

219-227 HARVARD STREET



N 9203-3R



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 12, 1959

PERMIT ISSUED

07057

AUG 12 1959

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Lot 4 Harvard St. (219-227) Use of Building Dwelling No. Stories 1 New Building Existing
Name and address of owner of appliance Marcel Nelson, State Rd. P.O. South Fore-side, Me.
Installer's name and address Herbert W. Horn, 276 Harvard St. Telephone 2-8114

General Description of Work

To install Forced hot water heating system and oil burning equipment.

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? none
If so, how protected? boiler room Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 30"
From top of smoke pipe 36" From front of appliance over 4' From sides or back of appliance over 3'
Size of chimney flue 2" Other connections to same flue none
If gas fired, how vented? none Rated maximum demand per hour none
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Buhkirk-Lunt type Labelled by underwriters' laboratories? yes
Will operator be always in attendance? yes Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/2"
Location of oil storage basement Number and capacity of tanks 1-275 gal.
Low water shut off no Make no No. no
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance none Any burnable material in floor surface or beneath? none
If so, how protected? none Height of Legs, if any none
Skirting at bottom of appliance? none Distance to combustible material from top of appliance? none
From front of appliance none From sides and back none From top of smokepipe none
Size of chimney flue none Other connections to same flue none
Is hood to be provided? none If so, how vented? none Forced or gravity? none
If gas fired, how vented? none Rated maximum demand per hour none

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

C.K. 8-12-59 7175

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Herbert W. Horn

C17 MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer

by:

Herbert W. Horn
Fm

NOTES

1	Not at all	
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99	Not at all	
100	Not at all	

2/4-227

Permit No. 59/1057

Location 5641, 100000, 100000

Owner 5641, 100000, 100000

Date of permit 5/12/19

Approved

1/12/59 - 1/11" to front of
furnace. but a hole in wall.
front of furnace makes up
difference in S. & S.

1/4/60 - Shield to be
provided when close to
suffit of stairs.
E. S. S.



RS RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Foundation

Portland, Maine, July 24, 1959

PERMIT ISSUED

00965

JUL 24 1959

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lot 4 Harvard St. (2151-22) Within Fire Limits? _____ Dist. No. _____
Owner's name and address Harold P. Nelson, State Ed., Falmouth Foreside Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address George Hogue, North Berwick, Maine Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building Dwelling and garage No. families _____
Last use _____ " _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To excavate and construct concrete foundation only for 1-story frame dwelling and garage

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Lindsay Lord

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? yes _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? solid earth or rock? rock
Material of foundation concrete block at least 4' below grade or to ledge
Material of underpinning _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Kind and thickness of outside sheathing of exterior walls? _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with letter by AJP

Miscellaneous

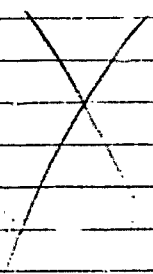
Will work require disturbing of any tree on a public street? no _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes _____
Harold P. Nelson

Signature of owner By: Lindsay Lord

INSPECTION COPY

NOTES

7/29/59 - Mr. Hogue agreed to keep porch 6'6" to side line. Will call upon ready to pay this section. ✓ E. S. S.
 8/13/59 - From inspection asked for this P. 4. Mr. Hogue or anyone that knows about the job are not around. Allan
 8/13/59 - A.K. to run footing found removed strip of land. 16'9" to side lot line. - Allan
 8/18/59 - General Const. permit issued. E. S. S.



Permit No. 59/965
 Location 244 Hammond St.
 Owner Harold A. Nelson
 Date of permit 7/24/59
 Notif. closing-in 8/13/59 9:18 A.M.
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

8/27 (217-2277)

CD 4229-227 (Lot 4) Harvard Street

July 21, 1939

Mr. Lindsay Lord,
11 Ameriscoon Rd.,
Falmouth Foreside, Maine

cc to Mr. George Lague,
North Berwick, Maine

Mr. Harold F. Nelson
State Road,
Falmouth Foreside, Maine

cc to Ernest I. Sharp, Esq.
143 Congress St.

