

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

PERMIT ISSUED

JUL 25 2005

Permit Number: 050986

**CITY OF PORTLAND**

Please Read Application And Notes, If Any, Attached

**B**  
**PERMIT**

This is to certify that Glucio Branko & /self  
has permission to Build a 9' x 5' mudroom entry 12' x 12' brick walls  
AT 34 Berry Ave C 153A A011001

provided that the person or persons, firm or organization accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in permit on procedure before this building or part thereof is placed or occupied. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*Deanne Branko* 7/25/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0986	Issue Date: 07/25/2005	CBL: 153A A011001
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Location of Construction: 34 Berry Ave	Owner Name: Gluic Branko &	Owner Address: 34 Berry Ave	Phone: 797-5066
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family	Proposed Use: Single Family w/9' x 5' mudroom entry & 12' x 12' deck w/steps	Permit Fee: \$39.00	Cost of Work: \$2,000.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group R3 Type SB IRC-2003	

Proposed Project Description: Build a 9' x 5' mudroom entry & 12' x 12' deck w/steps	Signature: <i>JMB 7/25/05</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: jmb	Date Applied For: 07/21/2005	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 7/25/05</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

7/28/05 Setbacks - Sonas & joists - all ok -  
Lags & joist hangers ok -  
(note - Had deck all framed & holes dug, framing  
held up w/ temp supports & will be set onto Sonas  
after curing) kill call for Mud Room  
Checkin @

09/08/05 No-one Home  
w/ no schedule) ~~MS~~

9/10/05 Final. Met w/ owner ~~Handrails~~ Handrails too low  
owner will call when corrected @

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0986	Date Applied For: 07/21/2005	CBL: 153A A011001
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Location of Construction: 34 Berry Ave	Owner Name: Gluc Branko &	Owner Address: 34 Berry Ave	Phone: ( ) 797-5066
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family w/9' x 5' mudroom entry & 12' x 12' deck w/steps	Proposed Project Description: Build a 9' x 5' mudroom entry & 12' x 12' deck w/steps
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Dept: Zoning      Status: Approved      Reviewer: Jeanine Bourke      Approval Date: 07/25/2005  
 Note:      Ok to Issue:

Dept: Building      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 07/25/2005  
 Note:      Ok to Issue:

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.



# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>34 Berry Ave Ptd ME 04103</u>		
Total Square Footage of Proposed Structure <u>185</u>	Square Footage of Lot <u>7187</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>153 A A</u> Block# <u>A</u> Lot# <u>11</u>	Owner: <u>Gluc Branko</u> <u>34 Berry ave</u> <u>Ptd ME 04103</u>	Telephone: <u>797-5066</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Gluc</u> <u>34 BERRY AVE.</u> <u>Ptd ME 04103</u>	Cost Of Work: \$ <u>2,000.00</u> Fee: \$ <u>39.00</u>
Current use: <u>single family home</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>deck, mod room</u>		
Project description: <u>12x12 deck and 9'x5' mudroom</u>		
Contractor's name, address & telephone: <u>self</u>		
Who should we contact when the permit is ready: <u>GLUC JASMINKA</u>		
Mailing address: <u>34 Berry ave.</u> <u>Ptd ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-5066</u> <u>409-6042</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Gluc Jasminka</u>	Date: <u>9/19/25</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Jasminita Gilui  
Signature of Applicant/Designee

7/25/05

Date

Deanne Banks  
Signature of Inspections Official

7/25/05

Date

CBL: LS3AA-11 Building Permit #: 05-0986

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1  
 Parcel ID 153A A011001  
 Location 34 BERRY AVE  
 Land Use SINGLE FAMILY

Owner Address GLUIC BRANKO & JASMINKA GLUIC JTS  
 34 BERRY AVE  
 PORTLAND ME 04103

Book/Page 18583/310  
 Legal 153A-A-11-12  
 BERRY AVE 32-34  
 7187 SF

*Handwritten notes:*  
 7/25 830  
 #986 R3  
 37.00

Current Valuation Information

Land	Building	Total
\$32,240	\$71,300	\$103,540

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$66,600	\$112,200	\$178,800	\$141,170

Property Information

Year Built 1954	Style Cape	Story Height 1	Sq. Ft. 1277	Total Acres 0.165
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 7	Attic Full Finsh
				Basement Full

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 2004	Size 16X20	Grade C	Condition A
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Sales Information

Date 12/01/2002	Type LAND + BLDING	Price \$157,000	Book/Page 18583-310
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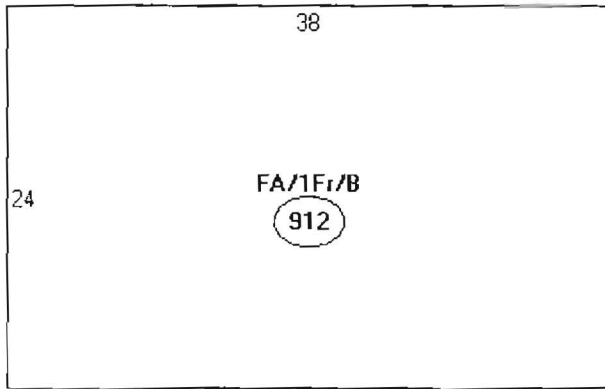
Picture and Sketch

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here](#) to view comparable sales or below to view by:



Descriptor/Area

A: FA/1Fr/B  
912 sqft

320

1232

144 New

45 New

1421 SF

OK

Lot 7187

35%

2,156



ADDRESS: 34 Berry Avenue, Portland, Maine

Job Number: 467-67

Buyers: Branko & Jasminka Gluic

Inspection Date: 5-03-04

Sellers: Alicia M. Berry

Scale: 1" = 20'

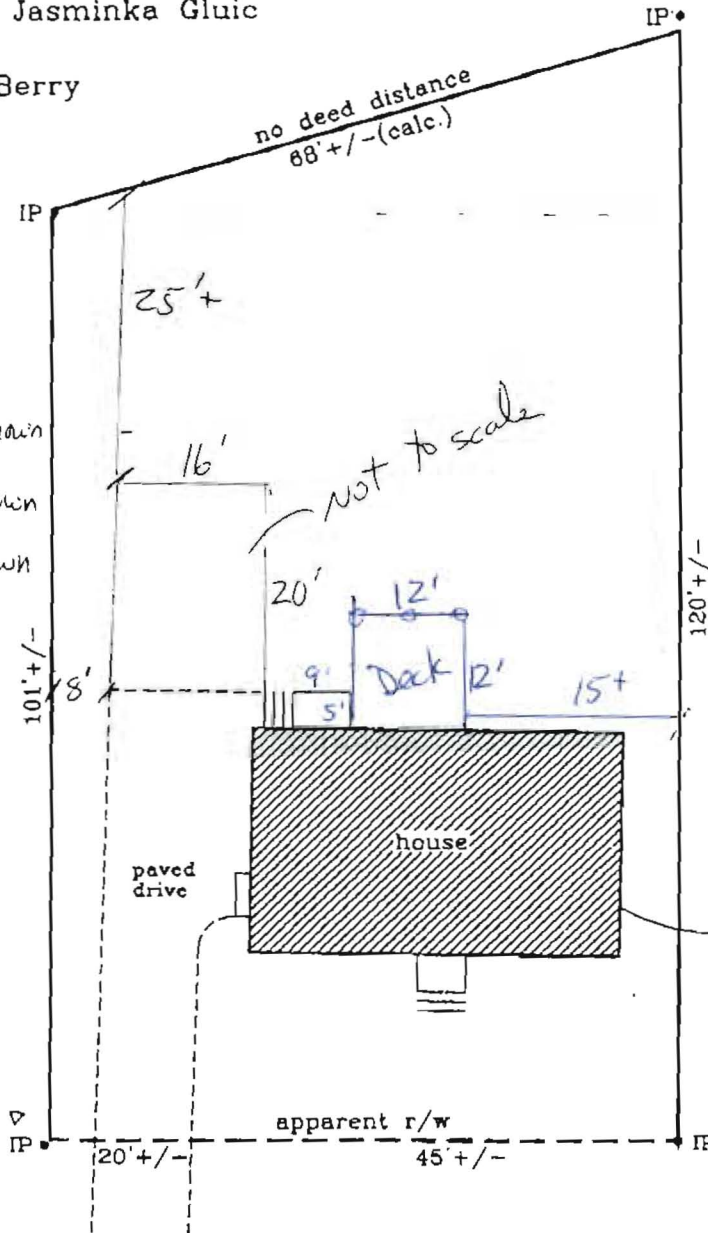
Client File#: 02034310

R3 Zone

Front 25' Req. 30' shown

Rear 25' Req. 25' shown

Side 8' Req. 8' shown



1 1/2 story wood structure w/ concrete foundation

*[Handwritten signature]*

to Washington Ave. Berry Ave. (F.K.A. Elmwood Ave.)

I HEREBY CERTIFY TO: Stewart Title, Inc.; Homeowners Assistance Corp. and its title insurer.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

Monuments found did not conflict with the deed description. The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel: 230051-0002 C

The structure does not fall within the special flood hazard zone. The land does not fall within the special flood hazard zone. A wetlands study has not been performed.

Livingston - Hughes  
Professional Land Surveyors  
88 Guinea Road  
Kennebunkport - Maine 04046  
207-967-9761 phone 207-807-4831 fax

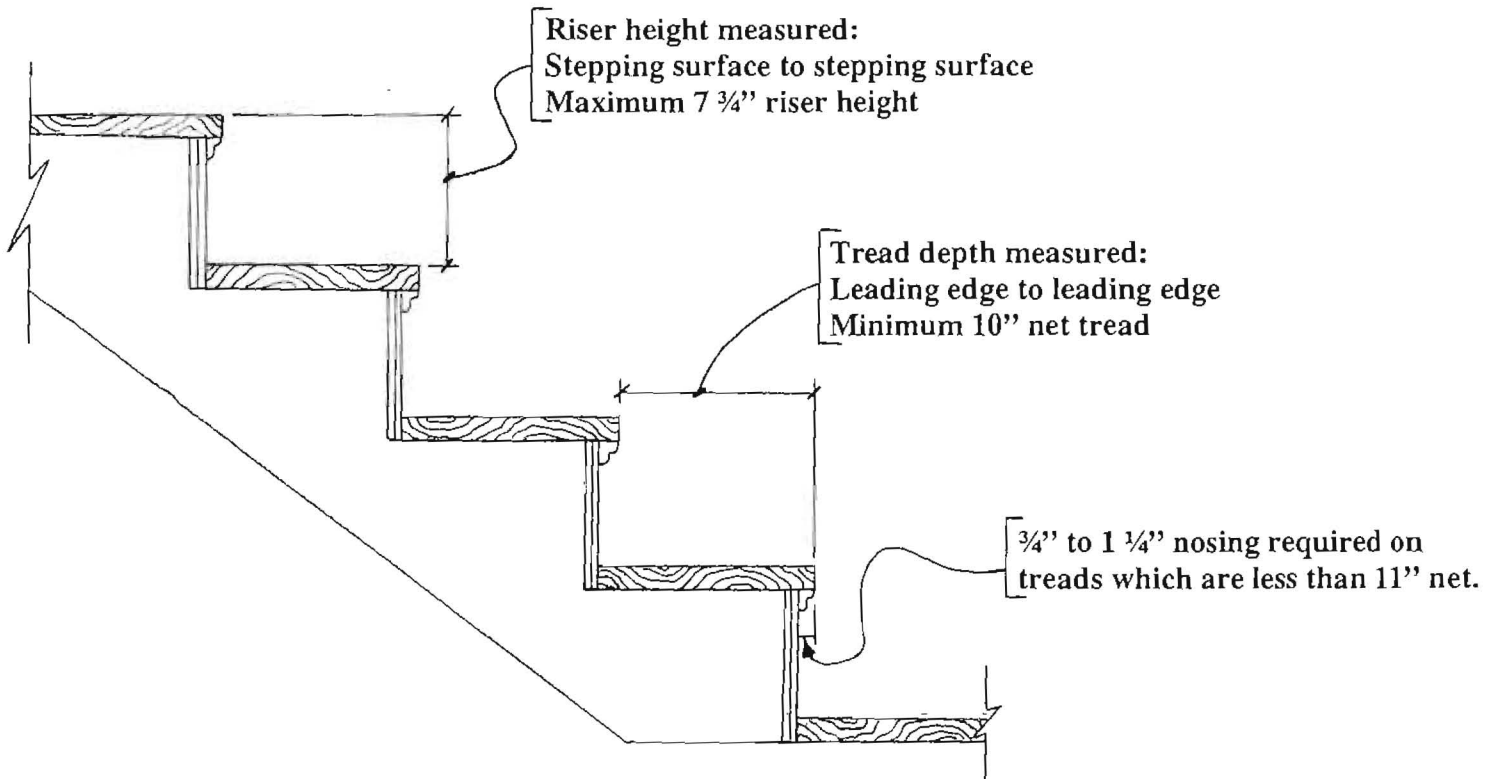
THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

**TREAD & RISER DIMENSIONS  
ONE & TWO FAMILY  
2003 INTERNATIONAL RESIDENTIAL CODE  
SECTION R311.5.3 TREADS & RISERS**

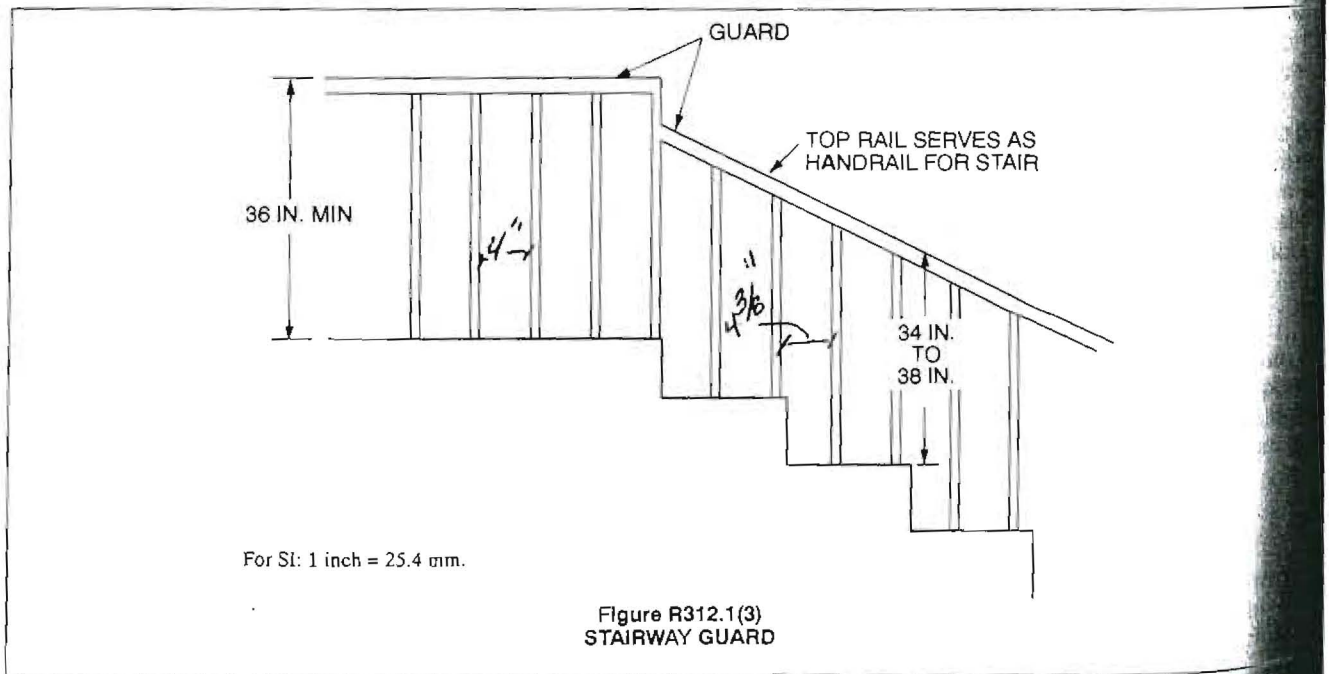
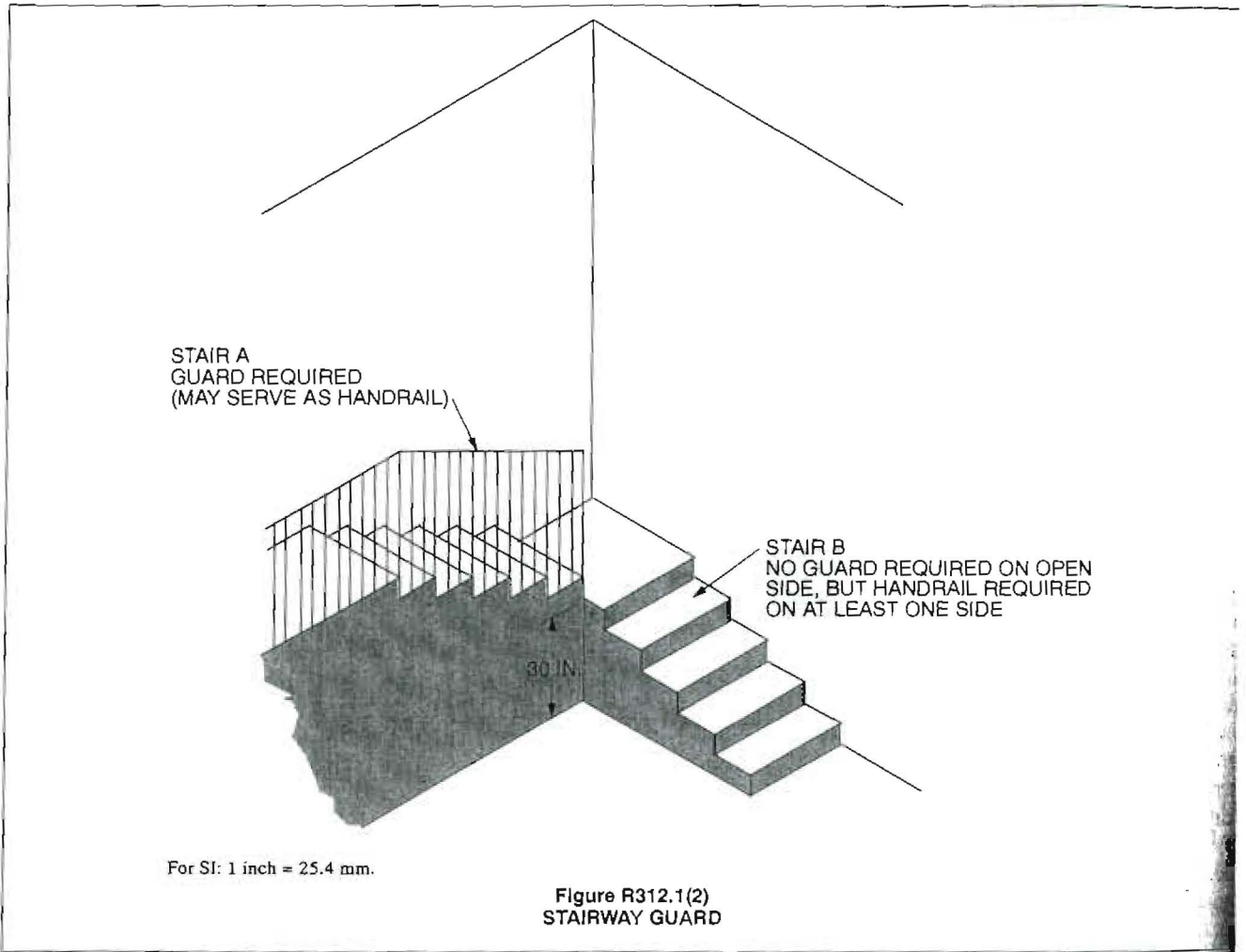
In occupancies in 1 and 2 family dwellings (Use Group R-3) and in accessory occupancies (shed, garages, etc.) to 1 and 2 family dwellings the following are the tread and riser requirements:

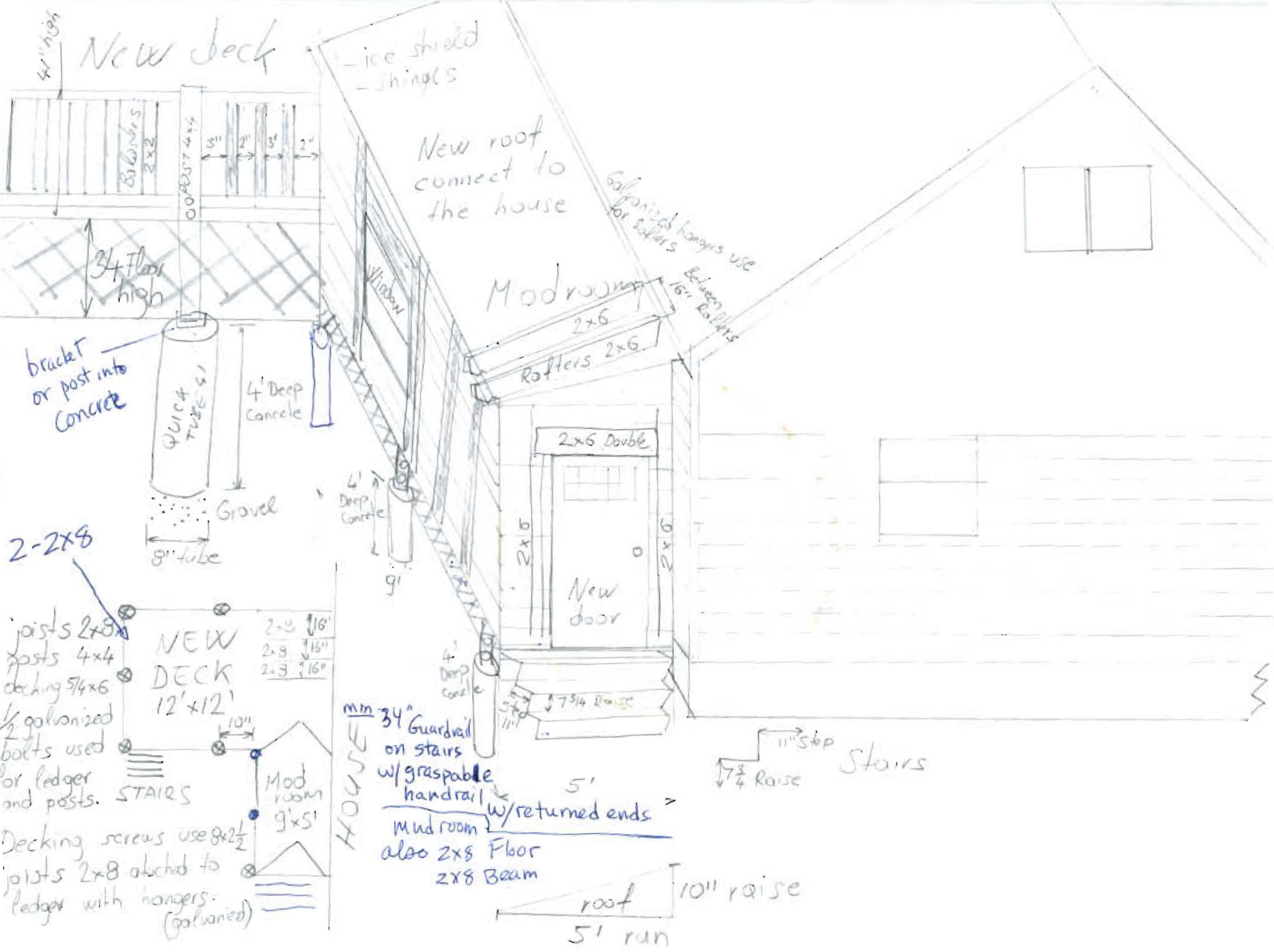
The MAXIMUM riser height shall be 7 ¾" and the minimum riser height shall be 4". The MINIMUM tread depth shall be 10" (measured from leading edge of tread to leading edge of tread). A nosing not less than ¾" but not more than 1 ¼" SHALL be required on treads where the depth is less than 11". Openings in risers shall not exceed 4".

Correct method of measuring treads and risers:



Please note: To achieve a minimum 10" net tread the stringer must be cut to 10".





New deck

4 1/2" high

- ice shield  
- shingles

New roof  
connect to  
the house

Galvanized hangers use  
for rafters

Mod room

2x6

Rafters 2x6

bracket  
or post into  
concrete

3 1/4" Floor  
high

QUICK  
TUBE 4x4

4' Deep  
Concrete

Gravel

8" tube

4' Deep  
Concrete

2-2x8

joists 2x8  
posts 4x4  
decking 5/4x6  
1/2 galvanized  
bolts used  
for ledger  
and posts.

NEW  
DECK  
12' x 12'

2-2	16"
2-8	16"
2-3	16"

STAIRS

Mod room  
9' x 5'

Decking screws use 8x2 1/2  
joists 2x8 attached to  
ledger with hangers.  
(galvanized)

HOUSE

34" Guardrail  
on stairs  
w/ graspable  
handrail

Mud room

also 2x8 Floor  
2x8 Beam

w/ returned ends

5'

11" step  
7 3/4" Rise

Stairs

roof  
5' run

10" raise





# CITY OF PORTLAND, MAINE

Department of Building Inspections

July 25 2005

Received from Jasminka Gluc

Location of Work 34 Berry Ave

Cost of Construction \$ 2,000

Permit Fee \$ 39.00

Building (I1)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 153 A-A-11

Check #: 163

Total Collected \$ 39.00

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy