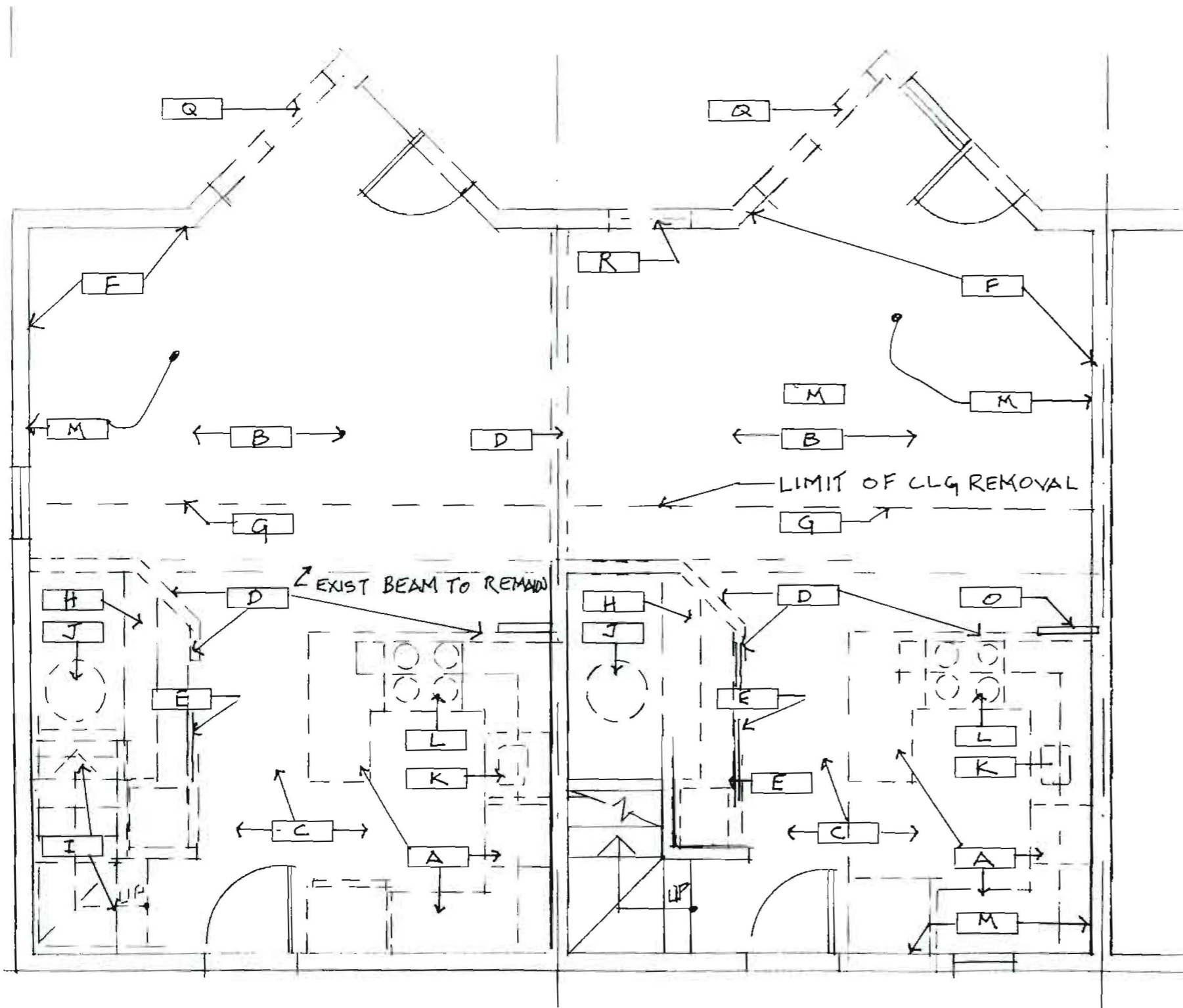
No.	Description	Date

DRAWING LIST - GEN NOTES

Project number 20053
 Date 022805
 Drawn by George A. Schuman
 Checked by Checker

T-2
 Scale

REMOVALS KEYNOTES



- A** REMOVE EXISTING WALL & BASE CABINETS, COUNTERS & ASSOCIATED TRIM & BRACING. PATCH DAMAGED GYP BR WALLS AS REQUIRED. PREPARE FOR KITCHEN CABINETS AND COUNTERS. COORDINATE WITH A-1, AR-2 THRU AR-7.
- B** REMOVE EXISTING CARPET. COORDINATE WITH DRAWING A 1. PREPARE FLOOR FOR NEW CARPET. COORD. WITH DRAWING A-1, A-2 & A-7.
- C** REMOVE EXISTING COMPOSITION FLOOR TILE & PREPARE FOR INSTALLATION OF CERAMIC FLOOR TILE. COORD WITH DRAWING A-1 & A-7.
- D** REMOVE EXISTING WOOD STUD & GYPSUM BOARD PARTITION & ASSOCIATED BRACING.
- E** REMOVE EXISTING WOOD DOOR & TRIM.
- F** REMOVE EXISTING WOOD WALL BASE.
- G** REMOVE EXISTING GYPSUM BOARD CEILING AS REQUIRED. COORD. WITH DRAWING A-1 & E-1.
- H** REMOVE EXISTING SHELVES.
- I** REMOVE EXISTING STAIR TREADS, RISERS, STRINGERS & ASSOCIATED BRACING.
- J** REMOVE EXISTING WATER HEATER.
- K** REMOVE EXISTING SINK.
- L** REMOVE EXISTING STOVE / RANGE.
- M** REMOVE EXISTING WALL RECEPTACLES, LIGHT SWITCHES & ASSOCIATED WIRING.
- N** REMOVE EXISTING LIGHTING FIXTURES. SEE E-1
- O** REMOVE EXISTING PANELBOARD. PROTECT & STORE FOR REINSTALLATION.
- P** REMOVE EXISTING ELECTRIC HEATING BASE UNITS. STORE AND PROTECT FOR REINSTALLATION. SEE DRAWING E-1.
- Q** REMOVE PORTION OF 2X6 EXTERIOR WALL. PREPARE FOR 2X8 HEADER & WINDOW INSTALLATION.
- R** REMOVE EXISTING WINDOW.

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No.	Description	Date

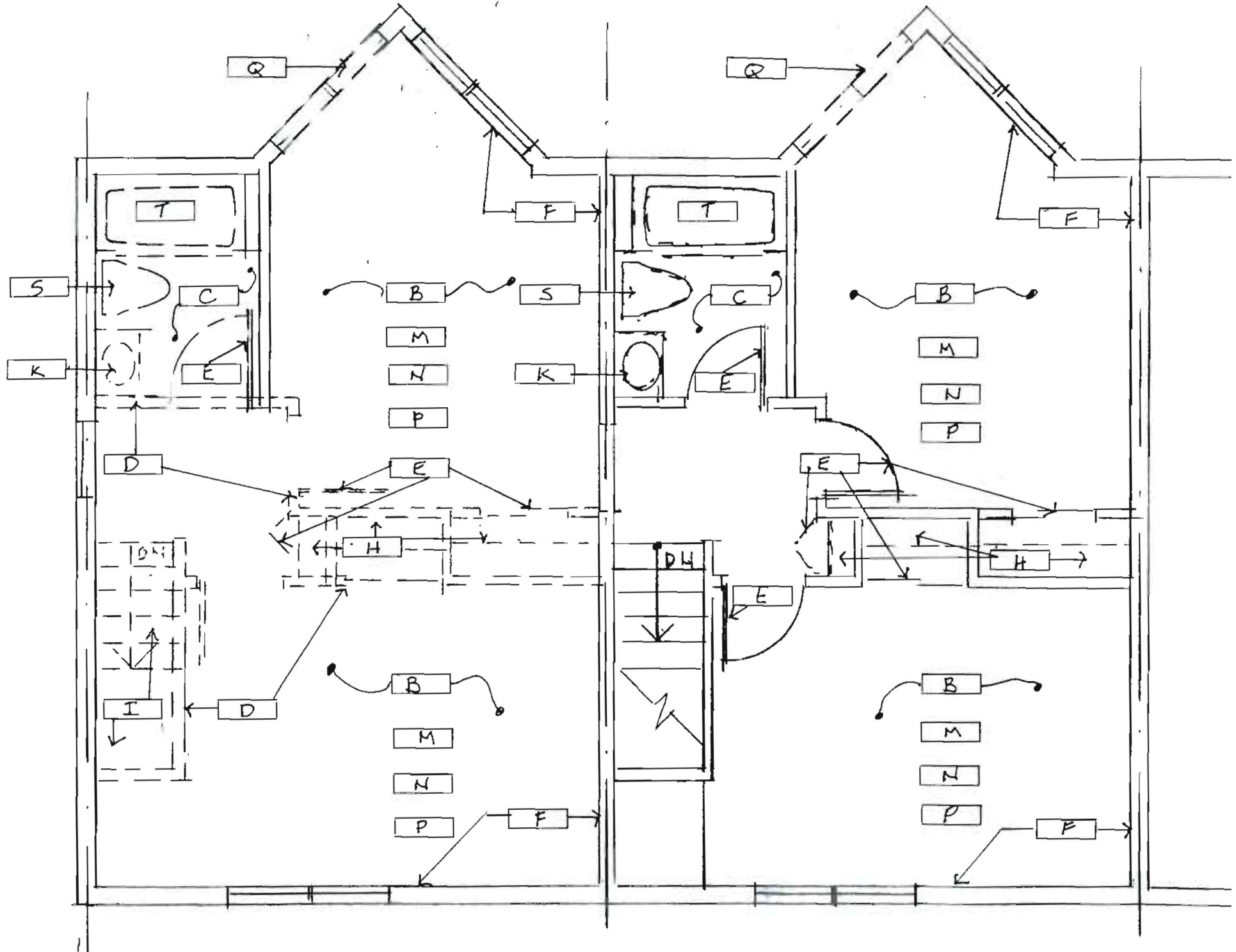
Removals 1st Floor Plan 52 & 53

Project number 20053
 Date 022805
 Drawn by George A. Schuman
 Checked by Checker

D-1

Scale

REMOVALS KEYNOTES



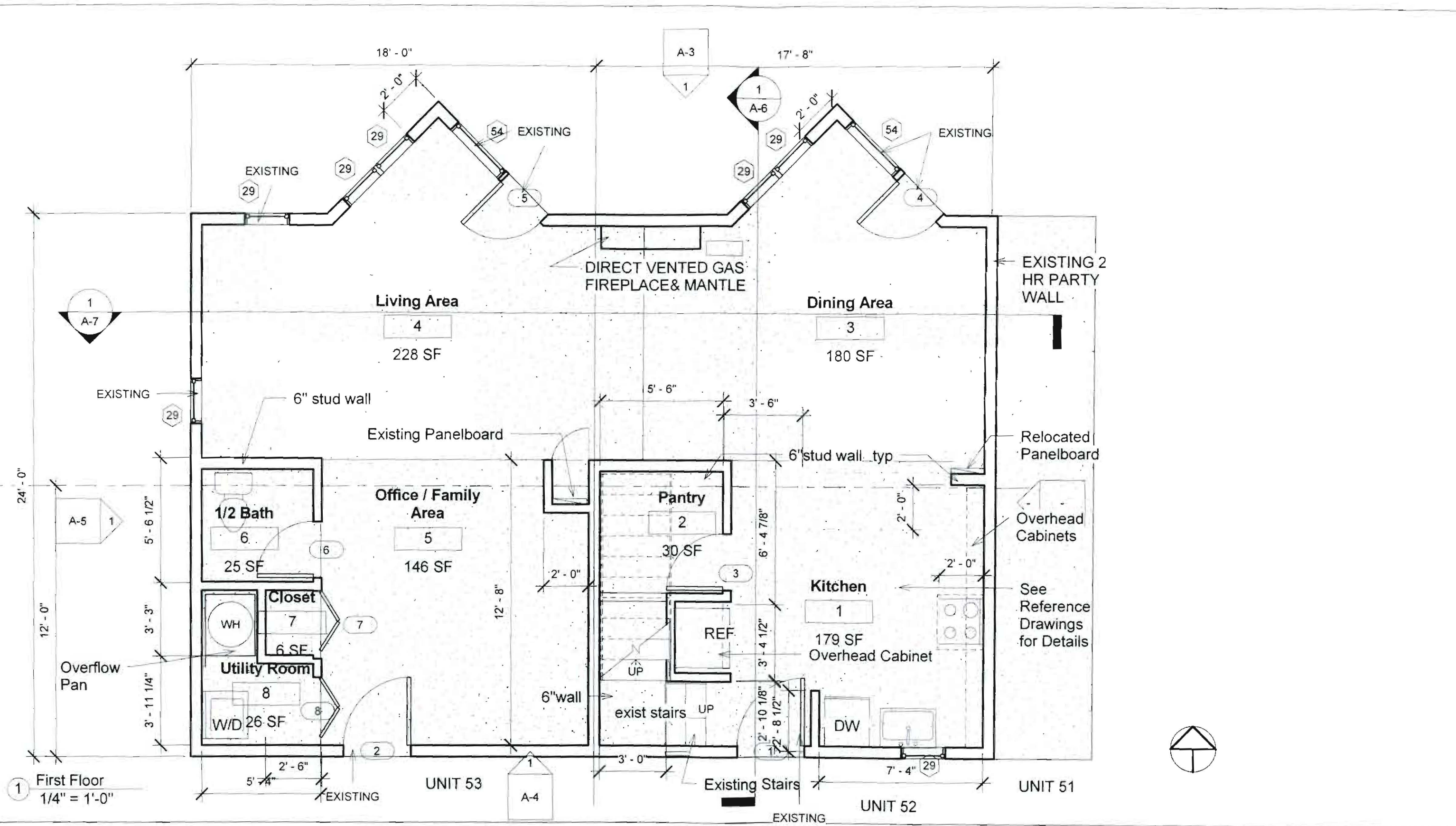
- A** NOT USED
- B** REMOVE EXISTING CARPET. COORDINATE WITH DRAWING A-2. PREPARE FLOOR FOR NEW CARPET. SEE A-7
- C** REMOVE EXISTING COMPOSITION FLOOR TILE & PREPARE FOR INSTALLATION OF CERAMIC FLOOR TILE. COORD WITH DRAWING A-2 & A-7.
- D** REMOVE EXISTING WOOD STUD & GYPSUM BOARD PARTITION WALL & ASSOCIATED BRACING.
- E** REMOVE EXISTING WOOD DOOR & TRIM
- F** REMOVE EXISTING WOOD WALL BASE.
- H** REMOVE EXISTING SHELVES
- I** REMOVE EXISTING STAIR TREADS, RISERS, STRINGERS & ASSOCIATED BRACING.
- J** NOT USED
- K** REMOVE EXISTING SINK.
- L** NOT USED
- M** REMOVE EXISTING WALL RECEPTACLES, LIGHT SWITCHES & ASSOCIATED WIRING.
- N** REMOVE EXISTING LIGHTING FIXTURES
- O** NOT USED.
- P** REMOVE EXISTING ELECTRIC HEATING BASE UNITS. PROTECT & STORE FOR REINSTALLATION. SEE DRAWING E-1.
- Q** REMOVE PORTION OF EXISTING 2X6 EXTERIOR WALL. PREPARE FOR 2X8 HEADER & WINDOW INSTALLATION.
- S** REMOVE EXISTING TOILET.
- T** REMOVE EXISTING TUB / SHOWER.

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LLC Cape Elizabeth, ME
207-799-0366

No.	Description	Date

Removals - 2nd Floor Plan		
Project number	20053	D-2
Date	022805	
Drawn by	George A. Schuman	
Checked by	Checker	
Scale		



1 First Floor
1/4" = 1'-0"

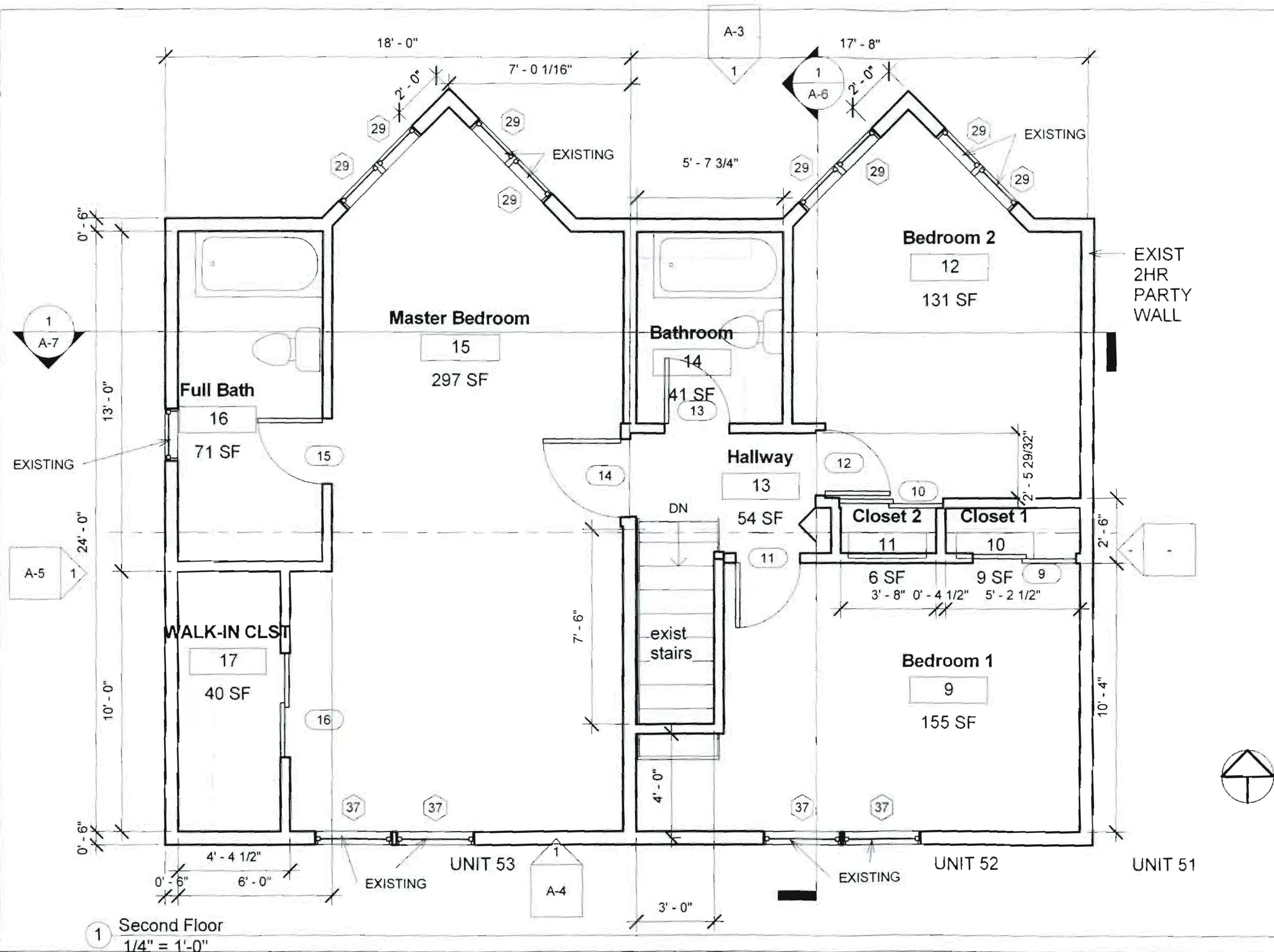
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**Shoreline Design Studio,
LLC Cape Elizabeth, ME
207-799-0366**

No.	Description	Date

First Floor Plan - Units 52 & 53		
Project number	20053	A-1
Date	022805	
Drawn by	George Schuman	
Checked by	Checker	
Scale		1/4" = 1'-0"



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Shoreline Design Studio,
LLC Cape Elizabeth, ME
207-799-0366

No.	Description	Date

Second Floor Plan 52 & 53

Project number 20053
Date 022805
Drawn by George Schuman
Checked by Checker

A-2

Scale 1/4" = 1'-0"

1
A-9

EXISTING ASPHALT SHINGLE ROOF TYP

Roof
18' - 0"

EXISTING CLAPBOARD SIDING TYP

Second Floor
9' - 0"

EXISTING

First Floor
0' - 0"

SEE WINDOW / DOOR SCHEDULE FOR DETAILS

Foundation
-3' - 6"

1 North
1/4" = 1'-0"

GEORGE A. SCHUMAN 30067599
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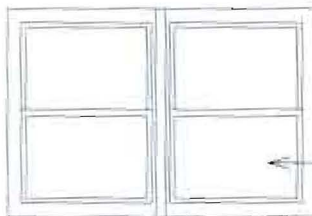
No.	Description	Date

North Elevation 52 & 53		A-3
Project number	20053	
Date	022805	
Drawn by	Author	
Checked by	Checker	
Scale 1/4" = 1'-0"		

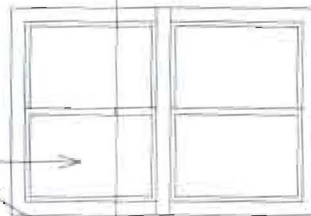
1
A-9

← EXISTING ASPHALT SHINGLES TYP →

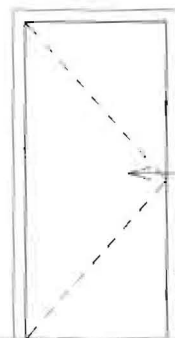
Roof
18' - 0"



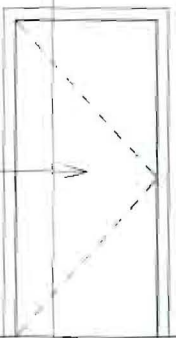
← EXISTING WINDOWS →



Second Floor
9' - 0"



← EXISTING DOORS →



First Floor
0' - 0"

1 South
1/4" = 1'-0"

Foundation
-3' - 6"

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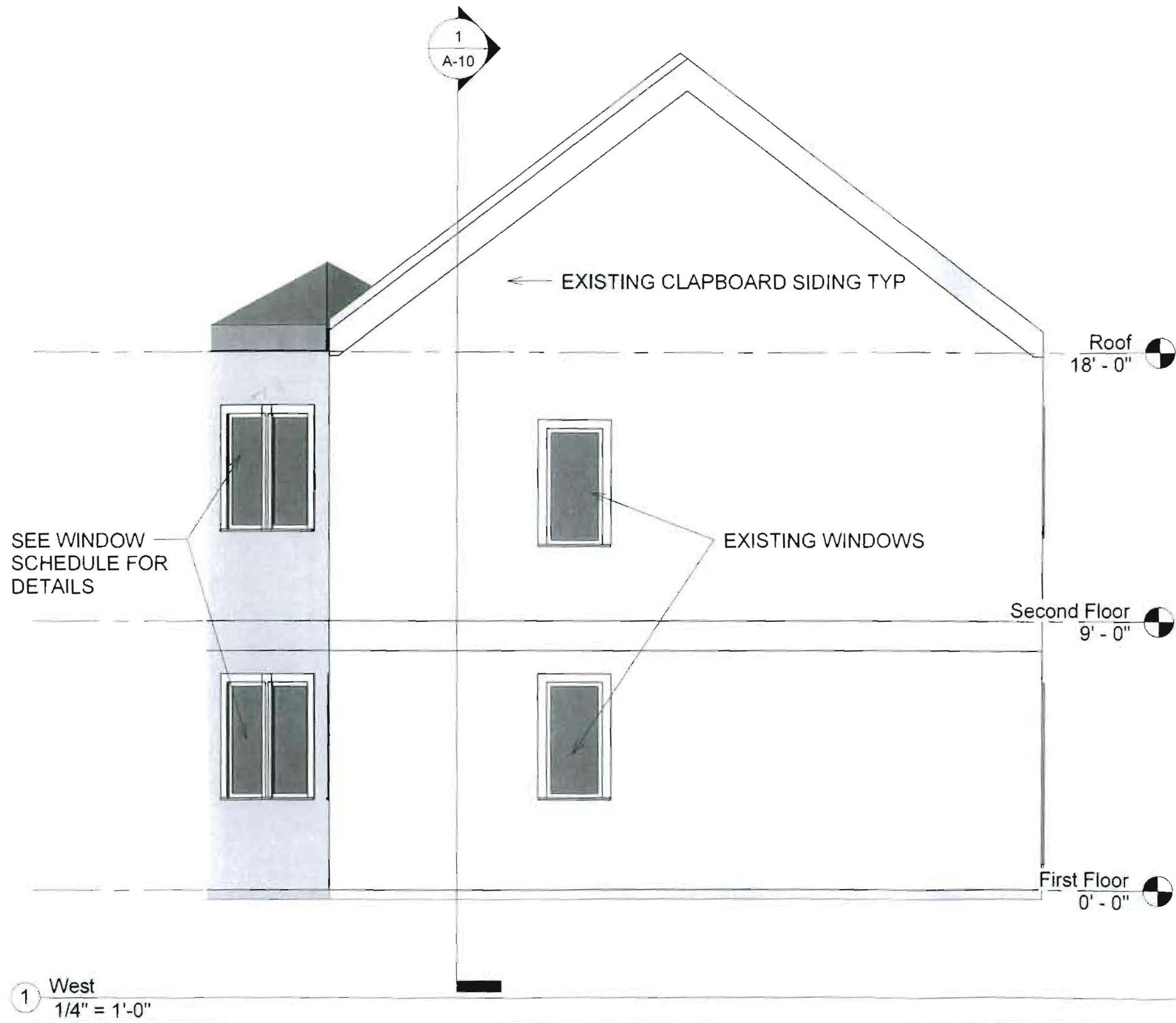
No.	Description	Date

South Elevation Units 52 & 53

Project number 20053
Date 022805
Drawn by George Schuman
Checked by Checker

A-4

Scale 1/4" = 1'-0"



1 West
1/4" = 1'-0"

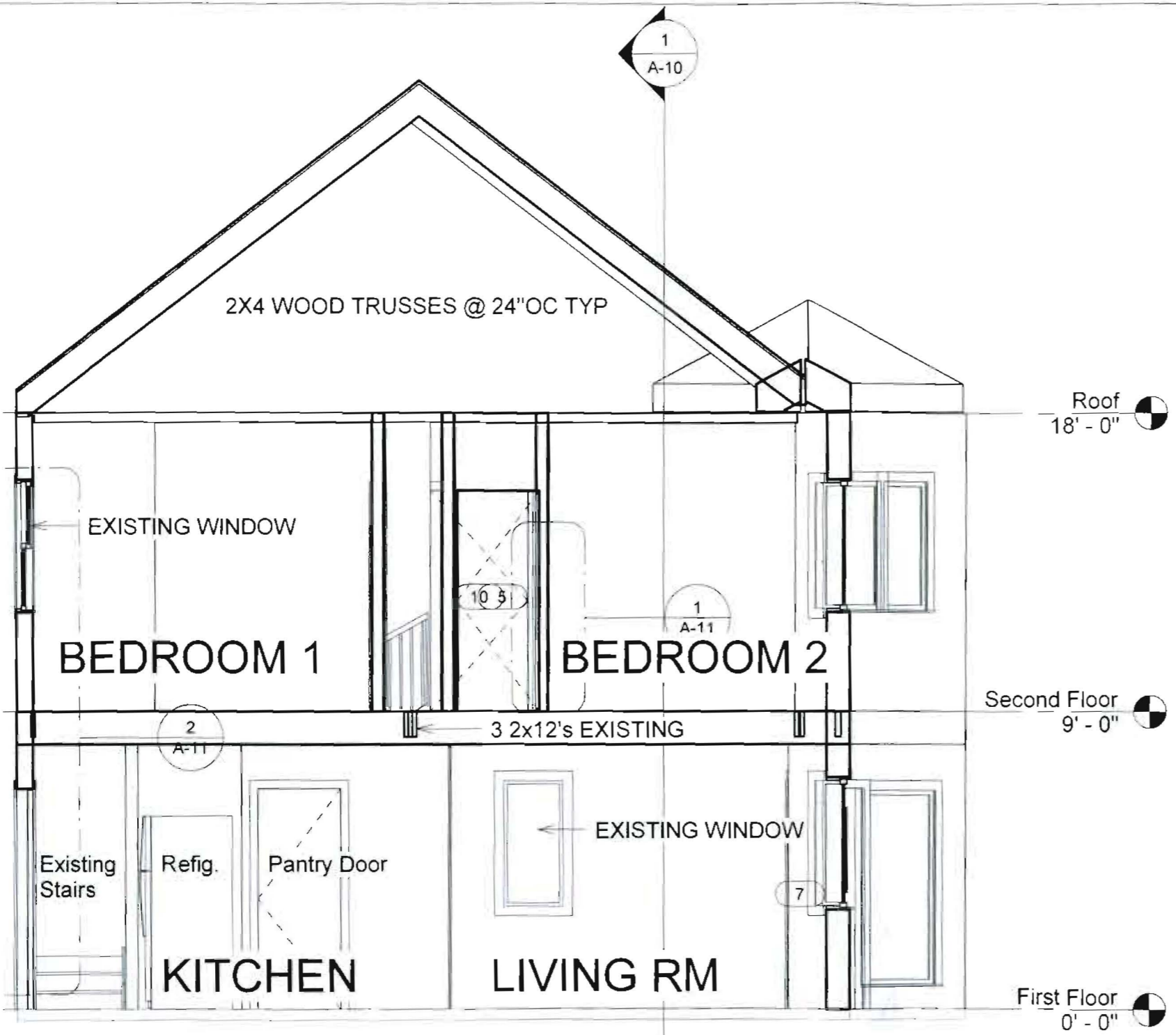
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No.	Description	Date

West Elevation Units 52 & 53

Project number	20053	A-5
Date	022805	
Drawn by	George A. Schuman	
Checked by	Checker	
Scale		1/4" = 1'-0"



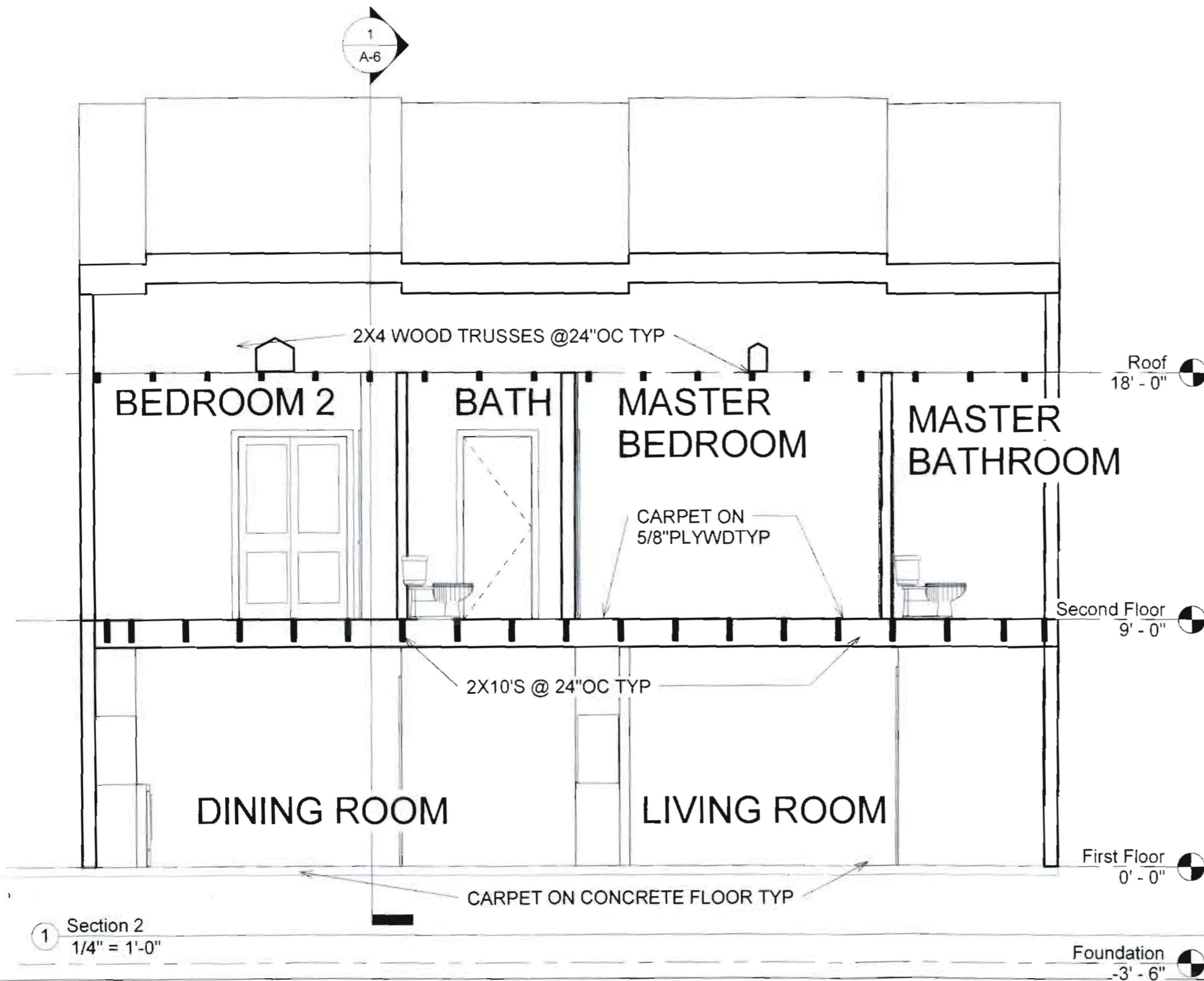
1 Section 1
1/4" = 1'-0"

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No.	Description	Date

Section 1 Units 52 & 53		
Project number	20053	A-6
Date	022805	
Drawn by	George A. Schuman	
Checked by	Checker	
Scale 1/4" = 1'-0"		



1 Section 2
1/4" = 1'-0"

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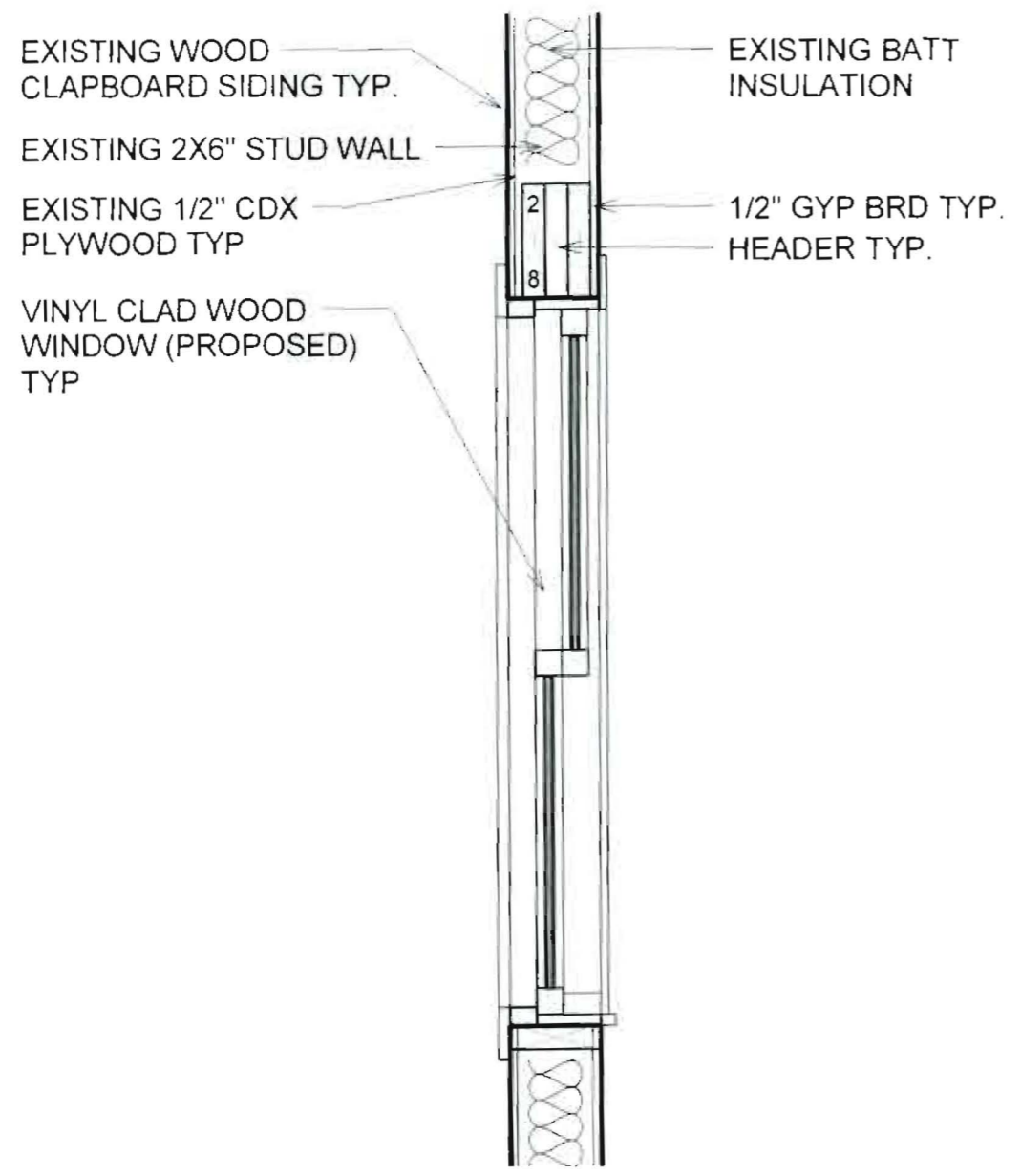
No.	Description	Date

Section 2 Units 52 & 53

Project number 20053
Date 022805
Drawn by George A. Schuman
Checked by Checker

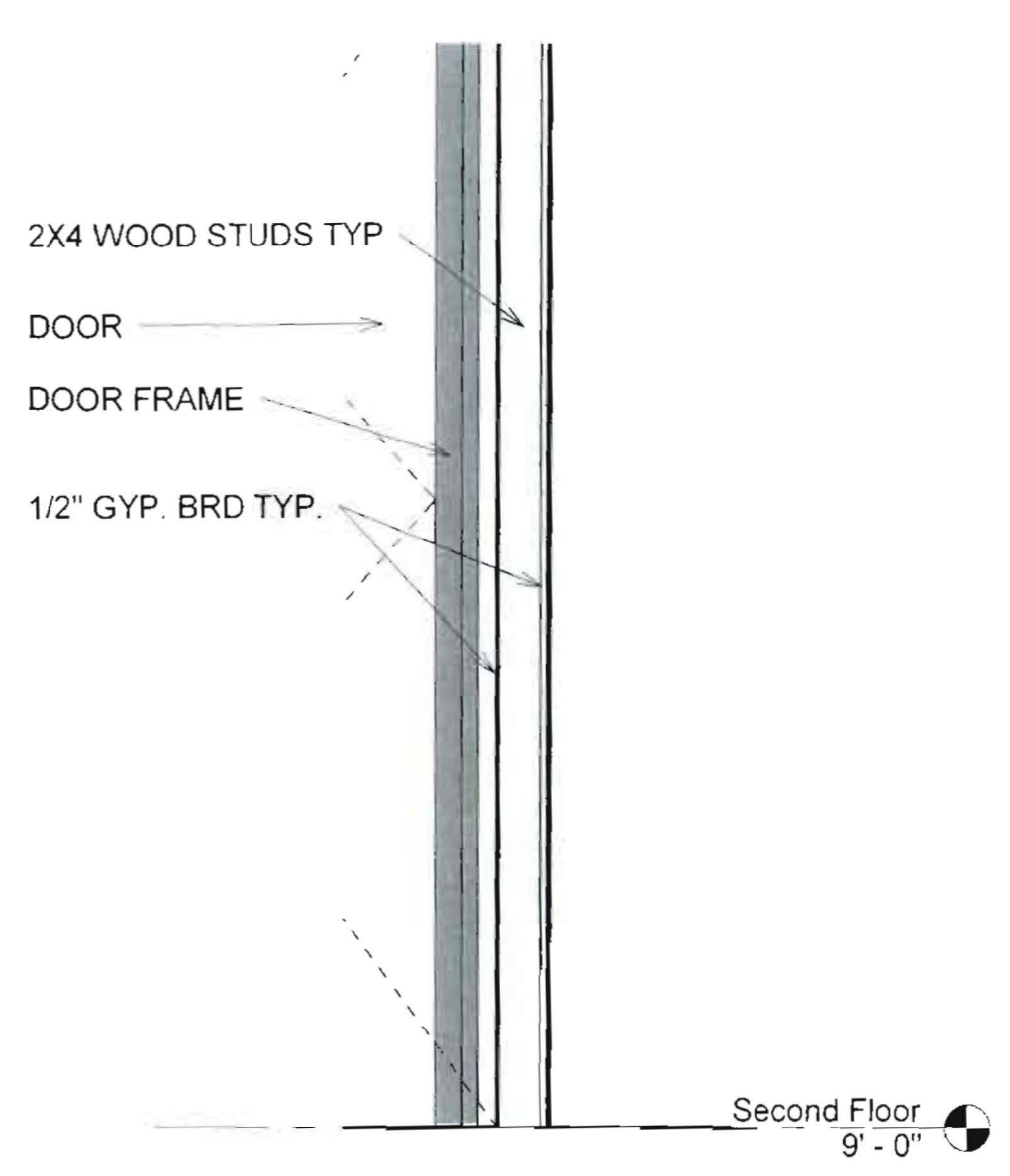
A-7

Scale 1/4" = 1'-0"



TYP. 6" EXTERIOR WALL & WINDOW

2 Callout of Section 1
1" = 1'-0"



TYP. 4 1/2" INTERIOR PARTITION

1 Callout (2) of Section 1
1" = 1'-0"

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No.	Description	Date

Wall Sections Units 52 & 53

Project number 20053
Date 022805
Drawn by George Schuman
Checked by Checker

A-8

Scale 1" = 1'-0"

Door Schedule								
Door Number	Door Type	Door Size	Manufacturer	Fire Rating	Description	Finish		
						Door	Frame	Comments
1	39	36" x 80"	-----	-	EGRESS	PTD	PTD	EXISTING
2	39	36" x 80"	-----	-	EGRESS	PTD	PTD	EXISTING
3	38	30" x 80"	MASONITE		6 PANEL	PTD	PTD	PANTRY
4	146	30" x 80"	-----		EGRESS	PTD	PTD	EXISTING
5	146	30" x 80"	-----		EGRESS	PTD	PTD	EXISTING
6	38	30" x 80"	MASONITE		6 PANEL	PTD	PTD	1/2 BATH
7	61	36" x 84"	MASONITE		3 PANEL	PTD	PTD	BI-FOLD
8	61	36" x 84"	MASONITE		3 PANEL	PTD	PTD	BI-FOLD
9	54	48" x 80"	MASONITE		6 PANEL	PTD	PTD	SLIDING
10	54	48" x 80"	MASONITE		6 PANEL	PTD	PTD	SLIDING
11	38	30" x 80"	MASONITE		6 PANEL	PTD	PTD	BEDRM 1
12	38	30" x 80"	MASONITE		6 PANEL	PTD	PTD	BEDRM 2
13	38	30" x 80"	MASONITE		6 PANEL	PTD	PTD	BATHRM
14	39	36" x 80"	-----	-	EGRESS	PTD	PTD	DBL DRS
15	38	30" x 80"	MASONITE		6 PANEL	PTD	PTD	M BATH
16	54	48" x 80"	MASONITE		6 PANEL	PTD	PTD	SLIDING

Room Finish Schedule						
Room Number	Room Name	Finish				Comments
		Floor	Base	Wall	Ceiling	
1	Kitchen	CT	PTD	PTD	PTD	STAINED CABINETS
2	Pantry	CT	PTD	PTD	PTD	STAINED CABINETS
3	Dining Area	CPT	PTD	PTD	PTD	
4	Living Area	CPT	PTD	PTD	PTD	
5	Office / Family Area	CPT	PTD	PTD	PTD	
6	1/2 Bath	CT	PTD	PTD	PTD	STAINED CABINETS
7	Closet	CPT	PTD	PTD	PTD	SHELF / BAR
8	Utility Room	CT	PTD	PTD	PTD	GALV DRIP PAN
9	Bedroom 1	CPT	PTD	PTD	PTD	
10	Closet 1	CPT	PTD	PTD	PTD	SHELF / BAR
11	Closet 2	CPT	PTD	PTD	PTD	SHELF / BAR
12	Bedroom 2	CPT	PTD	PTD	PTD	
13	Hallway	CPT	PTD	PTD	PTD	INCLUDES STAIRS
16	Full Bath	CT	PTD	PTD	PTD	TILE TUB SURROUND
15	Master Bedroom	CPT	PTD	PTD	PTD	
16	Master Bathroom	CT	PTD	PTD	PTD	TILE TUB SURROUND
14	Bathroom	CT	PTD	PTD	PTD	TILE TUB SURROUND
17	WALK-IN CLST	CPT	PTD	PTD	PTD	SHELF / BAR & STORAGE SYS

Window Schedule							
Type Mark	Rough Opening		Manufacturer	Model	Material	Finish	Comments
	Width	Height					
29	2' - 0"	4' - 0"	ANDERSON	CW24LR	WOOD	VINYL CLD	LOW E GLAZING
37	3' - 0"	4' - 0"	-----	-----	WOOD	PTD	EXISTING
54	3' - 0"	6' - 0"	-----	-----	WOOD	PTD	EXISTING

CT=CERAMIC TILE CPT=CARPET PTD=PAINTED

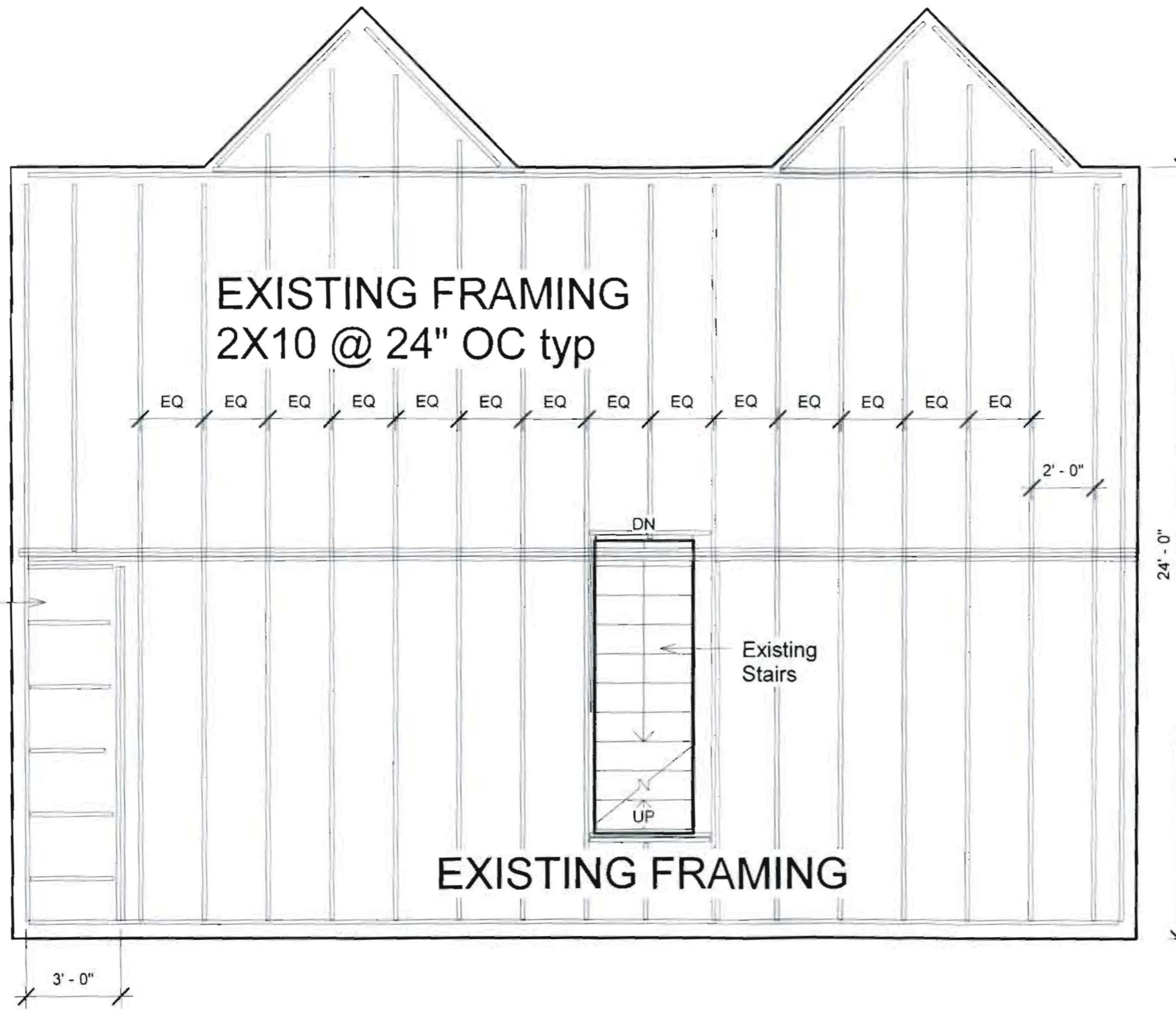
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**Shoreline Design Studio,
 LLC Cape Elizabeth, ME
 207-799-0366**

No.	Description	Date

Door, Wind. & Rm Sched -52 & 53

Project number	20053	A-9
Date	022805	
Drawn by	George A. Schuman	
Checked by	Checker	
Scale		



NOTE

NO LOAD BEARING WALLS HAVE BEEN REMOVED OR MODIFIED

ALTHOUGH NOT SPECIFICALLY REQUIRED 2X6 STUDS ADDED ON FIRST FLOOR LEVEL IN WALLS UNDER LONGITUNAL BEAM AS A PRECAUTION FOR STIFFENING.

2X10 framing @2'-0" OC in area of demolished stairway

1 Second Floor Framing
1/4" = 1'-0"

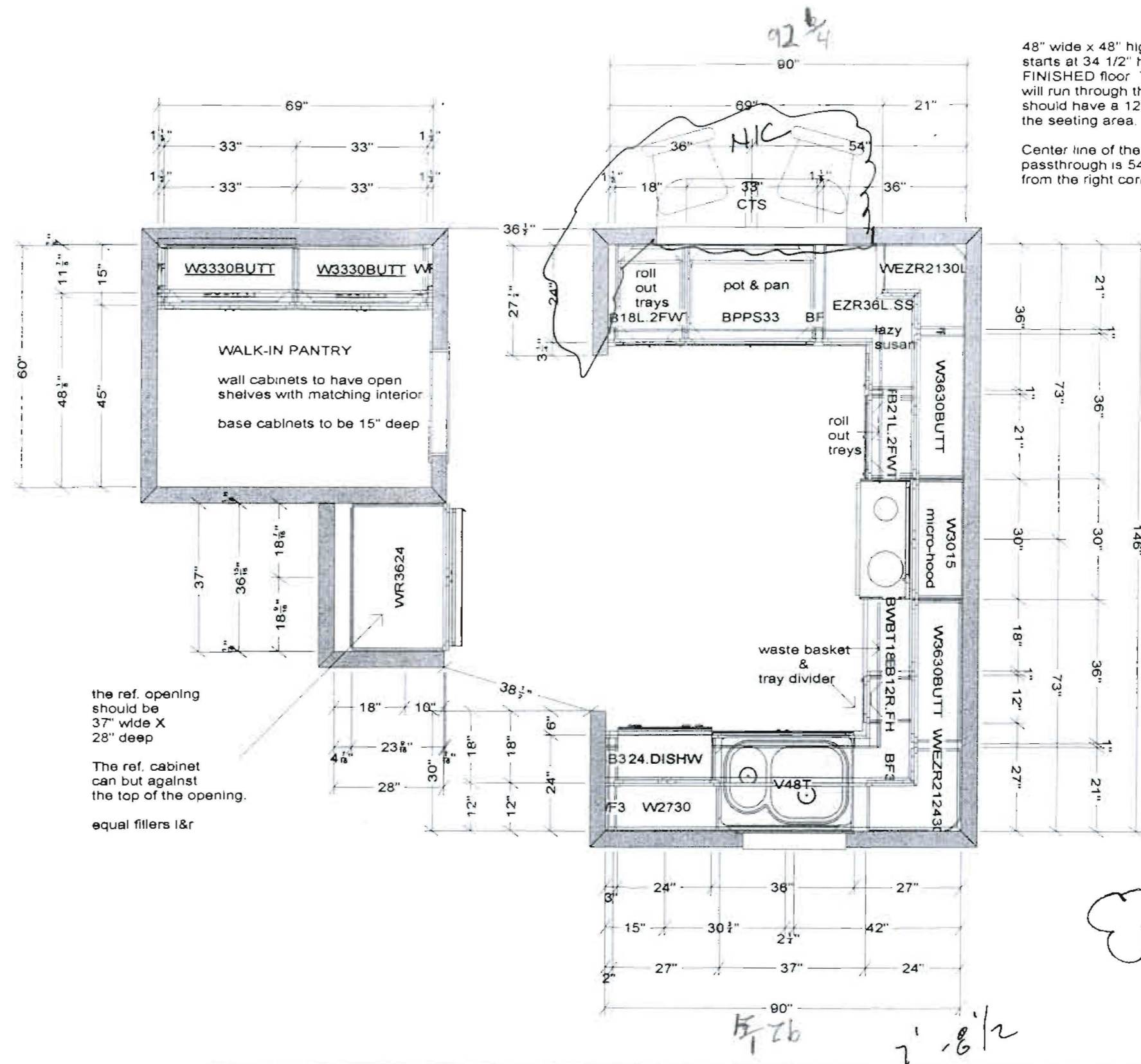
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No.	Description	Date

2nd Fr Clg. & Roof Framing 52- 53
 Project number 20053
 Date 022805
 Drawn by George A. Schuman
 Checked by Checker
S-1
 Scale 1/4" = 1'-0"



48" wide x 48" high passthrough starts at 34 1/2" high off the FINISHED floor. The countertop will run through the opening and should have a 12" overhang for the seating area.

Center line of the passthrough is 54" from the right corner

1/14/05
EAS

135

1'-3"

No SCALE

the ref. opening should be 37" wide X 28" deep
The ref. cabinet can but against the top of the opening.
equal fillers l&r

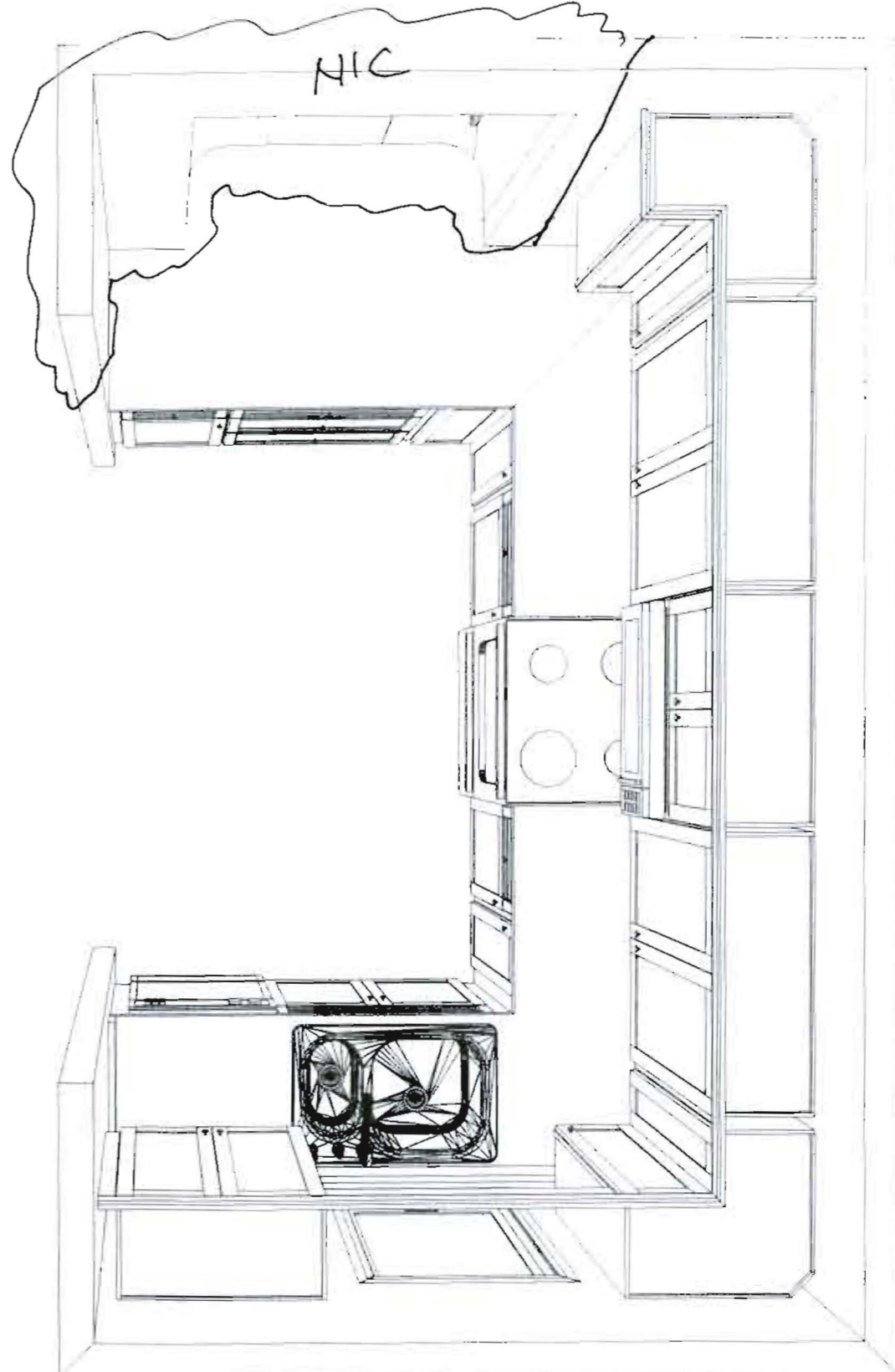
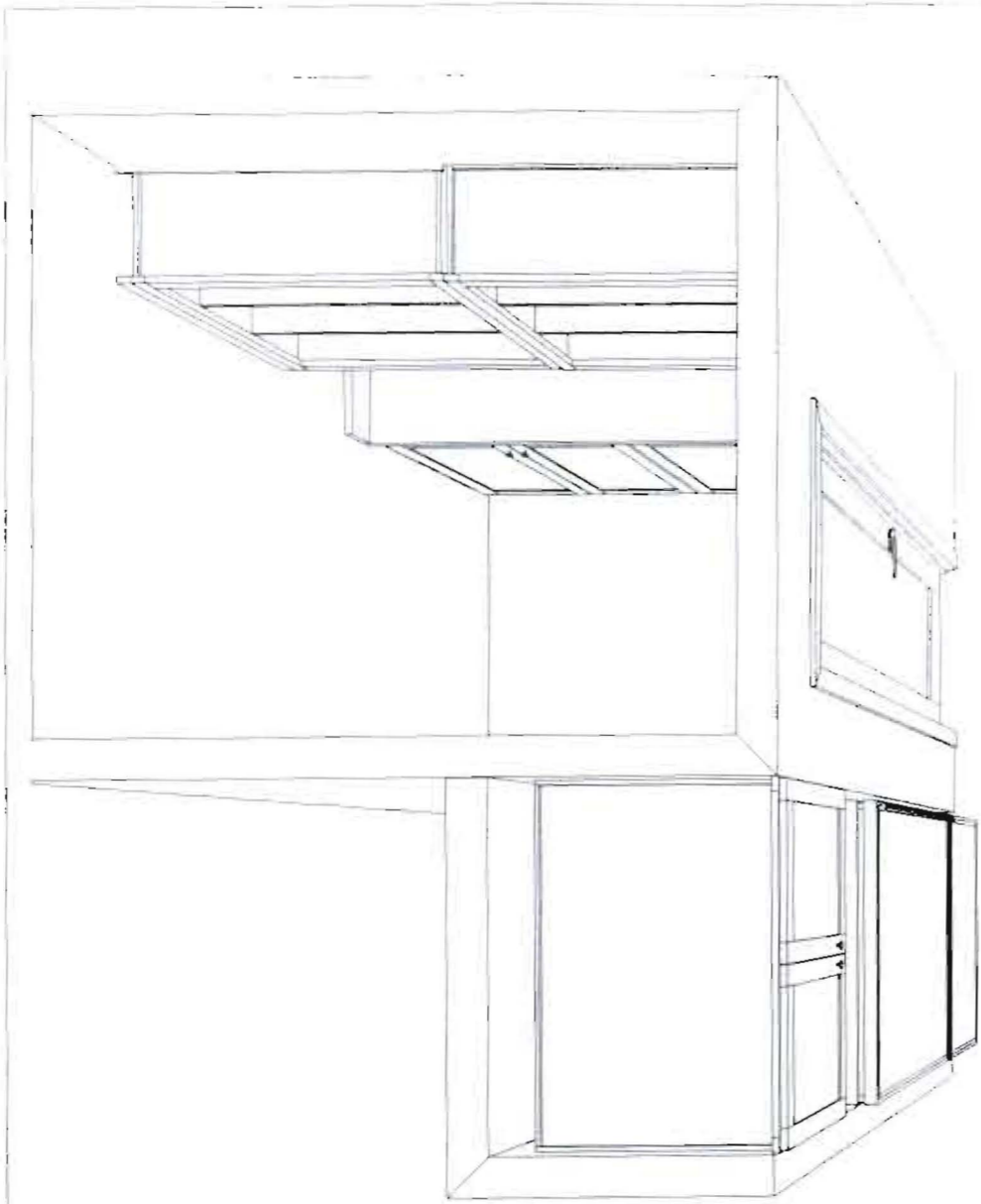
All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.



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Designed: 1/12/2005
Printed: 1/13/2005

AR-1



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 1/12/2005
Printed: 1/13/2005

AR-2



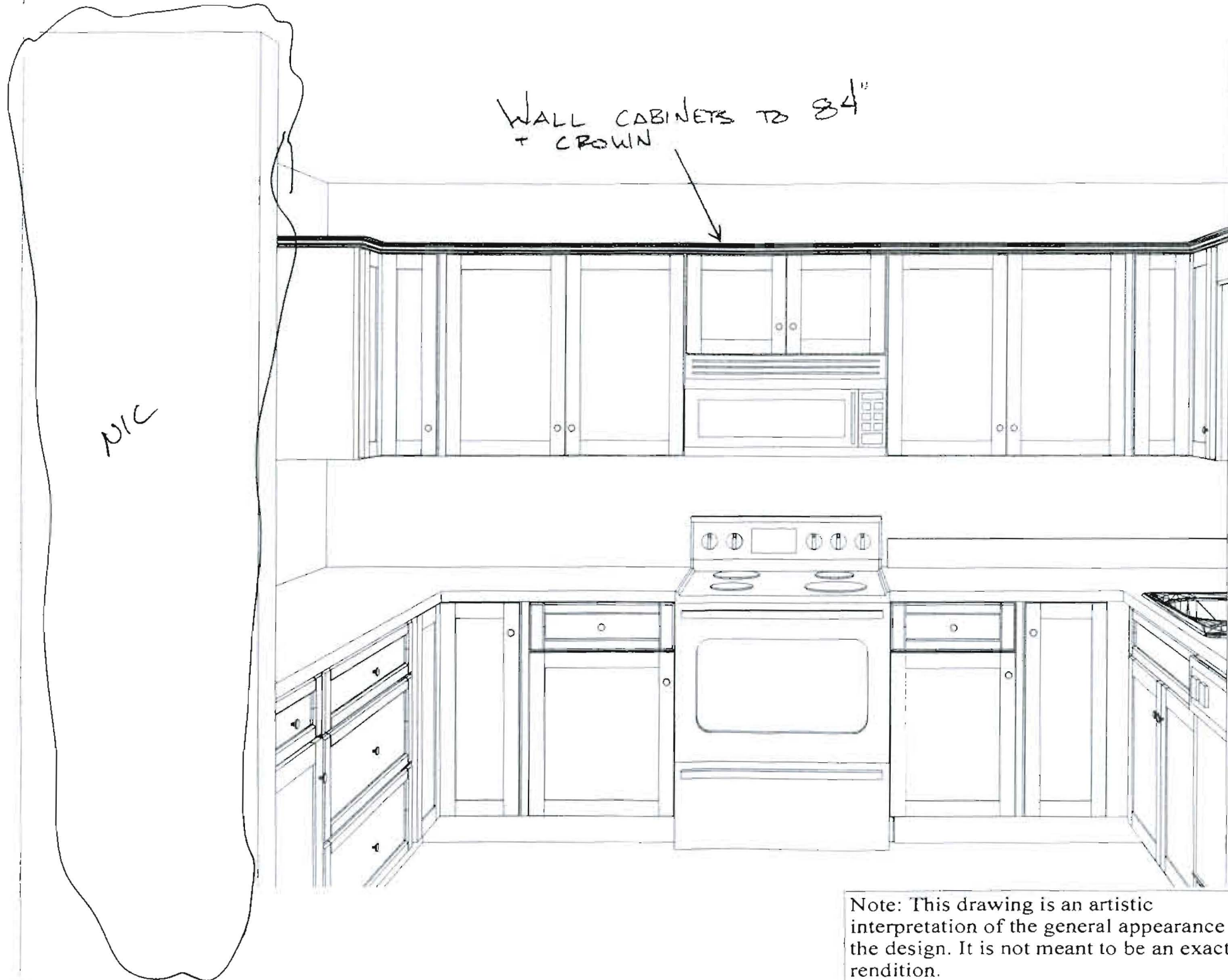
Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

SOUTH ELEVATION



Designed: 1/12/2005
Printed: 1/13/2005

AR-3



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

EAST ELEVATION

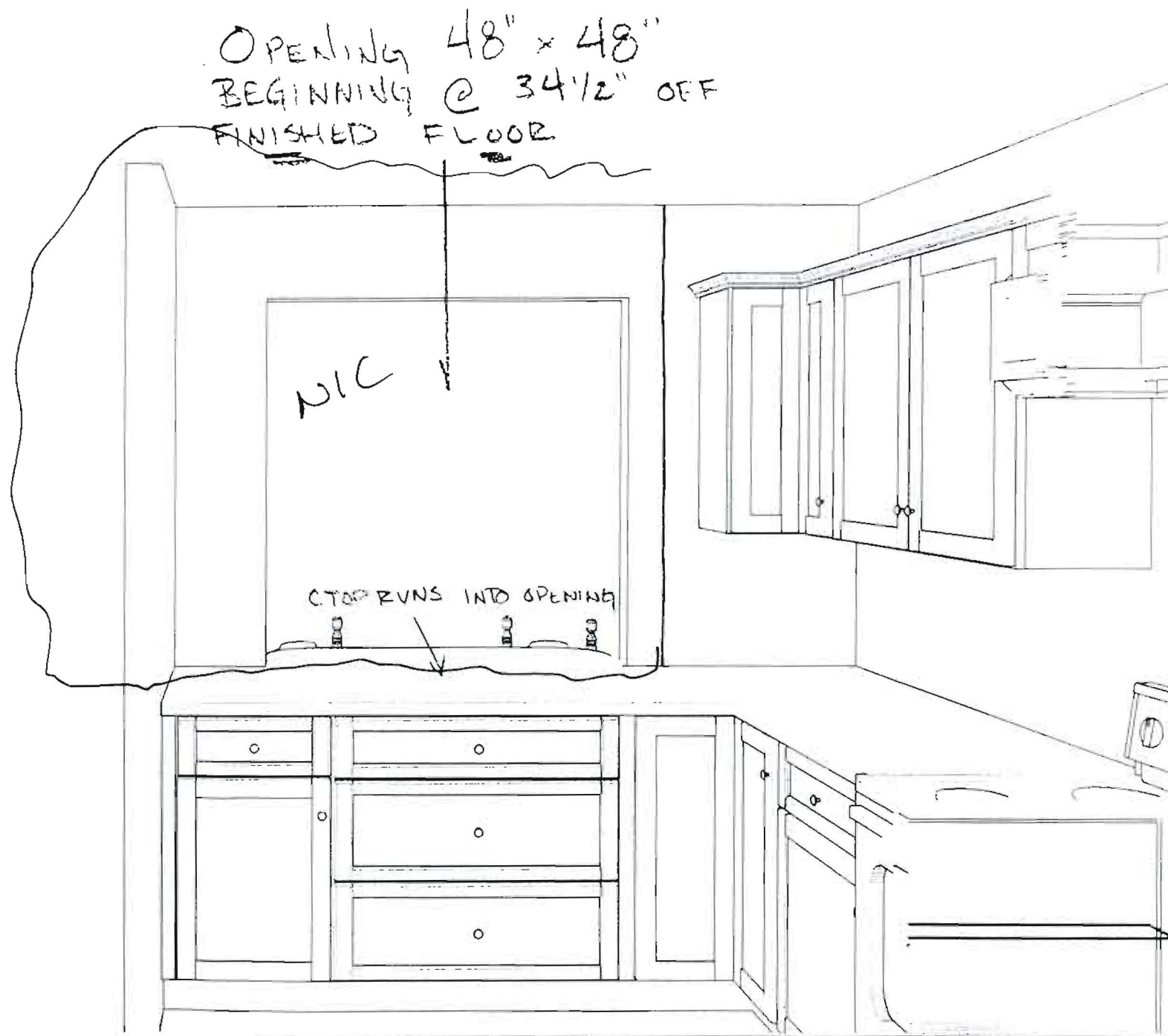
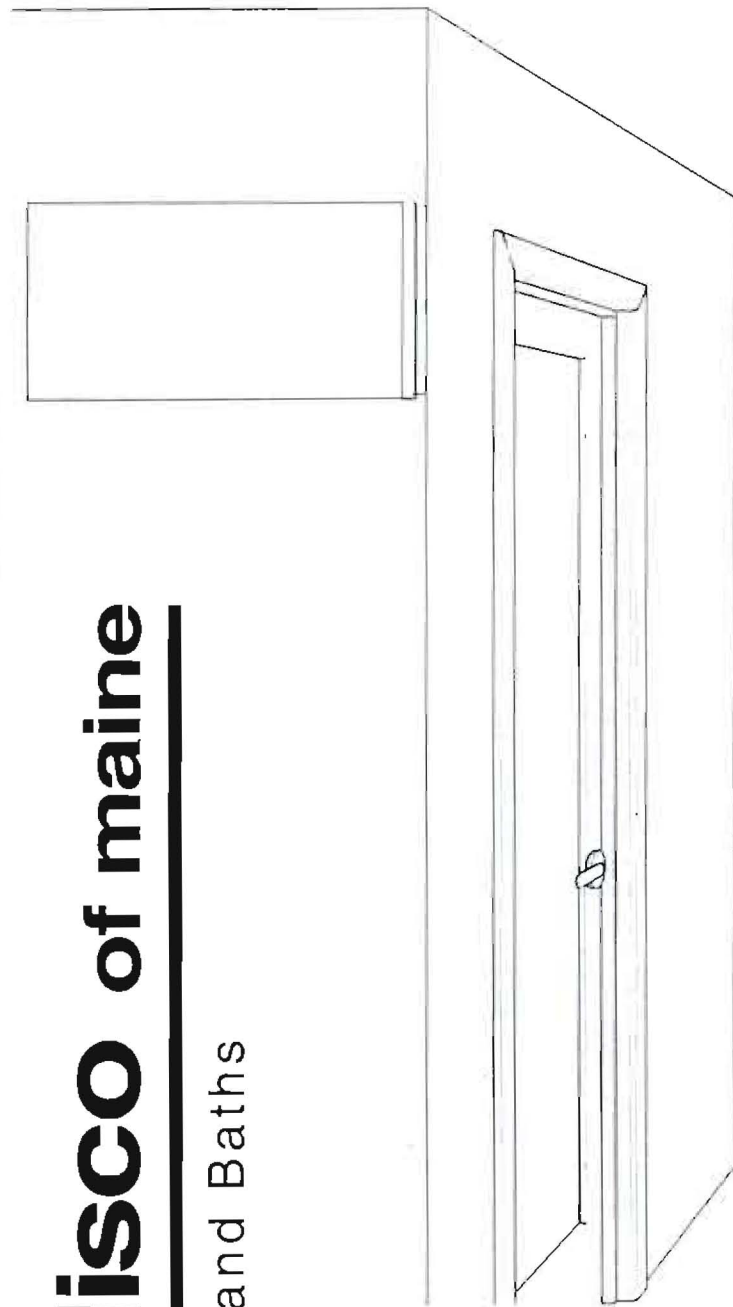


Designed: 1/12/2005
Printed: 1/12/2005

AR-4

ndisco of maine

Kitchens and Baths



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

20 20  TECHNOLOGIES

Designed: 1/12/2005
Printed: 1/13/2005

NORTH ELEVATION

AR-5

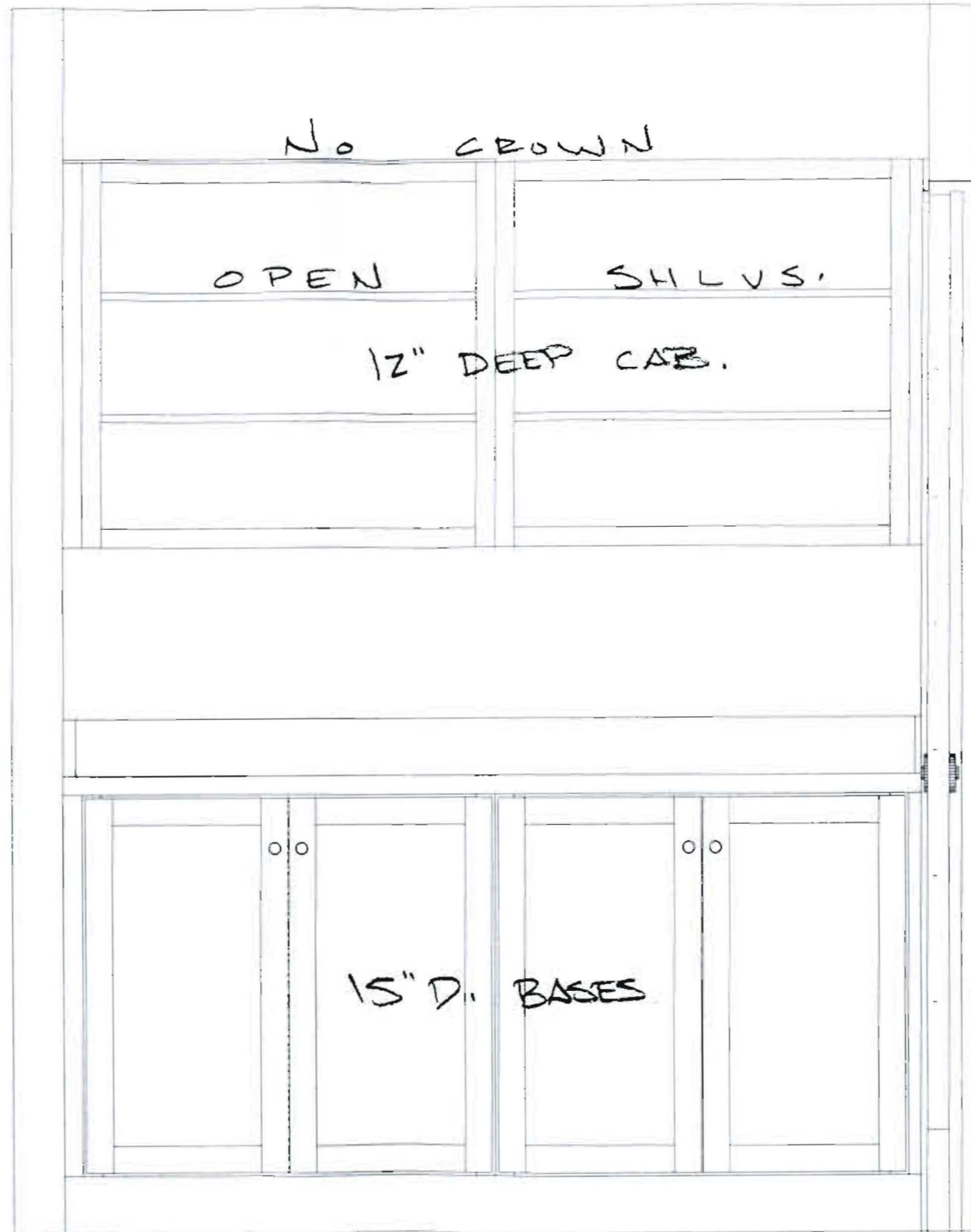
Back Cove Estates 53_52

Back Cove Estates 51_52 Model

Drawing #: 1

197 U.S. Route 1 • P.O. Box 386 • Scarborough, ME 04070-0386

(207) 883-5562 • FAX (207) 883-0149



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Designed: 1/12/2005
Printed: 1/13/2005

PANTRY - NORTH ELEVATION

AR-6

WALL CABINET TO MOUNT
TO CLG IN OPENING



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

2020i
TECHNOLOGIES

Designed: 1/12/2005
Printed: 1/13/2005

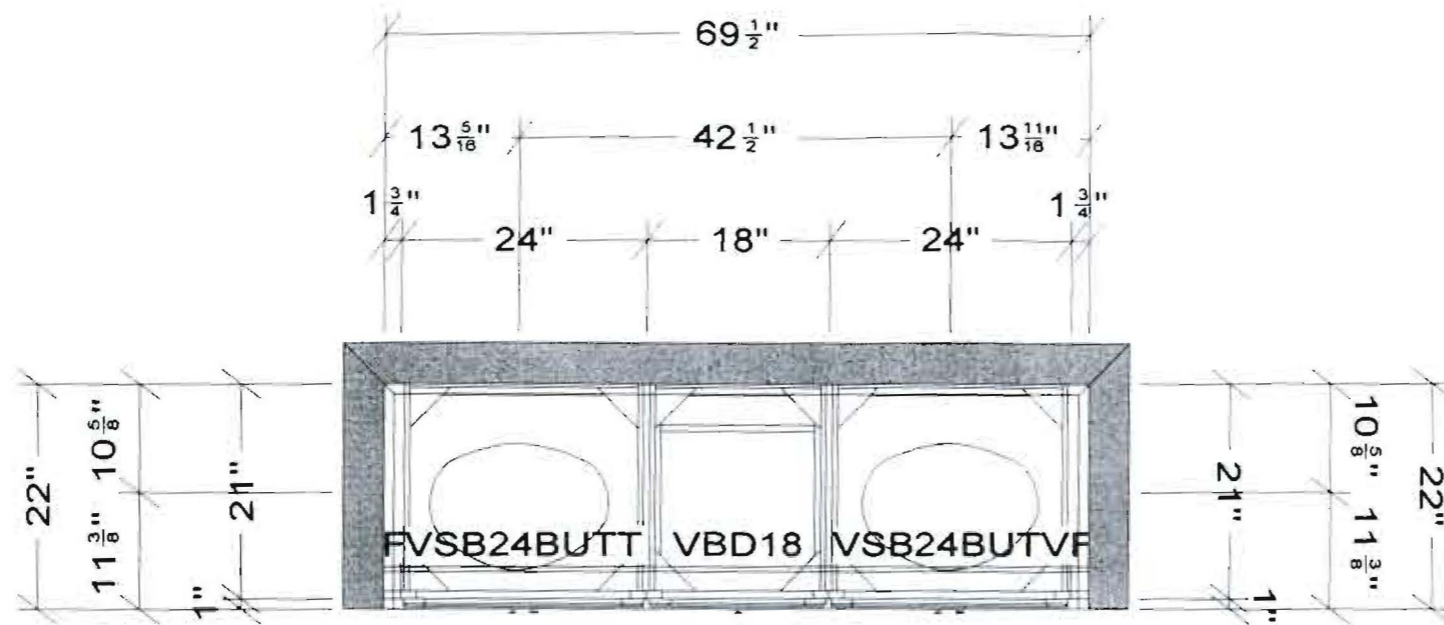
KITCHEN - YES

AR-7

Back Cove Estates 53 .52

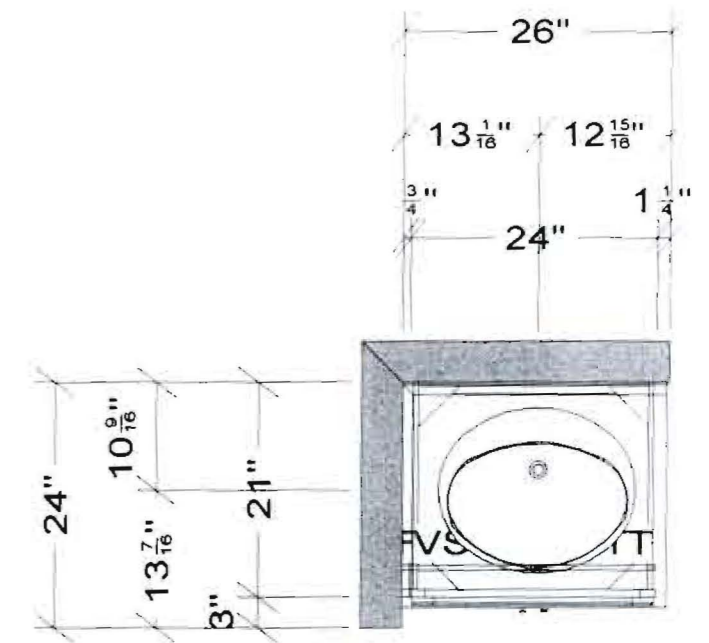
Back Cove Estates 51 .52 Model

Drawing #: 1



Master Bathroom

22" D



Guest Bathroom

25" x 22" D

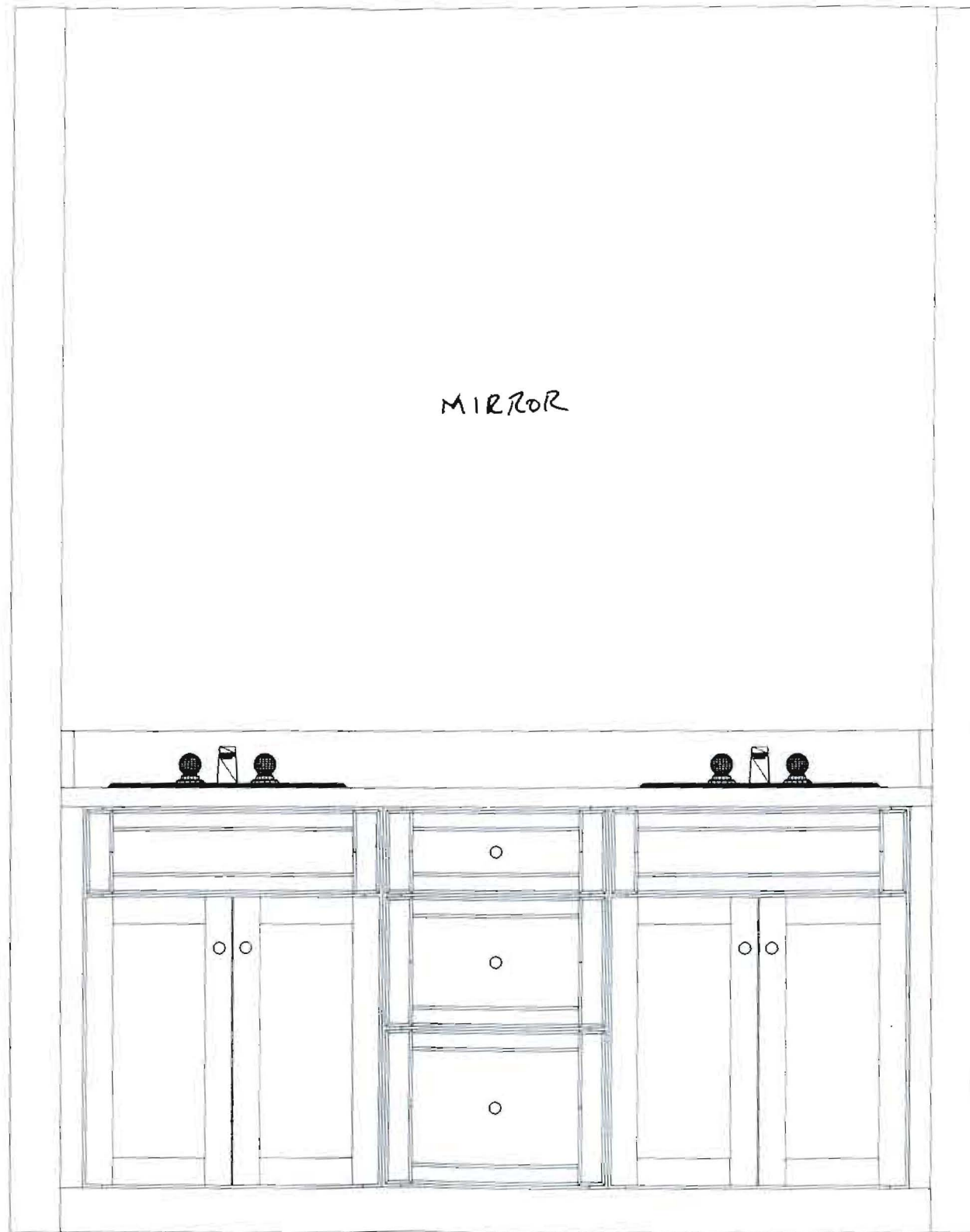
All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.



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Designed: 1/13/2005
Printed: 1/13/2005

AR-8



MIRROR

Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

MASTER BATHROOM
SOUTH ELEVATION

2020
TECHNOLOGIES

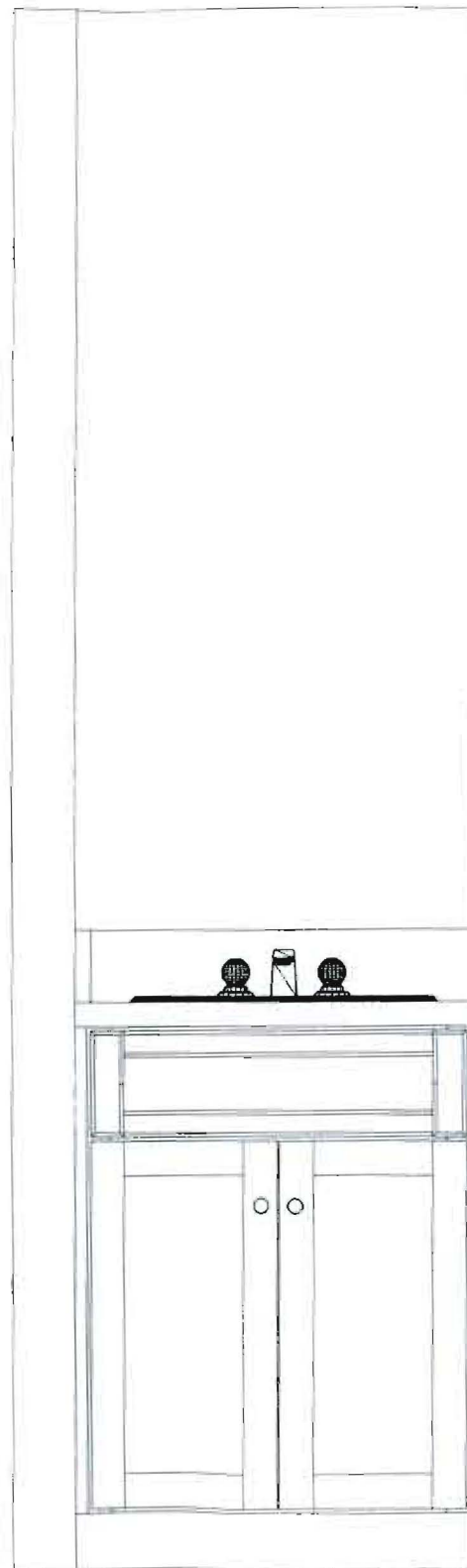
Designed: 1/13/2005
Printed: 1/13/2005

AR-9

Back Cove 53 .52 Bathrooms

Back Cove 51 .52 Bathrooms

Drawing #: 1



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

20 20
TECHNOLOGIES

Designed: 1/13/2005
Printed: 1/13/2005

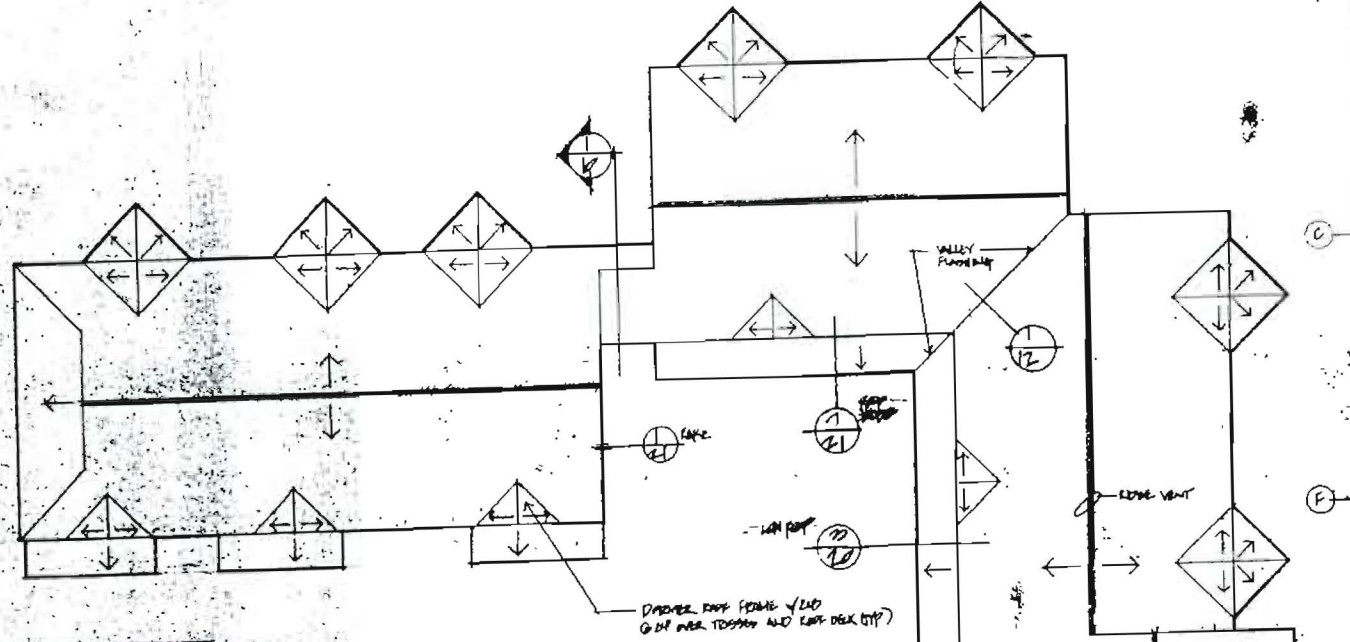
AR-10

GUEST BATHROOM
NORTH ELEVATION - PARTIAL

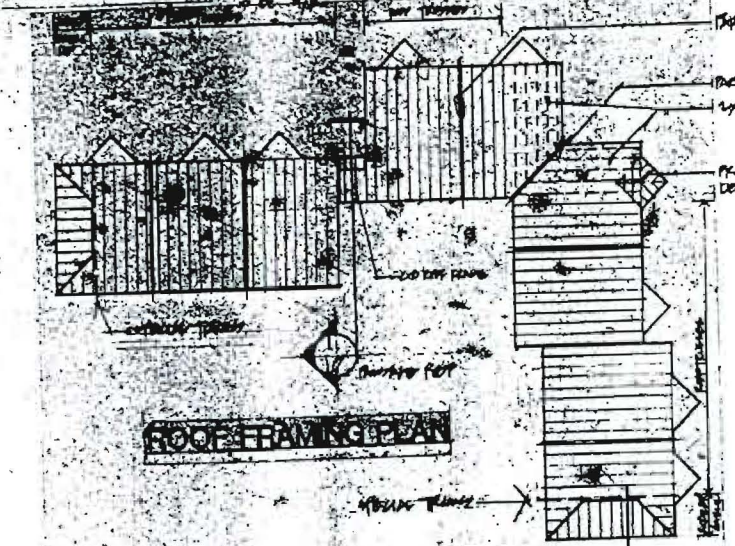
Back Cove 51 .52 Bathrooms

Back Cove 51 .52 Bathrooms

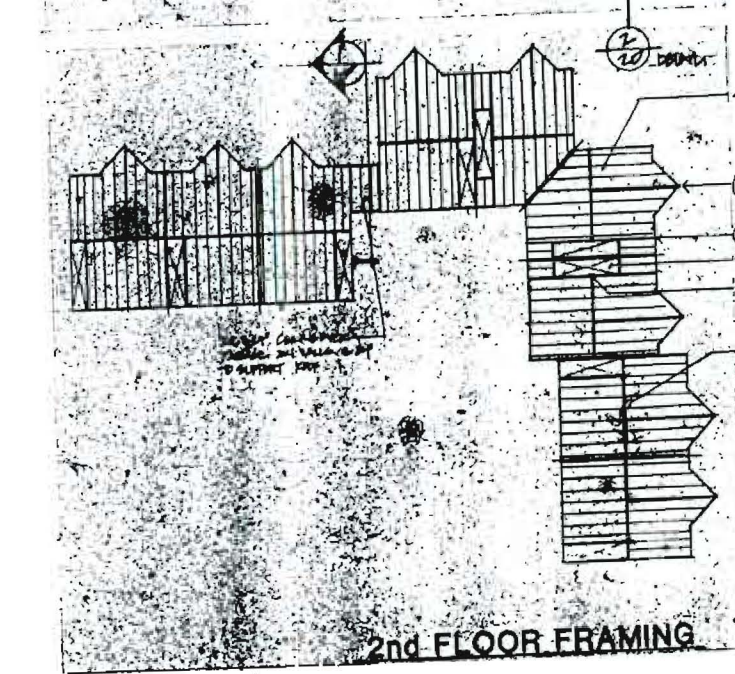
Drawing #: 1



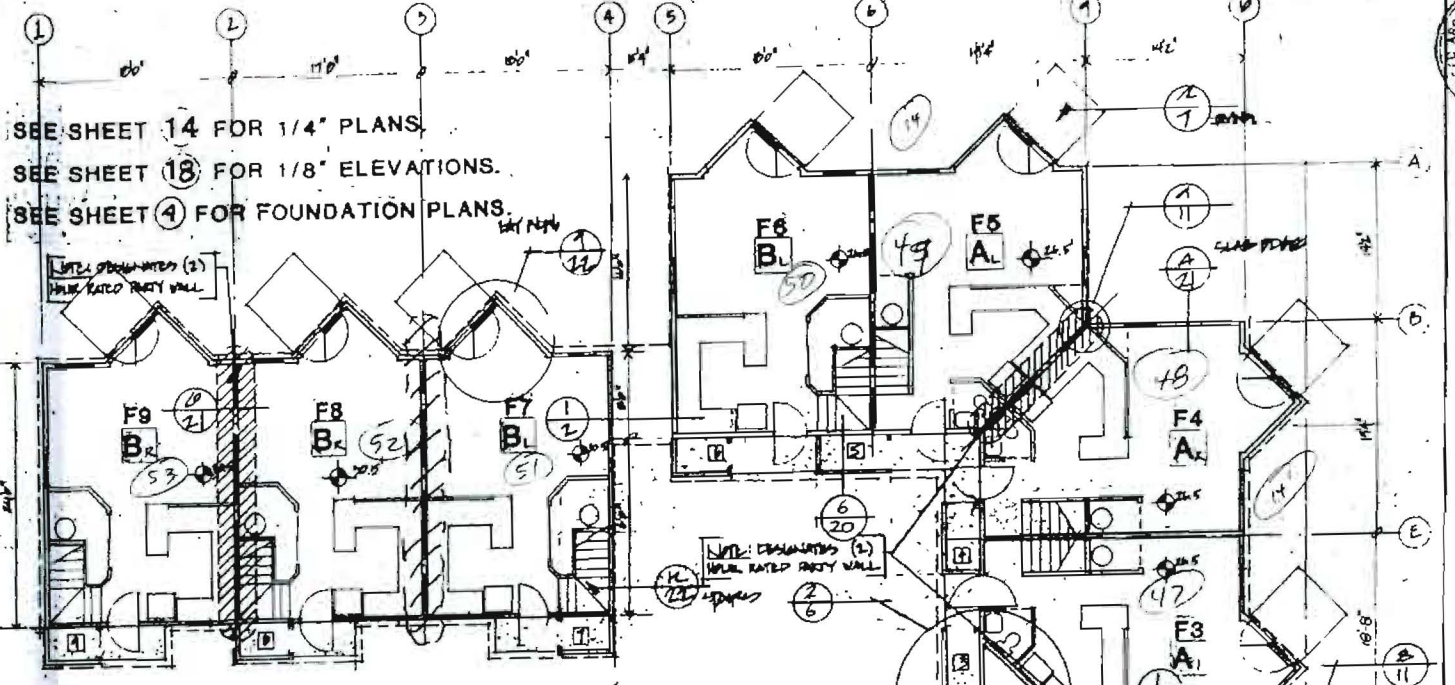
ROOF PLAN



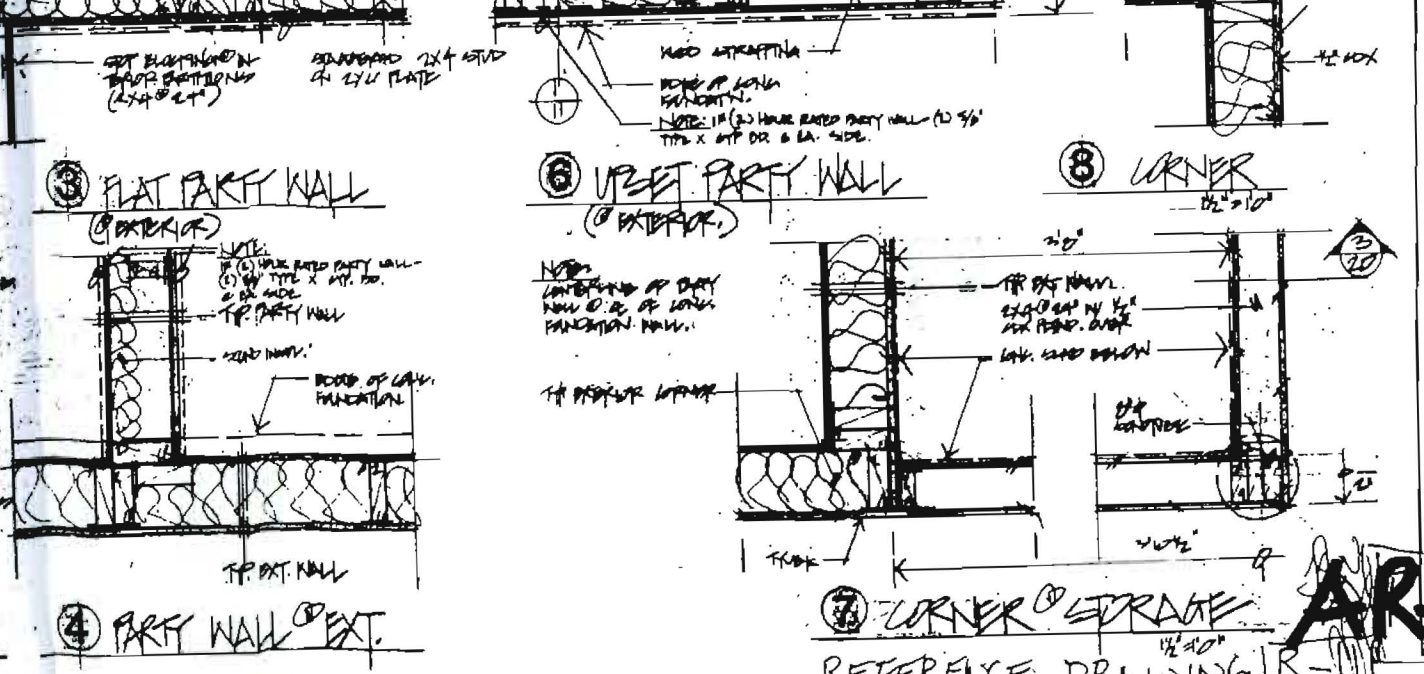
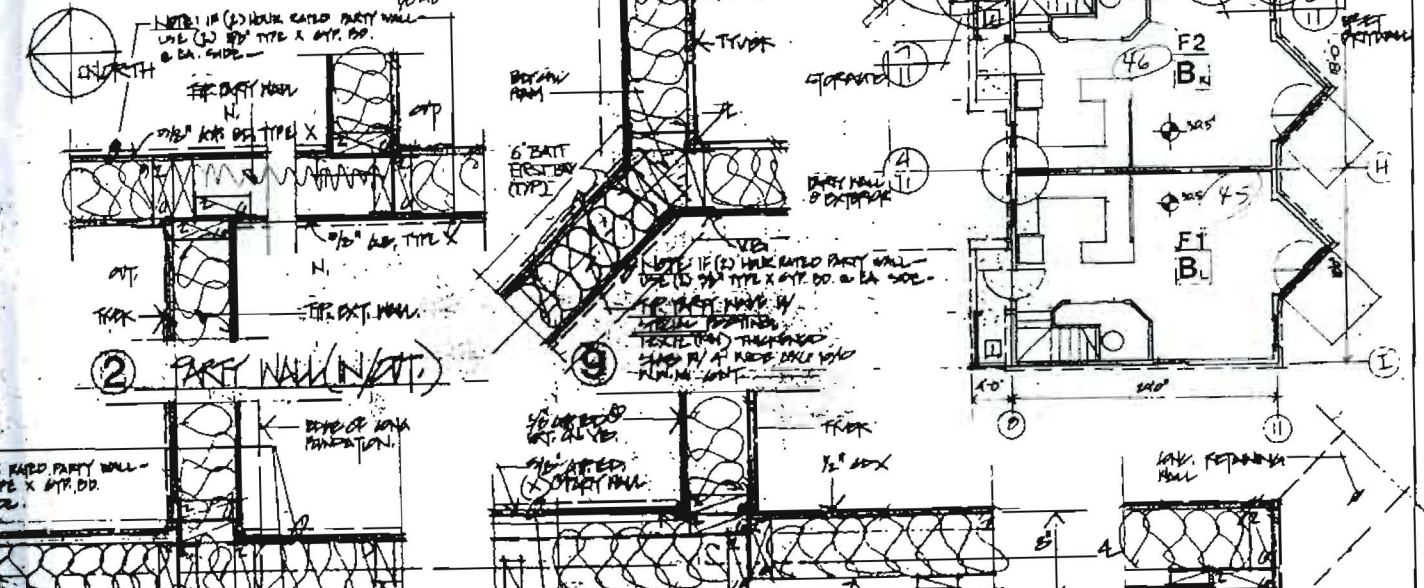
ROOF FRAMING PLAN



2nd FLOOR FRAMING



GROUND FLOOR PLAN

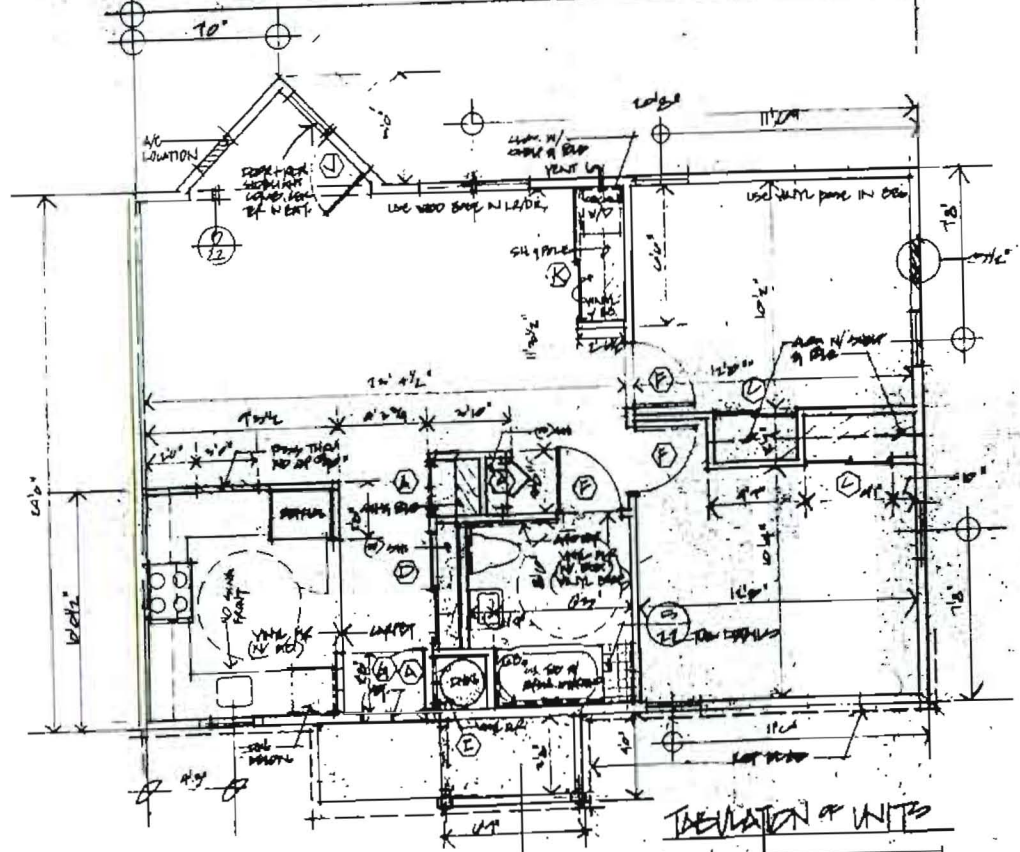
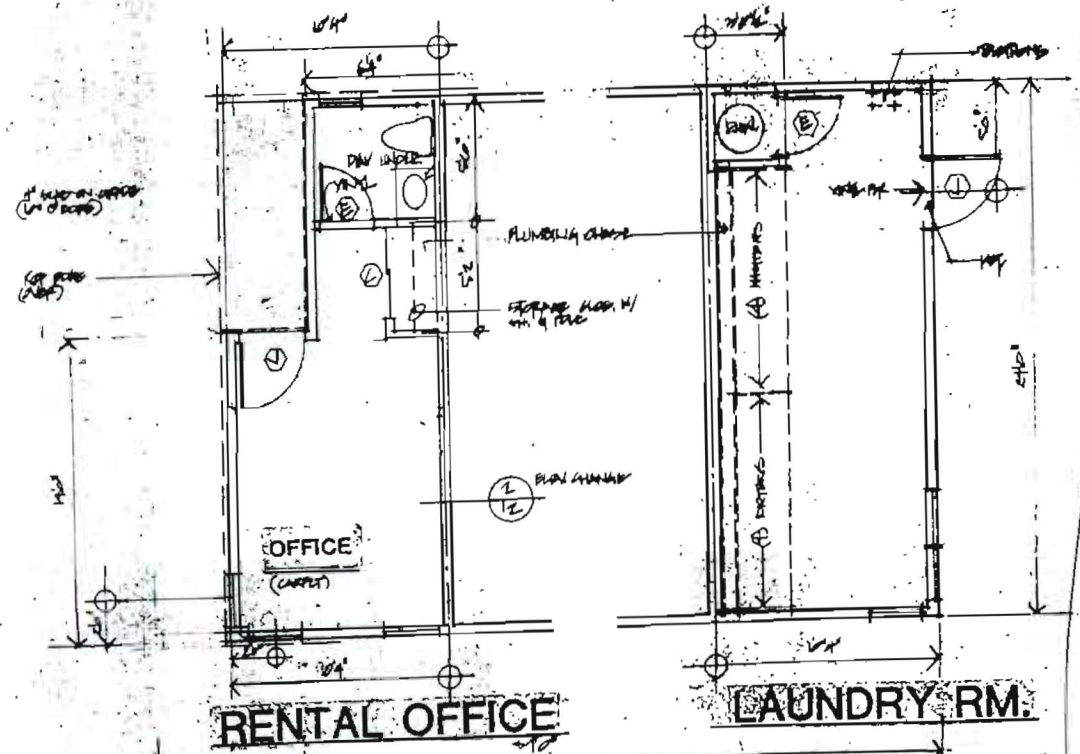


SEE SHEET 14 FOR 1/4" PLANS.
SEE SHEET 18 FOR 1/8" ELEVATIONS.
SEE SHEET 4 FOR FOUNDATION PLANS.

SCALE: AS NOTED
DATE: MAY 18, 1984
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT: BACK COVE ESTATES
ARCHITECT: DANIEL WHITE, ARNOLD & HEMMERGER INC., ARCHITECTS
2 WEST WAREHOUSES DRIVE, HANOVER, NEW HAMPSHIRE 03110-1706

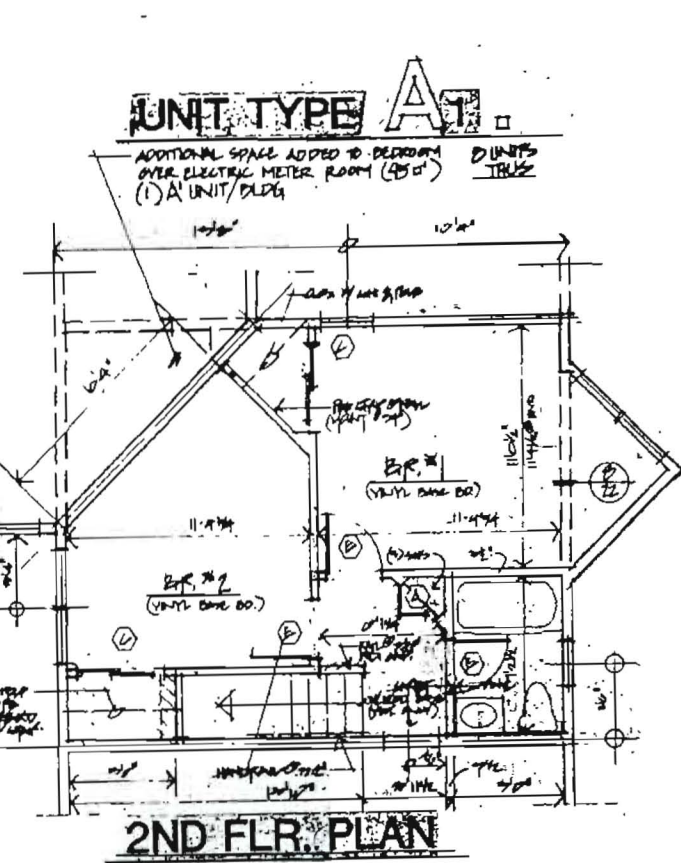
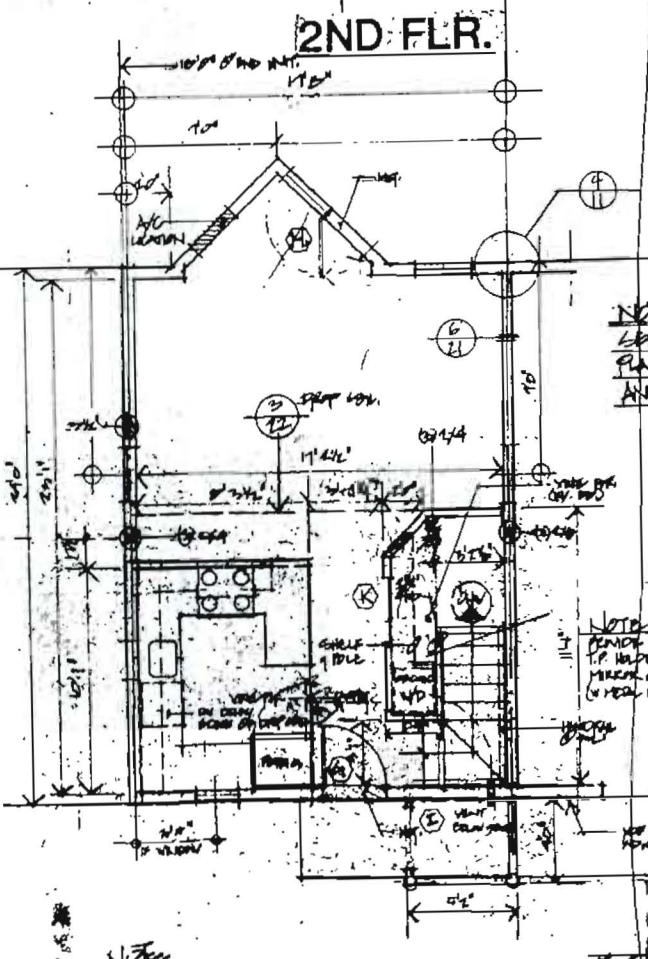
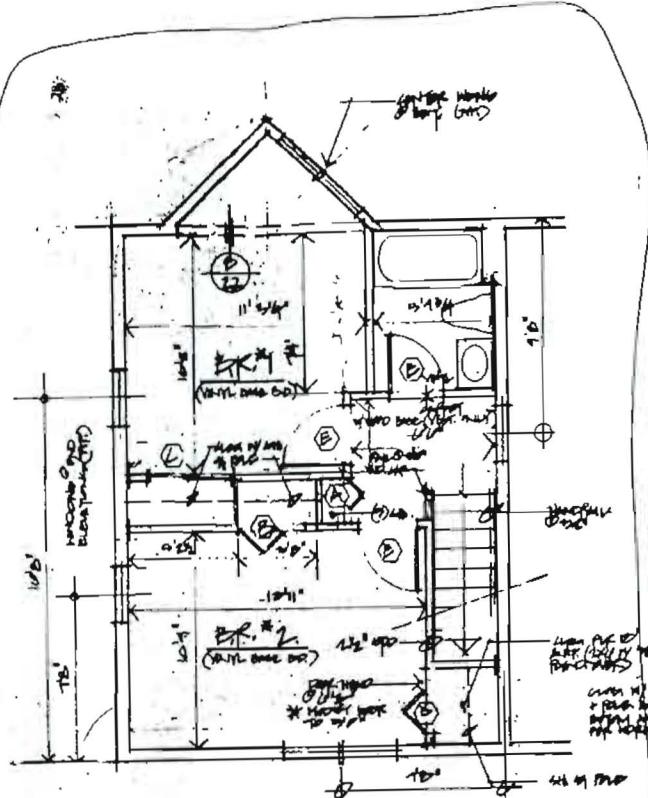
AR-11

REFERENCE DRAWING R-



IDENTIFICATION OF UNITS

AL	1	AL	1	10
AL	3	AL	1	0
BK	10	BK	11	0
CL	10	CL	1	0



UNIT TYPE A

ADDITIONAL SPACE ADDED TO BEDROOM OVER ELECTRIC METER ROOM (45 sq ft)

(1) A UNIT/BLDG

DUNITS TRUSS

- WINDOW DETAILS (11)
- DOOR SCHEDULE & DETAILS (13)
- BAY WINDOW DETAILS (12)

- KEY TO SYMBOLS**
- (B) DOOR TYPE
 - (RN) CROWN MOLDING
 - NEE NEED NOT BE DRAWN
 - BK BATH ROOM (WITH ALL SHOWER VENTS)
 - CL CLOSET
 - AC AIR CONDITIONING
 - CHILLER TO FACE OF WINDOW

NOTES

SEE PLAN (12) FOR 1/2" x 1/2" PLAN/BAY WINDOW OF KITCHENS AND BATHS.

NOTES

FOR UNIT TYPE B UNITS, PLANS FOR KITCHENS AND BATHS.

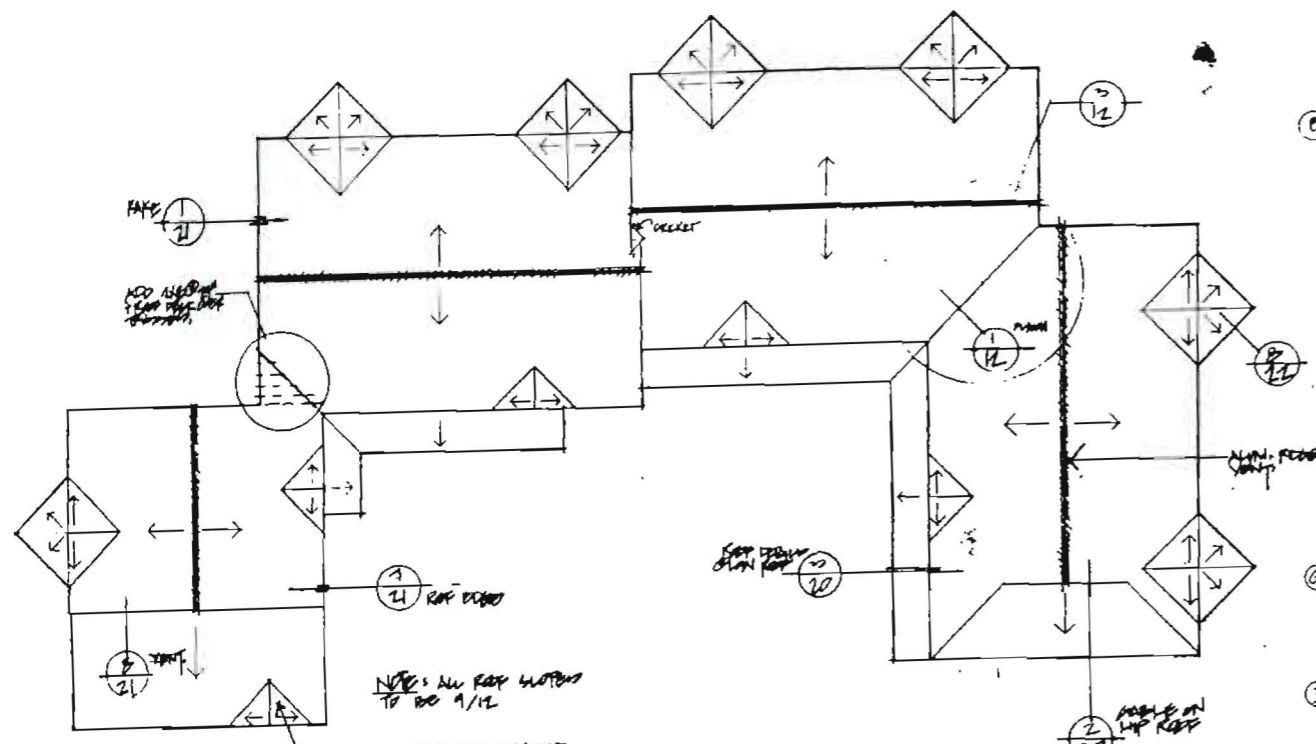
SEE PLAN (12) FOR 1/2" x 1/2" PLAN/BAY WINDOW OF KITCHENS AND BATHS.

UNIT TYPE B

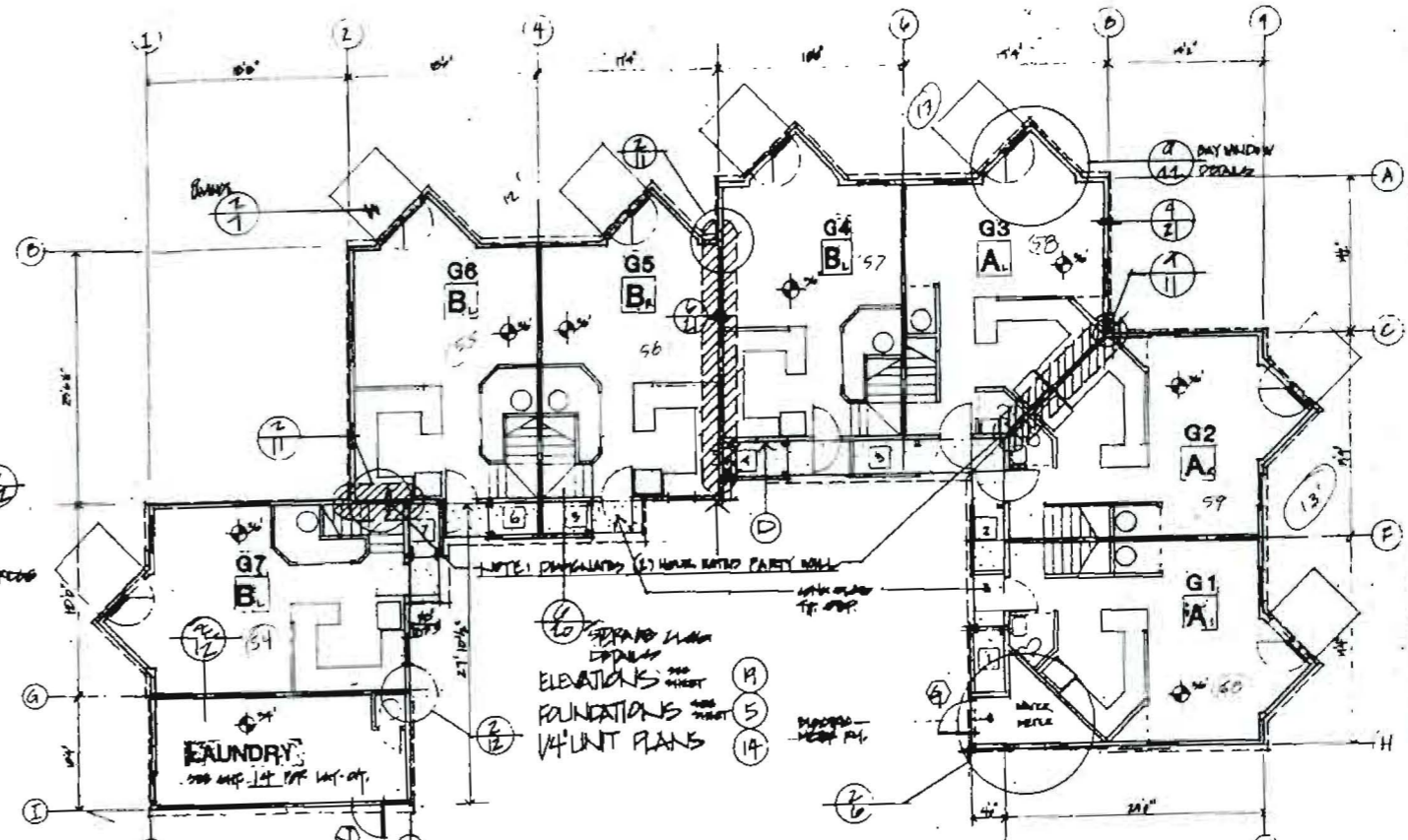
UNIT TYPE A

REFERENCE DRAWING R-12

AR-12



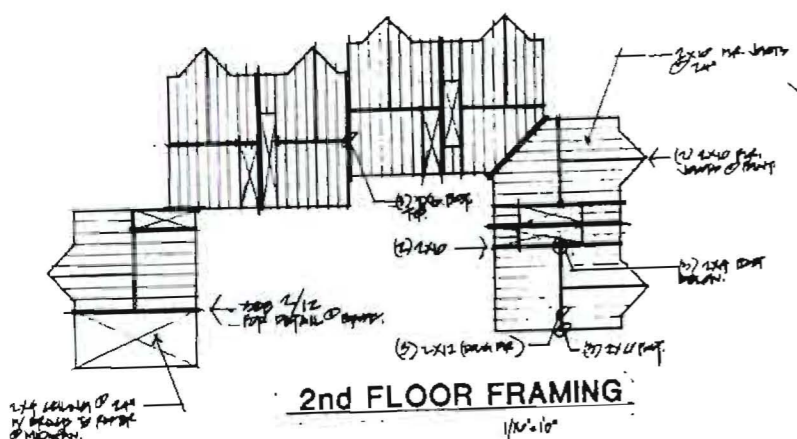
ROOF PLAN
1/8" = 1'-0"



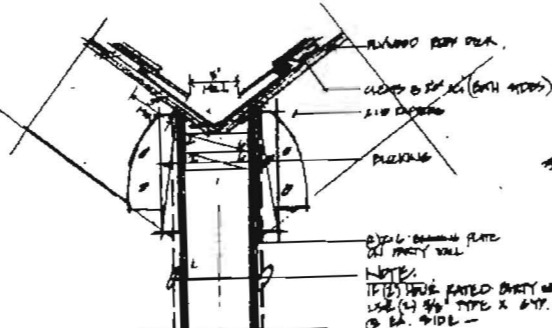
GROUND FLOOR PLAN
1/8" = 1'-0"

KEY TO SYMBOLS

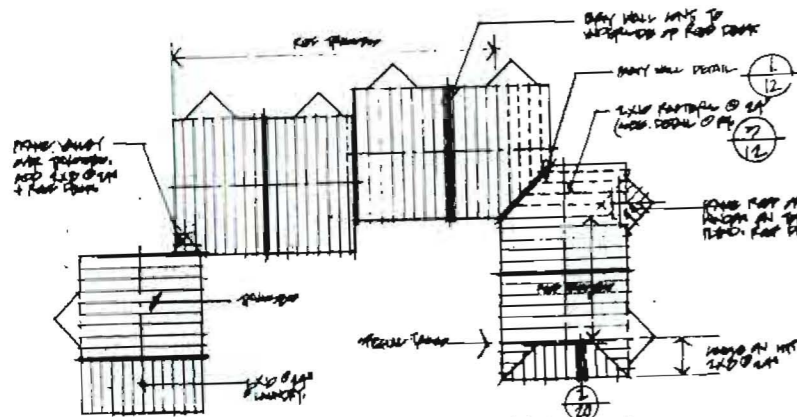
- AB ← UNIT NO. & BUILDING
- C ← UNIT TYPE SEE SHT. 14
- ⊕ FIN. FLR. ELEV.
- ⊙ DOOR TYPE
- ⊙ REFERENCE DETAIL/SHEET
- ⊙ 12 SIDEWALL HOT WATER (SHW)
- ⊙ 2 STORAGE CLOSET ASSIGNED # OF DIMENSIONS TO FRAME DIMENSIONS TO FACE & FRAME
- ⊙ DAY ROOM FRAME ONTO 3/8" PLYWOOD ROOF DECK



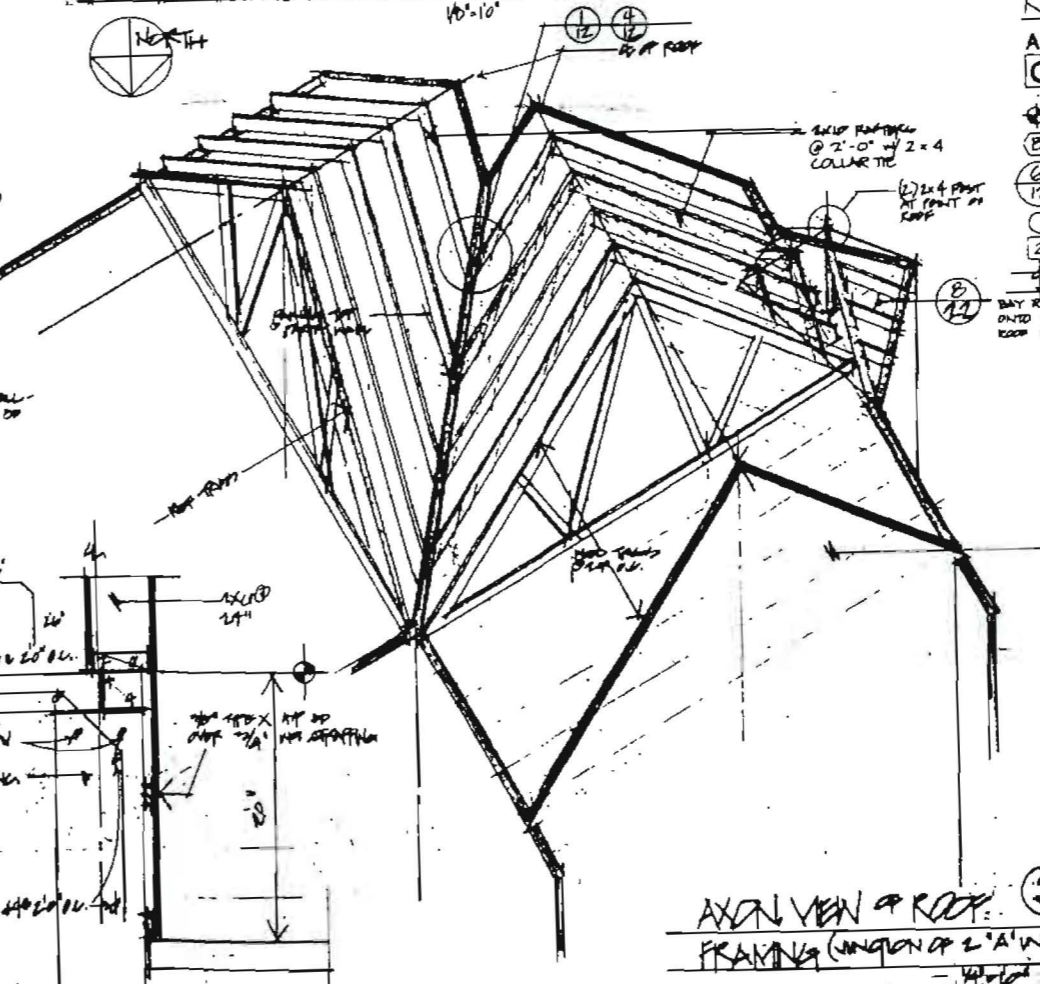
2nd FLOOR FRAMING
1/8" = 1'-0"



1 VALLEY FLASHING



ROOF FRAMING PLAN
1/8" = 1'-0"



AXON VIEW OF ROOF FRAMING (UNION OF 2 'A' UNITS)
3

4 END OF PARTY WALL BETWEEN (L) 'A' UNITS

2 PART SLAB

AR-13

REFERENCE DRAWING R13

DANIEL WHITE ARNOLD & HEMBERGER INC. ARCHITECTS
 100 WEST WASHINGTON STREET, SUITE 100, CHICAGO, ILL. 60601
 BACK COVE HOUSING ASSOCIATES
 BACK COVE ESTATES
 BUILDING G, PLAN
 SCALE AS NOTED
 DATE 11/18/88
 SHEET NO. 13 OF 13
 603.448-3778



CITY OF PORTLAND, MAINE

Department of Building Inspections

_____ 2.28 _____ 20 25

Received from Cape Elizabeth Crafts

Location of Work 17 Ocean Ave
1610 Boxer-

Cost of Construction \$ _____

Permit Fee \$ _____

399 Permit
75 cost

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: 156 F 6

Check #: 1028

Total Collected \$ 474.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy