

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

Wescott & Payson II  
 Applicant 240 Harvard St, Portland, ME 04103  
 Applicant's Mailing Address 240 Harvard St, Portland, ME 04103

2003-0162  
 Application I. D. Number  
 08/06/2003  
 Application Date

Lot #2 University Park  
 Project Name/Description

Consultant/Agent Yale St, Portland, Maine  
 Agent Ph: 153A A002001  
 Agent Fax: 153A A002001

Applicant or Agent Daytime Telephone, Fax Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

2424 sf  
 Proposed Building square Feet or # of Units 2424 sf Acreage of Site R-3  
 Zoning R-3

**Check Review Required:**  
 Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 08/06/2003

**DRC Approval Status:**

Approved  Approved w/Conditions  Denied  
 See Attached

Reviewer Jay Reynolds

Approval Date 08/11/2003 Approval Expiration 08/11/2004 Extension to 08/11/2003  Additional Sheets Attached  
 Condition Compliance Jay Reynolds signature date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted \_\_\_\_\_ amount \_\_\_\_\_ expiration date \_\_\_\_\_

Inspection Fee Paid \_\_\_\_\_ date \_\_\_\_\_ amount \_\_\_\_\_

Building Permit Issue \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee Reduced \_\_\_\_\_ date \_\_\_\_\_ remaining balance \_\_\_\_\_ signature \_\_\_\_\_

Temporary Certificate of Occupancy \_\_\_\_\_ date \_\_\_\_\_  Conditions (See Attached) \_\_\_\_\_ expiration date \_\_\_\_\_

Final Inspection \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_

Certificate Of Occupancy \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_

Defect Guarantee Submitted \_\_\_\_\_ submitted date \_\_\_\_\_ amount \_\_\_\_\_ expiration date \_\_\_\_\_

Defect Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
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ADDENDUM

Wescott & Payson II  
Applicant  
240 Harvard St, Portland, ME 04103  
Applicant's Mailing Address

2003-0162  
Application I. D. Number  
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Lot #2 University Park  
Project Name/Description

Consultant/Agent  
Agent Ph:  
Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

Yale St, Portland, Maine  
Address of Proposed Site  
153A A002001  
Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 STEET LIGHT AND STREET TREE WILL HAVE TO BE RELOCATED IN ORDER TO FACILITATE THE DRIVEWAY/CURB CUT LOCATION.
- 2 SILT FENCE SHALL BE INSTALLED ALONG THE REAR PROPERTY LINE/DRAINAGE EASEMENT.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 4 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy. *#36 Per Tom Roberts 8-12*
- 5 Your new street address HAS NOT BEEN ASSIGNED (8/11), however, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 6 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

TO: Inspections Department

FROM: Jay Reynolds, Development Review Coordinator

DATE: June 2, 2004

RE: C. of O. for 36 Yale Street, Lot 2  
(CBL 153AA002) (ID 2003-0162)

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After visiting the site, I have the following comments:

Site work complete:

**At this time, I recommend issuing a permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.

Cc: Sarah Hopkins, Development Review Services Manager  
Mike Nugent, Inspection Services Manager

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Zoning Division  
Marge Schmuckel  
Zoning Administrator



Department of Planning & Development  
Lee Urban, Director

## CITY OF PORTLAND

August 19, 2003

Chris Ballard  
7 Terra Way  
Falmouth Maine 04105

RE: 36-38 Yale Street (lot #2 University Park) – 436-A-012 & 1/2 of 13 – R-3 Zone  
Permit application #03-0894

Dear Chris,

I am in receipt of your permit application to construct a new single family dwelling with an attached garage. Your permit has been denied because your proposal does not have the required setbacks as denoted within the R-3 residential zone.

Under section 14-47 the definition of “story” states, “That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height of four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it....”. Although you have not submitted full plans to show where the height of four feet hits under the sloping roof on the area above the garage, I used the open area with the front dormer as clear open space. This open area calculated to over 2/3 of the garage area immediately below it. The garage with the floor above is considered to be two (2) stories in height by definition. You are required to show fourteen (14) feet on both sides of this structure (section 14-90). Currently your plans show eight (8) feet and fifteen (15) feet. Your permit has been denied.

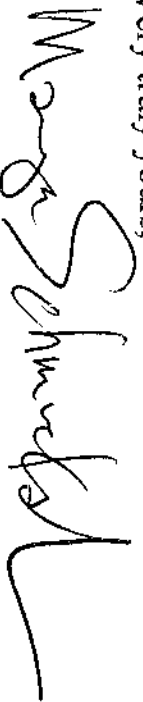
If you wish to resubmit additional plans to correct this violation of the ordinance, you will have thirty (30) days from the date of this letter in which to do so. Please note that complete plans showing where the four (4) foot under the sloped roof is located shall be required for a complete and accurate review. If this office does not receive revised plans within the thirty day period, your permit application will be void. Any further applications shall require a separate permit application.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have

thirty (30) days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Please also note that your permit is on hold until such time that revised plans have been received or after thirty days have expired. Your permit has not yet been reviewed for submitted structurals and compliance with the building codes.

Very truly yours,



Marge Schmuckal  
Zoning Administrator

Cc: Wescott & Payson  
240 Harvard Street  
Portland, ME 04103

Jay Reynolds, Development Review Coordinator  
File

Storm water retention area: A pond or basin used for the permanent storage of stormwater runoff.

**Story:** That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it and which does not contain an independent apartment or dwelling unit. A story which exceeds eighteen (18) feet in height shall be counted as two (2) stories. A basement shall be counted as a story for the purpose of height measurement where more than one-half of its height is above the average level of the adjoining ground.

Stream: A free-flowing body of water from the outlet of the confluence of two (2) perennial streams as depicted on the most recent edition of a United States Geological Survey 7.5-minute series topographic map, or if not available, a 15-minute series topographic map, to the point where the body of water becomes a river or flows to another water body or wetland within a shoreland area, or any stream designated within a Stream Protection Zone.

Stream, tributary: A channel between defined banks created by the action of surface water, whether intermittent or perennial, and which is characterized by the lack of upland vegetation or presence of aquatic vegetation and by the presence of a bed devoid of topsoil containing waterborne deposits on exposed soil, parent material or bedrock, and which flows to a water body or wetland. This definition does not include the term "stream" as defined in this section, and only applies to that portion of the tributary stream located within the shoreland zone of the receiving water body or wetland.

Street: A public way established by or maintained under public authority, or a way dedicated to the use of the public and appearing on the official map of the city.

Street line: The line of demarcation between a street and the abutting land.

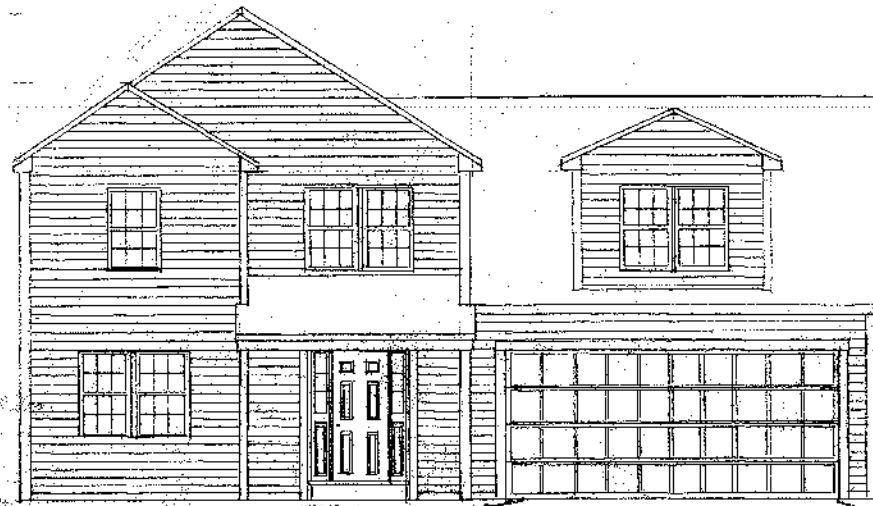
Structure: Anything constructed or erected of more than one (1) member which requires a fixed location on the ground or





*Spa Court, Lot 2*





FRONT ELEVATION

CHRISTOPHER BALLARD INC  
7 TERRA WAY  
FALMOUTH, ME 04105  
403-770-1000



Newest

TO: Inspections Department

FROM: Jay Reynolds, Development Review Coordinator

DATE: April 13, 2004

RE: C. of O. for 36 Yale Street, Lot 2  
(CBL 153AA002) (ID 2003-0162)

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After visiting the site, I have the following comments:

Site work incomplete:

1. Final Grading
2. Final Paving
3. Loam and Seed/Grass Catch
4. Driveway Apron/Sidewalk Repairs

I anticipate this work can be completed by **June 1, 2004**.

At this time, I **recommend issuing a temporary Certificate of Occupancy**.

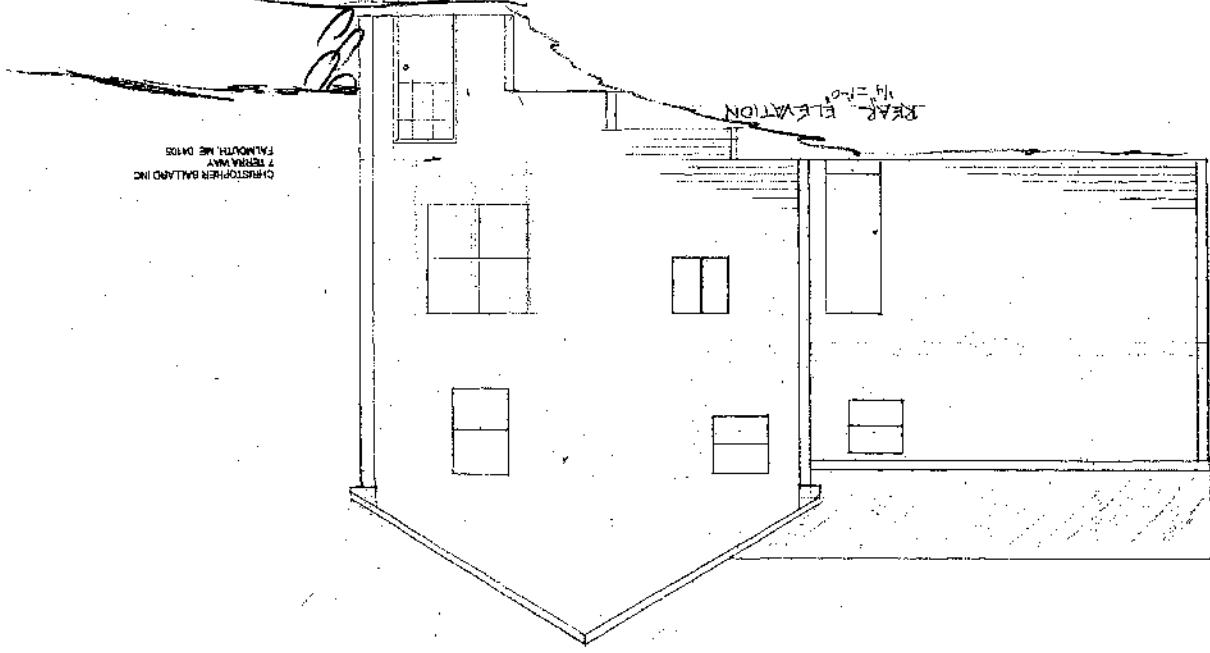
Please contact me if you have any questions or comments.

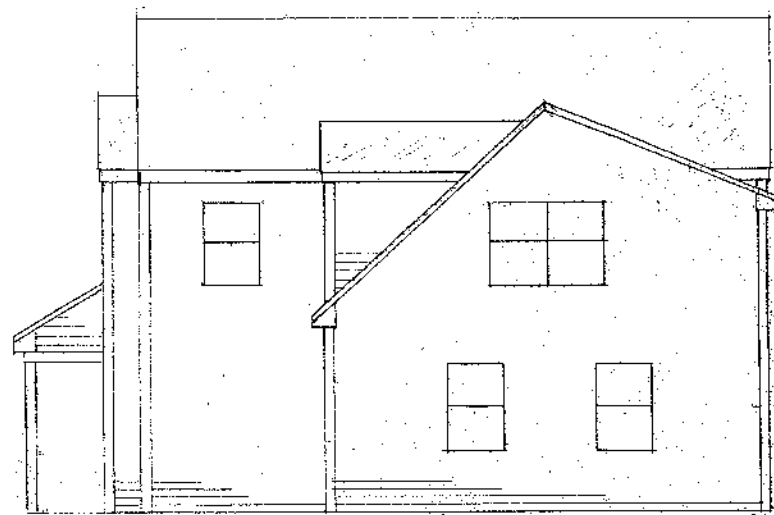
Cc: Sarah Hopkins, Development Review Services Manager  
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\yalelot2b.doc

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
SEP 8 2003  
RECEIVED

CHRISTOPHER BALLARD INC  
7 BERRA WAY  
FALMOUTH ME 04105

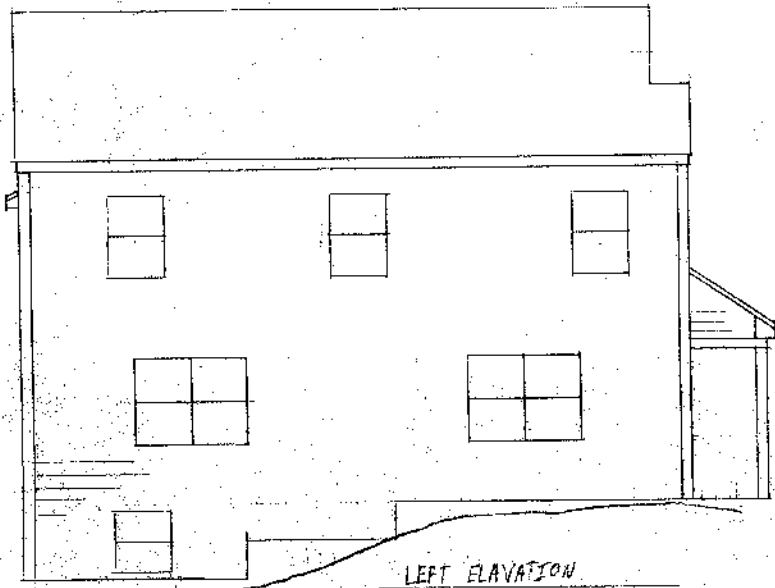




RIGHT ELEVATION 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
SEP 8 2008  
RECEIVED

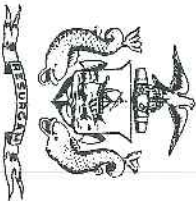
CHRISTOPHER BALLARD INC  
7 TERRA WAY  
FALMOUTH, ME 04105



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
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RECEIVED

CHRISTOPHER BALLARD INC  
7 TERRA WAY  
FALMOUTH, ME 04105  
1/4" = 1'-0"

Department of Planning & Development  
Lee D. Urban, Director



**CITY OF PORTLAND**

**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning  
John N. Lufkin  
Economic Development

September 4, 2003

Christopher Ballard, Inc.  
7 Terra Way  
Falmouth, ME 04105

RE: Request to Excavate and Blast  
Lot 2, Yale Court Subdivision

Dear Mr. Robinson,

Thank you for your written request to excavate and blast on your lot (#2), prior to issuance of the building permit.

Please consider this letter your approval to excavate and blast your lot. This approval is based on the submitted plan. As part of this approval, all erosion control measures shall be installed prior to any soil disturbance.

Sincerely,  
  
Jay Reynolds  
Development Review Coordinator

CC: Sarah Hopkins, Development Review Services Manager  
Todd Merkle, Public Works Department  
Mike Nugent, Inspection Services Manager  
Marge Schmuckal, Zoning Administrator

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- 1 -

CHRISTOPHER J. BALLARD, INC.

7000 N. W. 10th St.  
Miami, FL 33150  
Tel: 305.441.1111  
Fax: 305.441.1112

September 4, 2003

Jay Reynolds  
Development Review Coordinator  
City of Portland

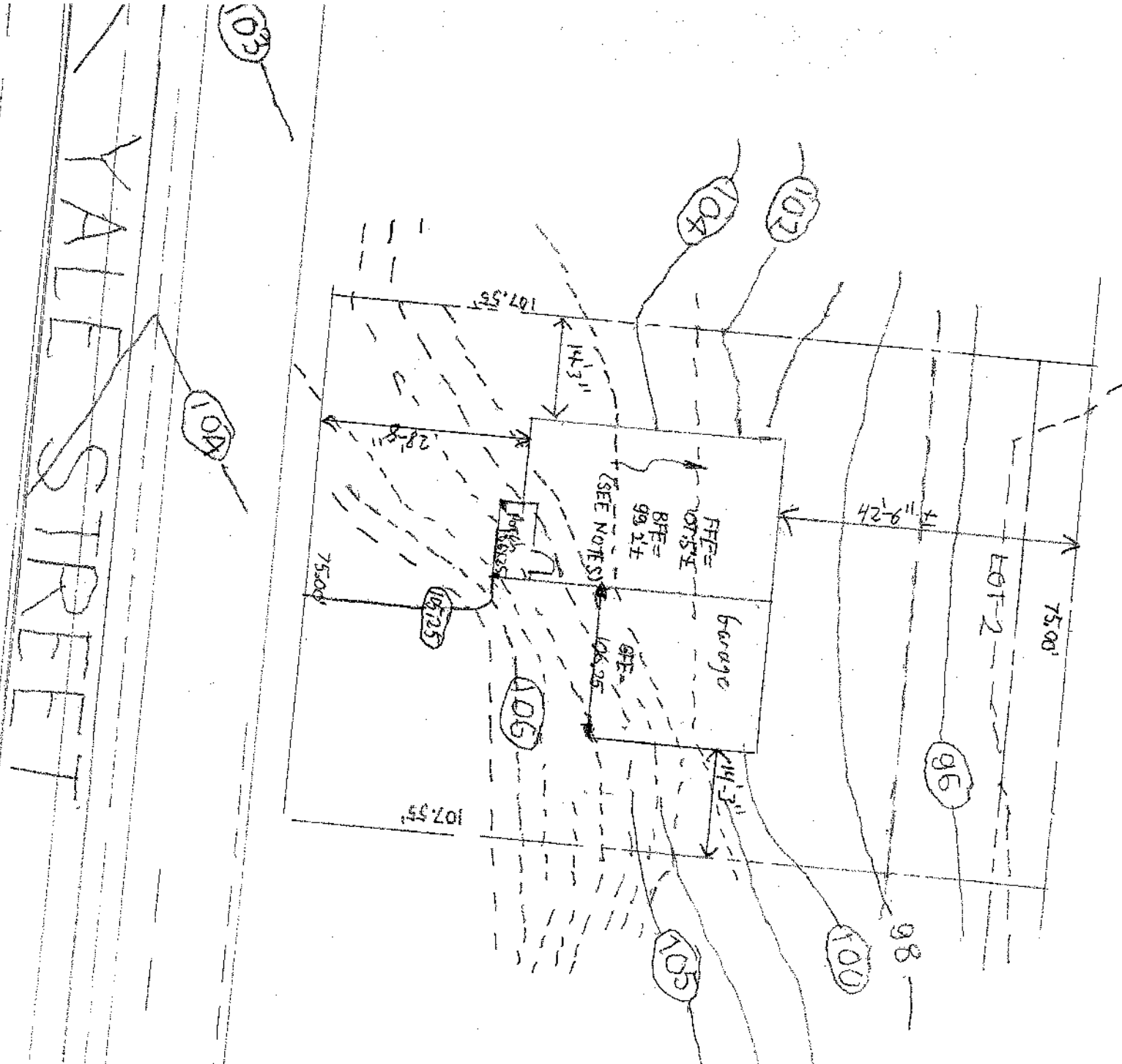
Dear Mr. Reynolds,

I would like to start site work (excavation and blasting), on Lot #2 of the Yale Street  
Subdivision.

Sincerely,



Chris Ballard

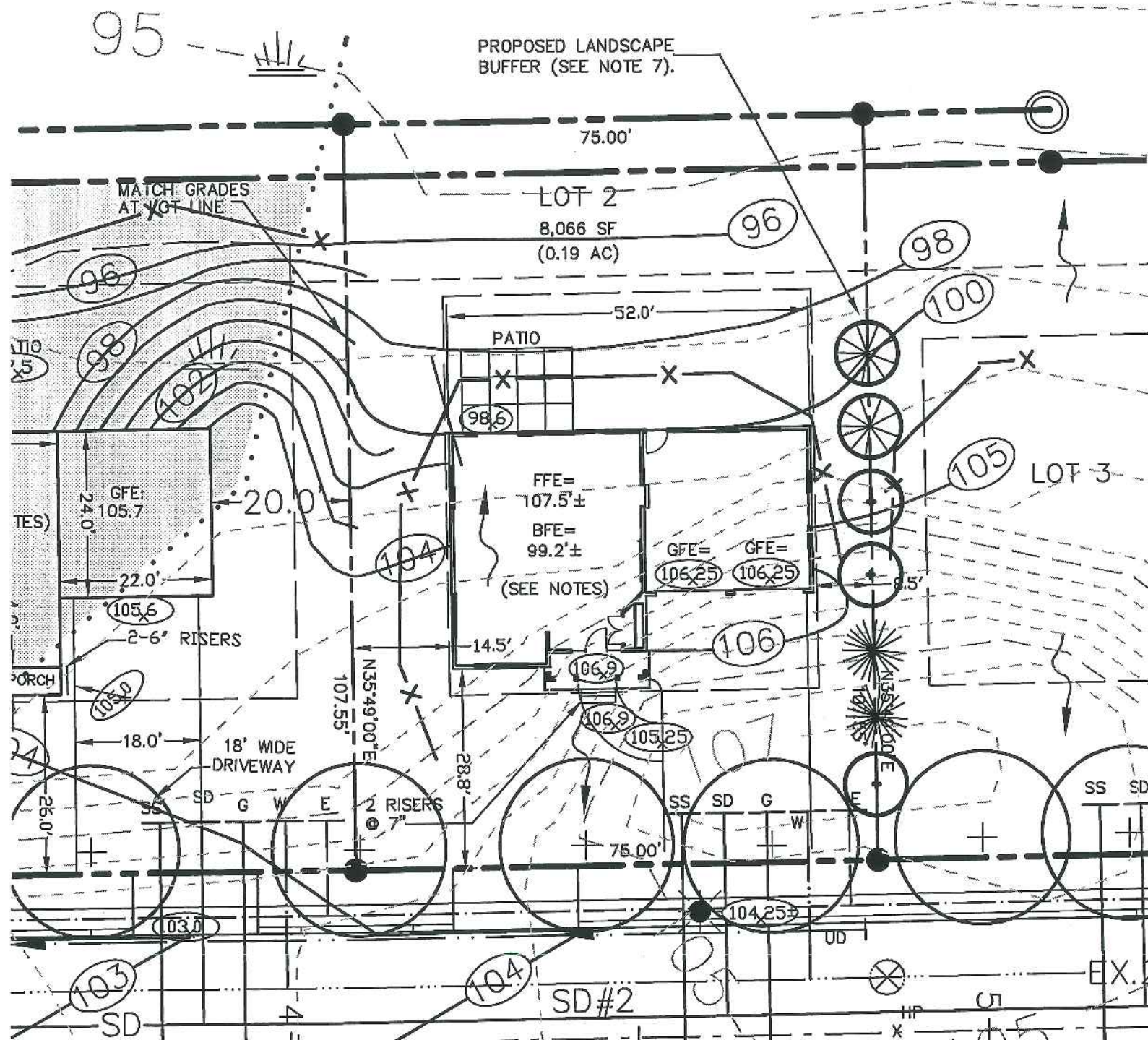


DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 SEP - 3 2003  
 RECEIVE





REFERENCE:



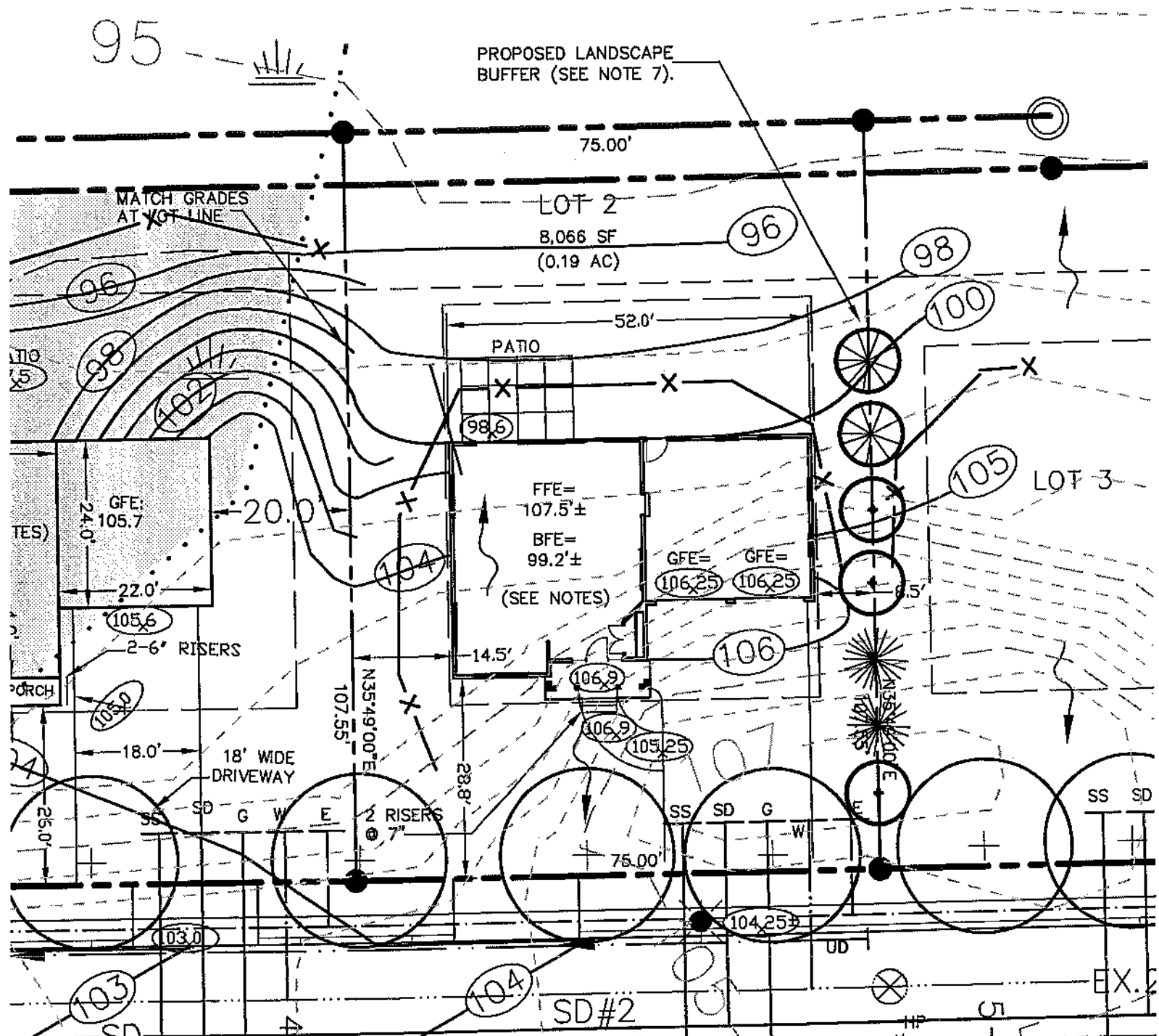
NOTES:

1. GRADING ON LOTS IS CONCEPTUAL BASED ON SHEET C-9, GRADING, DRAINAGE & EROSION CONTROLS PLAN OF "YALE COURT PRUD SITE PLANS AND AMENDED SUBDIVISION PLAN OF LOTS AT UNIVERSITY PARK" AS APPROVED BY CITY OF PORTLAND.
2. DRIVEWAYS, UTILITY CONNECTIONS, LIGHT POLES, AND STREET TREES SHOWN ARE AS SHOWN ON SHEET C-9 OF APPROVED PLANS. NO AS-BUILT INFORMATION FOR THESE IMPROVEMENTS ON YALE STREET IS AVAILABLE.
3. BUILDING FOOTPRINT AND LAYOUT SHOWN IS BASED ON FLOOR PLAN PROVIDED BY OWNER.
4. SITE ADAPTATION FOR LOT 2 AS SHOWN ON THIS PLAN BY LAND USE CONSULTANTS IS BASED ON INFORMATION DESCRIBED IN NOTES #1 TO #3.
5. OWNER SHALL BE RESPONSIBLE FOR ALL LAYOUT AND FOR CONFORMANCE TO ZONING AND ALL APPROVED PLANS AND PERMITS.
6. EROSION CONTROLS SHALL BE INSTALLED BY CONTRACTOR PRIOR TO CONSTRUCTION, AS REQUIRED. EROSION CONTROLS SHOWN ARE CONCEPTUAL AND SHALL BE PLACED BASED ON ACTUAL FIELD CONDITIONS.
7. LANDSCAPE BUFFER BETWEEN LOTS SHALL BE PLANTED BY DEVELOPER UPON FINAL GRADING OF BOTH LOTS AS SHOWN.



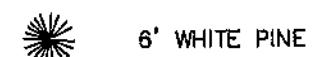
6' WHITE PINE

▶ REFERENCE:

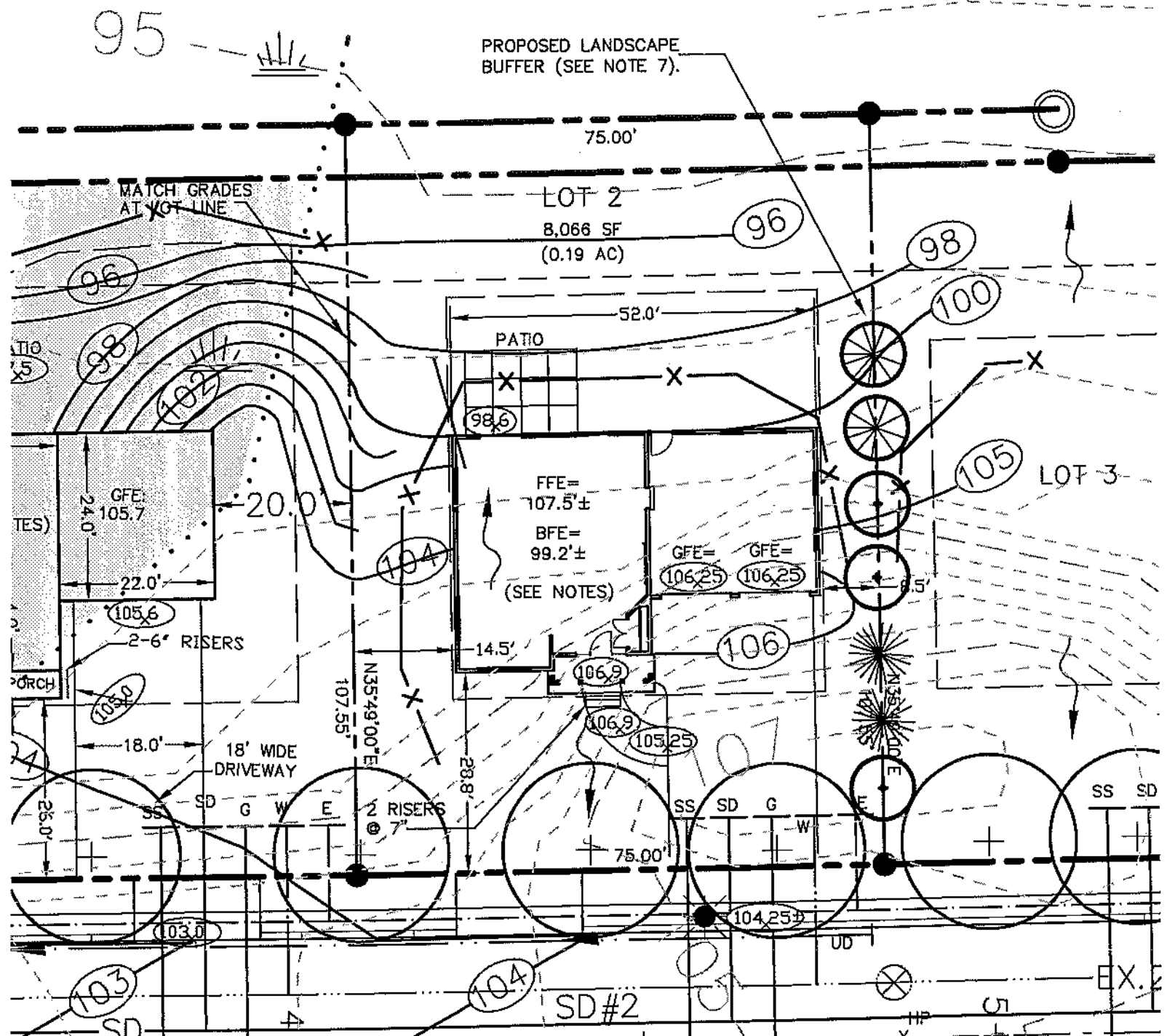


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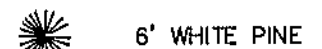


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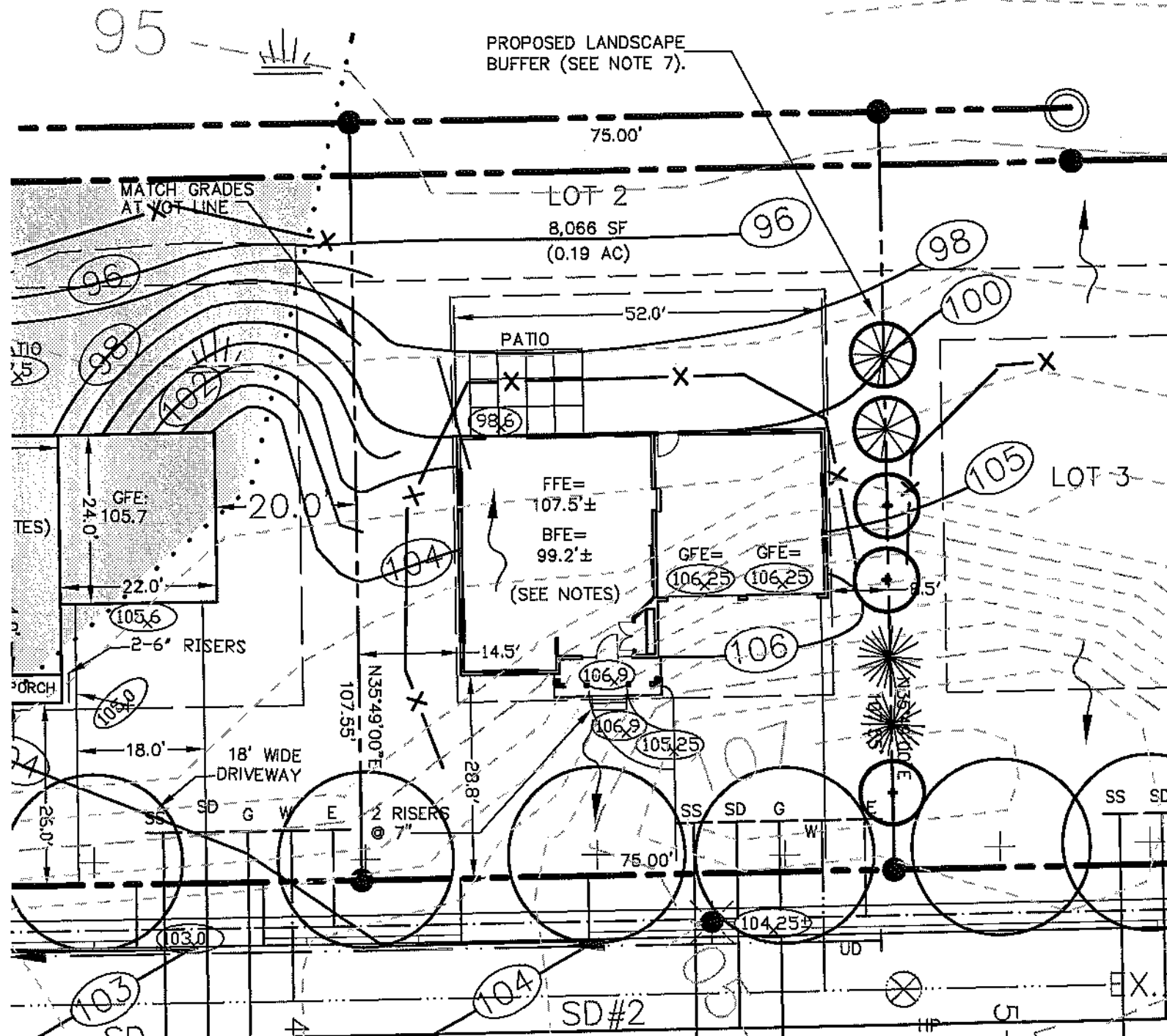


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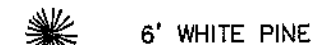


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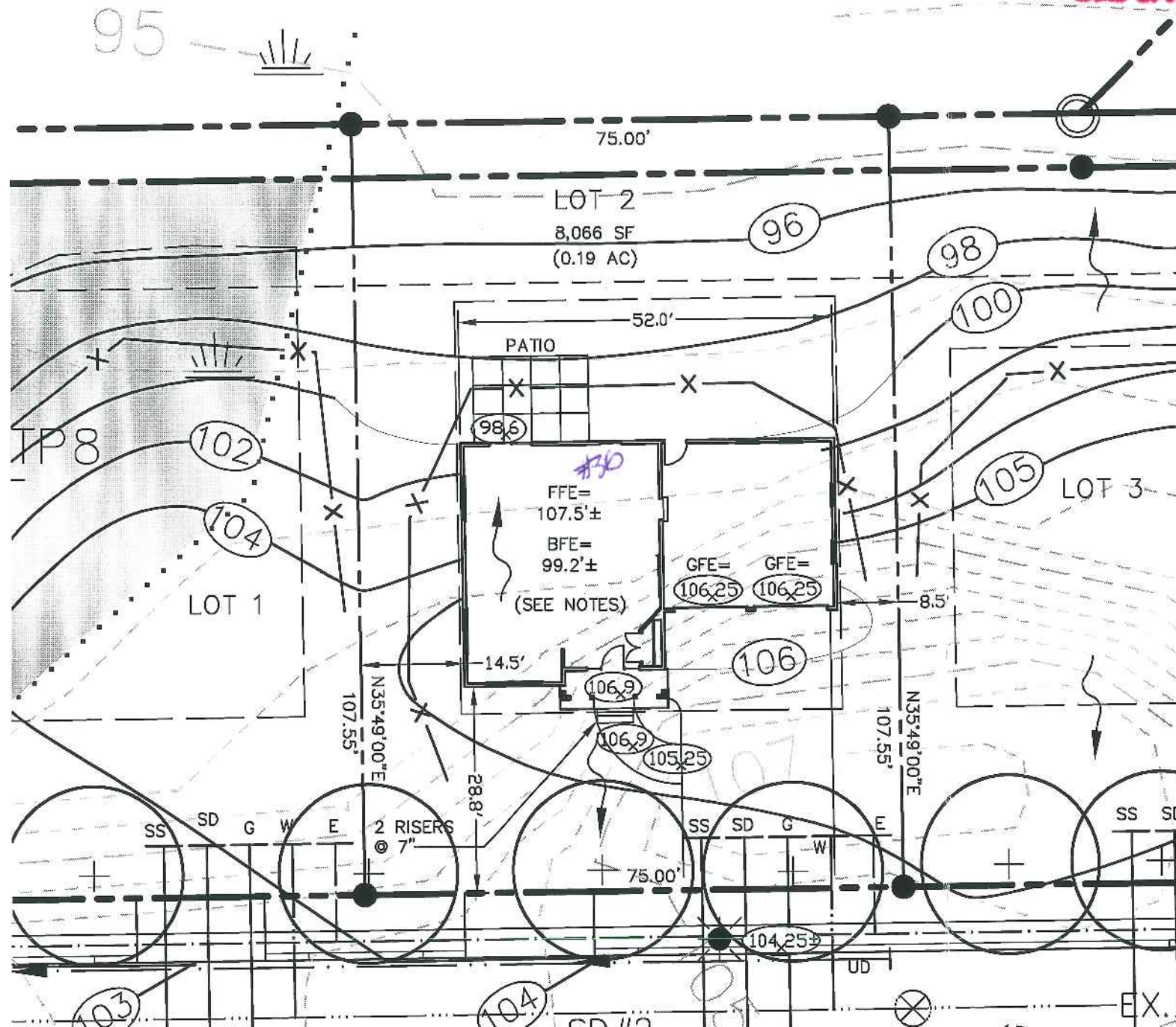
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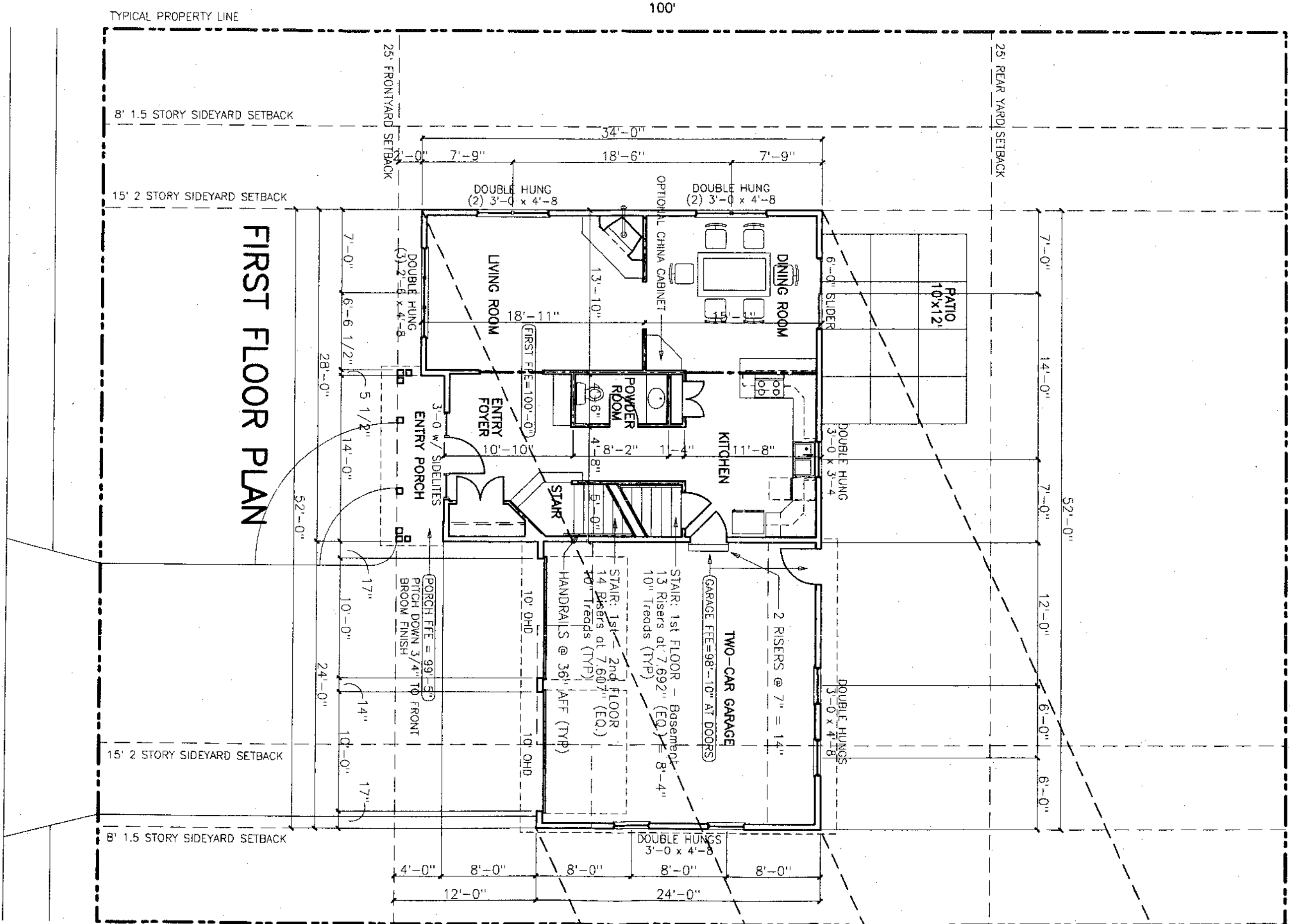
**CITY OF PORTLAND  
APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 8-11-03



NOTES:

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# SITE PLAN



## FIRST FLOOR PLAN