Gentlemen:

Advance permit for excavation and construction of foundation only for proposed dwelling and garage at the above named location is issued herewith to Mr. Lord subject to the following conditions:

1. It is understood from Mr. Nelson that the width of side yard adjoining the reserved strip of land is to be six feet nine inches instead of the six feet originally indicated on plot plan and permit is issued on this basis. The minimum allowable width of side yard at this end of the building in any case is six feet six inches because of the 30 inch overhang of eaves on the open porch, this being six inches more than the allowable 24 inch projection of eaves into a required side yard.
2. Permit is issued on the basis that concrete, not cinder, blocks are to be used in all parts of the foundation which will be below the surface of the ground.
3. Provision will need to be made for the required anchor bolts for bottom member of the built-up wood sills. Although the plans indicate double 2x2's for this bottom member, only a single such member is required.
4. If concrete blocks are to be used for constructing piers supporting girders, it is necessary that the voids in the blocks be completely filled with concrete, not mortar, and that bolts be set in tops of piers for anchorage of the girders to the piers.
5. This permit covers no work above the level of the tops of the foundation walls and piers and no work above that level is to be started until the general construction permit has been issued.
6. It is necessary that this department be notified for inspection of footing forms and that authorization be given before concrete is poured into them. Lot and street lines should be clearly marked on the ground for use by our inspector when this notification is given.

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS/H



RS RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, July 9, 1959

PERMIT ISSUED

01001
JUL 31 1959

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lot 4 Harvard Street (311.327) Within Fire Limits? Dist. No.
Owner's name and address Harold P. Nelson, Foreside, B., Falmouth Foreside Telephone
Lessee's name and address Telephone
Contractor's name and address George Hogue, North Berwick, Maine Telephone
Architect Lindsay Lord Specifications Plans yes No. of sheets 8
Proposed use of building Dwelling and garage No. families 1
Last use No. families
Material No. stories Heat Style of roof Roofing
Other building on same lot
Estimated cost \$ 30,000 Fee \$ 30.00

General Description of New Work

To construct 2-story frame dwelling and garage 76' x 32'

The inside of the garage will be covered where required by law with metal lath and plaster.

The fire door between garage and dwelling will be a door labelled by the Underwriters Laboratories, Inc. for opening in Corridor or Room Partition.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Lindsay Lord

Details of New Work

Is any plumbing involved in this work? Yes Is any electrical work involved in this work? Yes
Is connection to be made to public sewer? Yes If not, what is proposed for sewage? /
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 15' Height average grade to highest point of roof 19'
Size, front 76' depth 32' No. stories 2 solid or filled land? solid earth or rock? rock
Material of foundation concrete at least 4' below grade or to ledge 8" bottom 8" cellar no
Material of underpinning Height with footing Thickness
Kind of roof pitch Rise per foot 3" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys 2 Material of chimneys, br. of lining tile Kind of heat h.w. fuel oil
Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 6x6 Sills 4x8
Size Girder 4x8 Columns under girders 2x8 Size 20" sq. Max. on centers 9'
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd, roof trussed
On centers: 1st floor 16", 2nd 16", 3rd, roof
Maximum span: 1st floor 8'8", 2nd 12', 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated 2 number commercial cars to be accommodated no
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

with letter by city

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Harold P. Nelson

Signature of owner By

INSPECTION COPY

NOTES

8/18/59 - Framing started
E. S. S.

8/25/59 - Framing complete
Level E. S. S.

9/18/59 Framing complete
along E. S. S.

10/9/59 - 3 ft. partition
Hoggs to above 2nd

floor. also put
partition to basement

first floor.

10/25/59 - 3 ft. a G.T.
a couple inches ago in

clothing in E. S. S.

11/16/59 - 3 ft. a G.T.
a couple inches ago in

clothing in E. S. S.

11/21/60 - 3 ft. a G.T.
a couple inches ago in

clothing in E. S. S.

3/1/60 - When door of
clothing closet is closed

self-closing, 6" threshold

in garage, self-closing

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

door, but in the usual

Permit No.	52/1001
Location	1001 4th Avenue St.
Owner	James P. Nelson
Date of permit	7/31/59
Self-closing in	10/9/59
Inspr. closing in	11/15/59
Final Notif.	12/31/59
Final Insp.	
Per. of Occupancy issued	4-29-60 11/9/59
Setting Out Notice	
Form Check Notice	

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION

219-227 Harvard St.

Date of Issue April 29, 1960

Issued to

Harold P. Nelson
Forside Road, Falmouth Foreside Me.

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 59/1001, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

One family dwelling with
attached garage

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

Earl Smith

(Date)

Inspector

Albert J. Sear
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

AL-219-227(Inc 4)Harvard St.

July 31, 1959

Mr. Lindsay Lord
11 Ameriscoggin Road
Falmouth Foreside
Maine

cc to: Mr. Harold L. Nelson
State Road, Falmouth Foreside
cc to: Mr. George Rogers
P.O. Berwick, Maine
cc to: Farnett L. Larr, Esq.
443 Congress Street

Dear Mr. Lord:

General construction permit for a single family dwelling with incorporated garage at the above named location is issued herewith based on revised plans filed by you at this office on July 31, 1959, but subject to the following conditions:

1. Stone veneer is to be anchored to walls of chimney with wire ties of not less than number six gauge wire spaced not over 12 inches vertically and 16 inches horizontally or equivalent spacing.
2. If sill: on hearth of fireplace is to be only a surface coating, hearth construction cantilevered from breast of chimney in the usual manner should be adequate without provision of a wall beneath its outer edge as indicated on plans.
3. Ventilation satisfactory to the Health Department is to be provided for inside bathrooms.
4. The Vanacker chimney is to be supported and installed with clearances from combustible material and with enclosing partitions as indicated by the manufacturer and in accordance with the conditions of approval of Underwriters' Laboratories, Inc.
5. If wood girders are to be laminated, splices in individual members are to be located only over the supporting piers.
6. Corrugated metal ties for stone veneered walls are required to be of such thickness that 1000 ties weigh not less than 48 pounds and, unless copper ties are used, two ties, one nested on top of the other, are required at each location.
7. This department is required to be notified for inspections before any covering is applied to ceilings, partitions or inside of walls.
8. A certificate of occupancy is required from this department before the building is put into use. This department should be notified for a final inspection when all essential work has been completed.

Very truly yours,

Albert J. Sears
Inspector of Buildings

WJS:m

AP-219-227 (Lot 4) Harvard Street

July 23, 1959

Mr. Lindsay Lord
11 Ameriscoogin Road
Falmouth Foreside, Maine

cc to: Mr. Harold A. Nelson
State Road, Falmouth Foreside, Maine
cc to: Barnett I. Shur, Esq.
443 Congress Street
cc to: Mr. George Hogue, North Berwick, Maine

Dear Mr. Lord:

Revised plans filed with application for permit for construction of dwelling and garage at the above named location discloses a number of questions about which more information is needed before a permit can be issued, as follows:

1. Definite information is needed that cinder blocks are not to be used below the surface of the ground. *7 - OK*
2. What is the maximum difference to be between the surface of ground inside the crawl spaces and that on the exterior of the enclosing walls. *7 - Allowed 21*
3. The use of wood plates on top of concrete piers supporting wood girders is unusual and unnecessary. Bolts set in the tops of the piers when poured and over which the wood girders may be placed are all that is needed. *- OK*
4. The use of hollow concrete blocks for walls of chimney is not permissible even though voids are filled. *- Changing to solid brick*
5. We are unable to find any indication of ventilation for inside bathrooms as required by the Plumbing Code. *- OK*
6. Wood base for raised hearth of fireplace is not permissible. *- Changing to concrete*
7. Apparently boiler is to be located beneath stairs at change in floor levels. Will there be headroom enough to provide the required clearance above heater and smokepipe? *- OK*
8. The trussed rafter design taken from reference book of the Timber Engineering Company is based on a dead and live load of 35 pounds per square foot. Therefore, in the case of the trusses on a span of over 32 feet it is doubtful if they will figure out since the pitch of roof is only 4 inches in 12 inches, for which Code requirements for live and dead loads are about 50 pounds. Therefore it is necessary on this span that pitch of roof be increased or spacing of trusses be decreased. How will you care for this? *- Changing to 20' span*

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS:in

AP-219-227 (Lot 4) Harvard Street

July 14, 1959

cc to: Mr. Harold F. Nelson
State Road
Falmouth Foreside, Maine
cc to: Barnet I. Shur Esq.
443 Congress Street
cc to: Mr. George Hogue
North Berwick, Maine

Mr. Lindsay Lord
11 Ameriscoogin Road
Falmouth Foreside, Maine

Dear Mr. Lord:

Examination of plans filed with application for a permit for construction of a single family dwelling with incorporated two car garage at the above named location discloses various questions as to compliance with Building Code requirements as listed below. Before a permit can be issued it is necessary that revised plans indicating compliance be filed for checking and approval. Details in question are as follows:

1. It is not permissible to use cinder blocks for foundation walls where they will be below the surface of the ground. See Section 307-c-3.4 of Code.
2. Will all of foundation walls and column footings rest on ledge? If not, what provision is to be made where wall passes from ledge to earth in order to prevent possible unequal settlement resulting in cracking of wall? See Section 307-b-1.
3. Will grade inside foundation walls be substantially lower than finished grade of ground outside them at any point? If so, the 8 inch thick concrete block walls will not comply with requirements of Section 307-c-3.5.
4. Are concrete piers supporting girders actually to be as much as two feet square as plans appear to indicate? What provision is to be made to anchor girders to them?
5. Construction of walls of chimney with hollow concrete blocks is not permissible. See Section 307-a-2.
6. How is required ventilation for inside bath room to be provided? See Section 212-d-1.
7. Either floor of garage must be kept at least 6 inches lower than floor of adjoining cellar space or a raised threshold is required in doorway in partition between garage and balance of cellar. See Section 202-b-2.

July 14, 1959

8. Fire door in opening in garage partition is required to be equipped with a self-closing device and to be hung in an all metal frame if opening is in a masonry wall. See Sections 202-a-2 and 303-c-4.4. If desired, a solid core plywood door at least 1 3/4 inches thick may be used in lieu of a fire door.
9. The bottom of the wood sills is required to be kept at least 6 inches above the finished grade of the ground at all locations. See Section 312-c-3.3.
10. The minimum allowable depth of fireplace hearth at a point at least 8 inches beyond each side of the fireplace opening is 18 inches. See Sect. 304-e-1.
11. What support is to be provided for Van Packer chimney and its enclosure of flue in first story to be in accordance with basis of approval of Underwriters' Laboratories, Inc.? Clearance of flue from combustible material where it passes through floor and roof construction and construction of and clearance from first story partitions needs to be indicated.
12. The 4x8 girders supporting living room, kitchen, and dining room floor framing will not figure out where a partition load is to be carried and must be of Douglas Fir lumber in order to figure out elsewhere.
13. What is size of headers to be over large openings in outside walls?
14. Either block or cross bridging is required at the center of the spans of all floor joists where span exceeds 8 feet. See Section 312-c-3.8
15. The 2x6 rafters of open porch on 24 inch spacing do not figure out and neither do the 2x6 hip rafters indicated.
16. What is size of plate for support of the outer ends of these porch rafters to be? Double rafters will be needed on all sides of opening around fire place chimney.
17. Chimneys are required to extend at least two feet above the highest point at which they come in contact with the roof and at least as high as any roof surface within 10 feet measured horizontally. See Section 304-a-6.
18. The so-called "Plate Type Trusses" constructed of 2x4's and plywood do not comply with Building Code requirements unless design figures indicating compliance with the usual methods of engineering design can be furnished. We have never seen any design data for this type of truss which will do so. It would appear that regular trussed rafters of the usual design might be used with a great deal of saving both in materials and labor and with provision of much better ventilation of the attic space.
19. A statement of design (blank copy enclosed) signed by person responsible for the design of structural steel and roof trusses is required to be affixed to the plans. — OIR

Very truly yours,

Albert J. Sears
Inspector of BuildingsAJS/jg
Encl.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION - 223 Harvard St.

Issued to Annette H. Goodman

Date of Issue 11/21/90

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 90/1994, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single family with home occupation

Limiting Conditions

This certificate supersedes
certificate issued

Approved:

11/21/90

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lease for one dollar.

901994

Permit # 901994 City of Portland

Please fill out any part which applies to job. Proper plans must accompany form.

BUILDING PERMIT APPLICATION Fee \$25.00

Zone

Map #

Lot #

Owner: Annette H. GoodmanPhone # 797-6780 - HomeAddress: 223 Harvard St., Portland, ME 04103LOCATION OF CONSTRUCTION 223 Harvard Street

Contractor: Sub:

Address: Phone #

Est. Construction Cost: Proposed Use: sin. fam. w/home occupationPast Use: sin. fam.

of Existing Res. Units # of New Res. Units

Building Dimensions L W Total Sq. Ft.

Stories: # Bedrooms Lot Size:

Is Proposed Use: Seasonal Condominium Conversion

Explain Conversion Change of Use from single family to single family

with home occupation (counseling and consulting room).

Foundation:

1. Type of Soil:
2. Set Back: Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size: Spacing 16" O.C.
4. Joists Size:
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

For Official Use PERMIT ISSUED

Date Oct. 2, 1990

Subdivision

Inside Fire Limits

Name

Bldg Code

Lot OCT 5 1990

Time Limit

Ownership

Public

Estimated Cost

City of Portland

Review Required: Street Frontage Provided: Provided Setbacks: Front Back Side Side

Zoning Board Approval: Yes No Date: Planning Board Approval: Yes No Date: Conditional Use: Variance Site Plan Subdivision Shoreland Zoning Yes No Floodplain Yes No Special Exception Other (Explain) OK

Ceiling:

1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing
3. Type Ceilings: Size Requires Review
4. Insulation Type
5. Ceiling Height:

Roof:

1. Truss or Rafter Size
2. Sheathing Type
3. Roof Covering Type

Chimneys:

1. Type: Number of Fire Places

Heating:

1. Type of Heat:

Electrical:

1. Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: Square Footage
3. Must conform to National Electrical Code and State Law.

Permit Received By Joyce M. RinaldiSignature of Applicant Annette H. Goodman Date Oct 2 1990

Signature of CEO

Inspection Dates

PERMIT ISSUED WITH LETTER

White-Tax Assessor

Yellow-GPCOG

White Tag -CEO

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PLOT PLAN

N

FEES (Breakdown From Front)
 Base Fee \$25.00
 Subdivision Fee \$
 Site Plan Review Fee \$
 Other Fees \$
 (Explain)
 Late Fee \$

Type	Inspection Record	Date

COMMENTS

11/14/90

C 570. A.C.

[Handwritten signature/initials]

Signature of Applicant

[Handwritten signature: Eugene H. Goldman]

Date

10-2-90

5/00T/90.

§ 14-407

PORTLAND CODE

hundred twenty-five (125) feet to any residence zone, except that stands for the sale of agricultural products shall be permitted as specified in division 2 of this article. (Code 1968, § 602.18.F)

Sec. 14-408. Exceptions to performance standards.

The operation on public streets, airports and railroad rights-of-way of motor vehicles and other vehicles for the transportation of goods or persons shall be excepted from the limitations of the sections entitled "external effects." (Code 1968, § 602.18.G)

Sec. 14-409. Heliports.

Heliports shall meet the following minimum specifications, subject to regulations of the Civil Aeronautics Administration when such regulations are greater:

(1) *Roof heliport:*

- a. Take-off area: Two hundred (200) feet by two hundred fifty (250) feet minimum.
- b. Parking area: Thirty (30) feet by ninety (90) feet minimum.

(2) *Ground heliport:*

- a. Take-off area: Three hundred (300) feet by seven hundred (700) feet minimum.
- b. Parking area and station building shall be located out of flight area.

(3) *Maximum elevation of operational area above street:* One hundred (100) feet.

(4) *Minimum clearance from lateral obstruction:* One hundred (100) feet.

(5) *Minimum width of approach and departure path:* Five hundred (500) feet at landing area, tapering outward fifteen (15) degrees on each side to a width of one thousand (1,000) feet.

(6) *Slope:* With emergency landing areas: One (1) to eight (8); Without emergency landing areas: One (1) to twenty (20).

(7) *Curved approach:* Minimum radius to turn, six hundred fifty (650) feet.

(8) *Approach zone transition area:* Slope, one (1) in two (2). (Code 1968, § 602.18.H)

Sec. 14-410. Home occupation.

Purpose. The purpose of home occupations is to allow the secondary and incidental use of a residence for the conduct of appropriate occupations whose external activity levels and impacts are so limited as to be compatible with the residential character of the neighborhood.

(1) In connection with the operation of a home occupation, within a dwelling unit, the following requirements shall be met:

- a. A home occupation shall not occupy more than five hundred (500) square feet of floor area or more than twenty-five (25) percent of the total floor area of such a dwelling unit, whichever is less, or in the case of licensed family day care homes,

- n. Hairdressers (limited to no more than two (2) hair dryers);
 - o. Home crafts, such as model making, rug weaving, lapidary work, cabinet making, weaving, ceramics;
 - p. Interior decorators;
 - q. Lawyers, justices of the peace and notary publics;
 - r. Licensed family day care home or babysitting services;
 - s. Musicians, but not including performances or band rehearsals;
 - t. Office facility of a minister, rabbi, or priest;
 - u. Photographic studios;
 - v. Professional counseling and consulting services;
 - w. Professional research services;
 - x. Sales persons provided that no retail or wholesale transactions are made on the premises;
 - y. Small appliance repair;
 - z. Snow plowing provided that only one (1) snow plow vehicle is stored on or generated from the site;
 - aa. Special tutoring or instruction (not to exceed three (3) pupils at any given time);
 - bb. Stenographic and other clerical services.
- (3) A home occupation that is not listed in paragraph (2) of this section but is similar to and no more objectionable than those home occupations listed in that paragraph, shall be permitted as a conditional use subject to the requirements of paragraph (1) of this section and section 14-474 (conditional use) of this article. This provision shall not include veterinarians, kennels, animal raising, funeral homes, retail uses including antique shops, restaurants, dancing studios, towing services, repair and painting of automobiles as home occupations. (Code 1968, § 602.18.I; Ord. No. 277-77, 11-7-77; Ord. No. 548-85, § 1, 5-6-85; Ord. No. 76-85, § 1, 7-1-85; Ord. No. 66-87, § 2, 11-2-87)

Secs. 14-411-14-420. Reserved.

DIVISION 25. SPACE AND BULK REGULATIONS AND EXCEPTIONS

Sec. 14-421. Generally.

The requirements of this article shall be subject to the space and bulk regulations and exceptions of this division. (Code 1968, § 602.19.A)

Sec. 14-422. Reduction of lot area prohibited.

No lot shall be so reduced that yards, lot width, lot frontage, lot area, area per dwelling unit, and space for off-street parking and/or off-street loading shall be less than the minimum required under this article. (Code 1968, § 602.19.A)

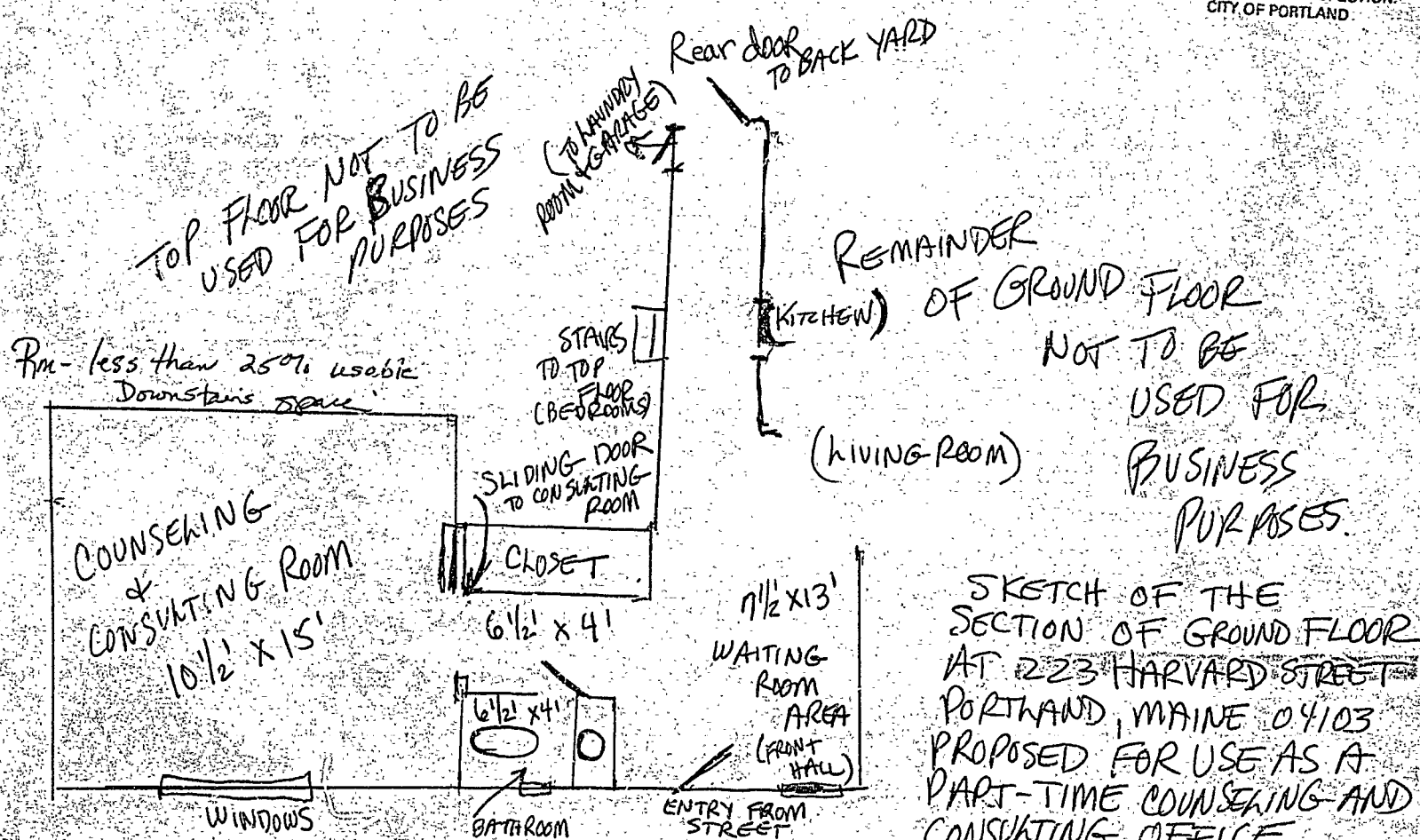
- or home babysitting services, to accommodate not more than six (6) children plus two (2) children after school and having no nonresidential employees;
- b. There shall be no outside storage of goods and materials nor shall there be exterior displays, or display of goods visible from the outside;
 - c. Storage of materials related to the home occupation shall count as a part of the occupancy limitations in subsection (1)a. above, but shall not constitute a dominant part of such occupancy provided, however, storage of such materials or products in garages or other accessory structures is prohibited;
 - d. Exterior signs shall be limited to one (1) nonilluminated sign not exceeding a total area of two (2) square feet, affixed to the building and not projecting more than one (1) foot beyond the building;
 - e. Any exterior alterations to the residence shall be compatible with the architecture of the building and maintain the residential appearance by virtue of exterior materials, lighting, and signs;
 - f. Any need for parking generated by the conduct of such home occupation shall be met off the street and other than in a required front yard;
 - g. The home occupation shall not produce offensive noise, vibration, smoke, dust or other particulate matter, odorous matter, heat, humidity, glare or other objectionable effects;
 - h. There shall be no more than one (1) nonresident employed in the home occupation, provided, however, family day care or home babysitting services shall have no nonresident employees;
 - i. No traffic shall be generated by the home occupation in greater volumes than would normally be expected in a residential neighborhood;
 - j. No motor vehicle exceeding a gross vehicle weight of six thousand (6,000) pounds shall be stored on the property in connection with the home occupation.
- (2) No residence shall be occupied, altered or used for any home occupation except the following:
- a. Accountants and auditors;
 - b. Answering services (telephone);
 - c. Architects;
 - d. Artists and sculptors;
 - e. Authors and composers;
 - f. Computer programming;
 - g. Custodial services;
 - h. Custom furniture repair and upholstery;
 - i. Dentists, doctors, therapists, and health care practitioners;
 - j. Direct mail services;
 - k. Dressmakers, seamstresses and tailors;
 - l. Engineers;
 - m. Family planning services;

Single Family Home - ANNETTE H. GOODMAN

RECEIVED

OCT 02 1990

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND



001994

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$25.00 Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Annette H. Goodman Phone #797-6730 - Home
Address: 223 Harvard St., Portland, ME 04103
LOCATION OF CONSTRUCTION 223 Harvard Street
Contractor: _____ Sub: _____
Address: _____ Phone # _____

Est. Construction Cost: _____ Proposed Use: sin. fam. w/ home occupation
Past Use: ~~XXXX~~ sin. fam.
of Existing Res. Units _____ # of New Res. Units _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms _____ Lot Size: _____
Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Explain Conversion: Change of Use from single family to single family

with home occupation (counseling and consulting room).

Foundation:
1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other: _____

Floor:
1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:
1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only		PERMIT ISSUED	
Date: Oct. 2, 1990	Subdivision: _____	Name: _____	Lot: OCT 5 1990
Inside Fire Limits: _____	Owner: _____	Public: _____	Private: _____
Bldg Code: _____	Time Limit: _____	Estimated Cost: _____	City Of Portland
Street Frontage Provided: _____			
Provided Setbacks: Front _____ Back _____ Side _____ Side _____			
Review Required:			
Zoning Board Approval: Yes _____ No _____ Date: _____			
Planning Board Approval: Yes _____ No _____ Date: _____			
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____			
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____			
Special Exception _____			
Other (Explain) _____			

Ceiling:
1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:
1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____

Chimneys:
Type: _____ Number of Fire Places _____

Heating:
Type of Heat: _____

Electrical:
Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:
1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By: Joyce M. Rinaldi

Signature of Applicant: _____ Signature of CEO: _____

Inspection Dates: _____

PERMIT ISSUED
WITH LETTER

White-Tax Assessor Yellow-GPCOG White Tag-CEO [4] m/r Nov 1990