

838.0444
Dun



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 02/20/15

282 HARVARD ST
PORTLAND
MAINE

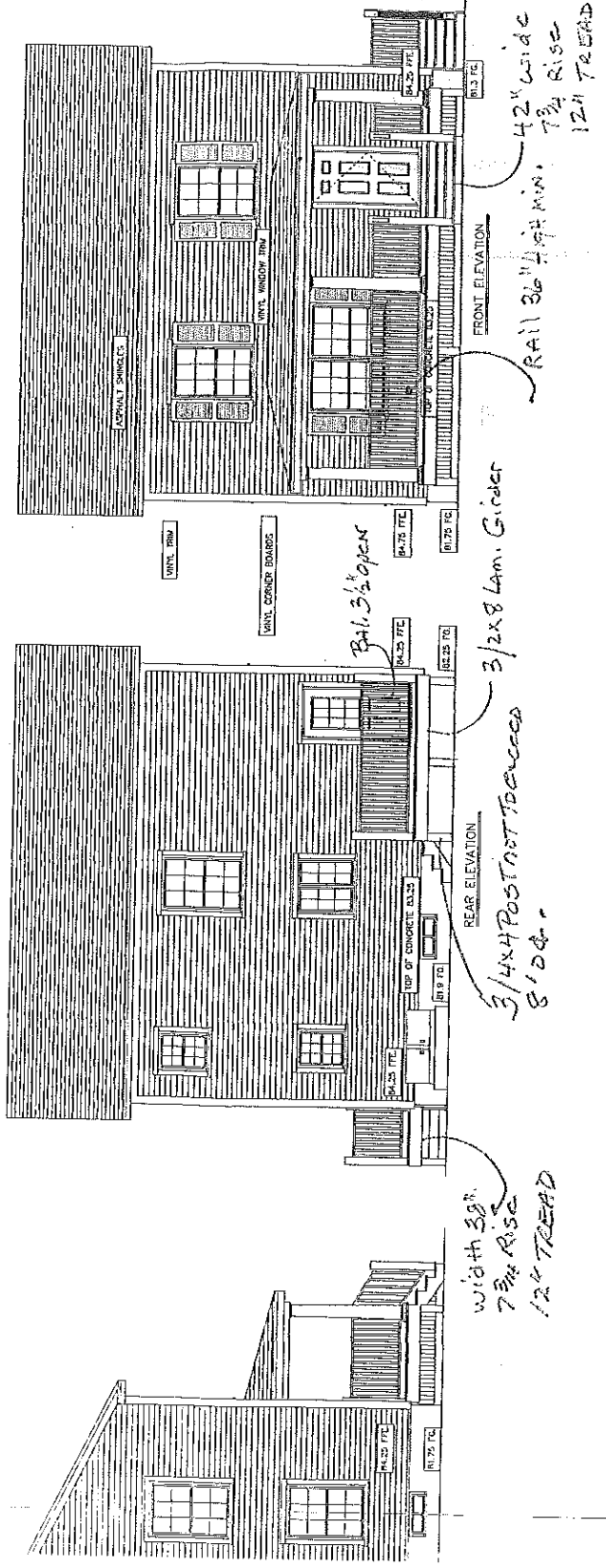
AAAL
LLC

CONTRACTOR

PROJECT NAME

NO.	DATE	BY	REVISION

THE DRAWING IS TO BE CONSIDERED ONLY AS GENERAL GUIDANCE FOR THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE MAINE DEPARTMENT OF CONSUMER SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE MAINE DEPARTMENT OF CONSUMER SERVICES.



NOTE: ALL PLUMBING WALLS (WALLS WITH VENTS AND DRAINS) ARE TO HAVE 2x6 CONSTRUCTION

NOTE: ALL PLUMBING WALLS (WALLS WITH VENTS AND DRAINS) ARE TO HAVE 2x6 CONSTRUCTION

1/2" ZIP WALL SHEATHING

NOTE: MAINTAIN A MINIMUM 6"-8" CLEARANCE AT STAIRWAY 14 RISERS @ 7 1/4" 13 POINTS @ 10"

42" wide
7 3/4" RISE
12" TREAD

CROSS SECTION A-A
SCALE 1/4" = 1'-0"

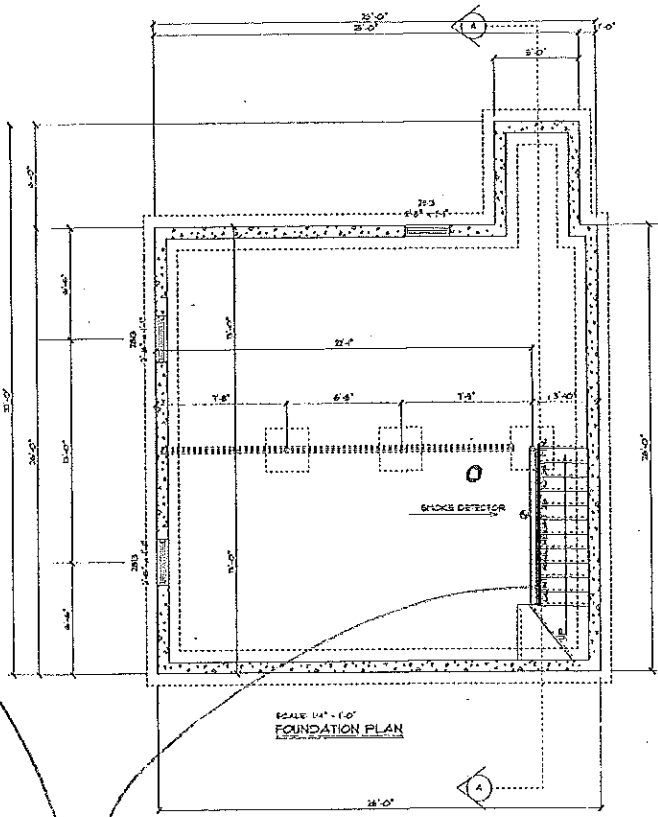
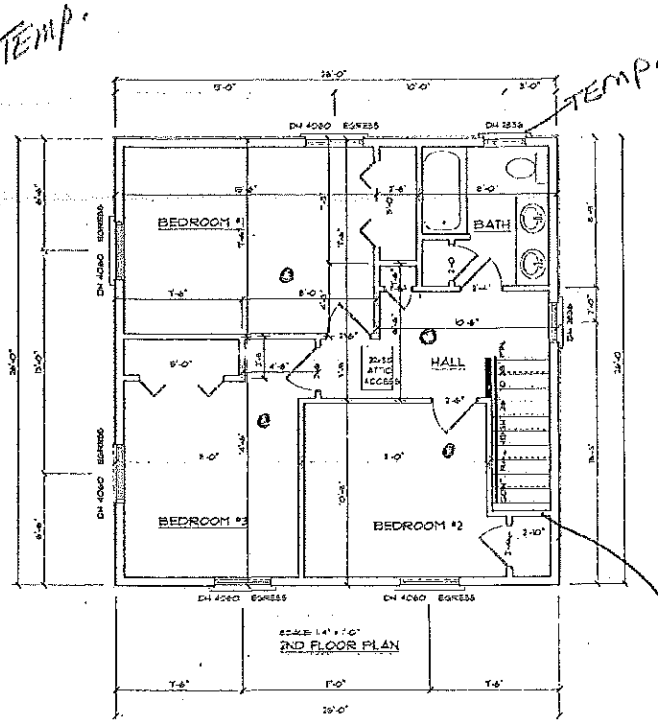
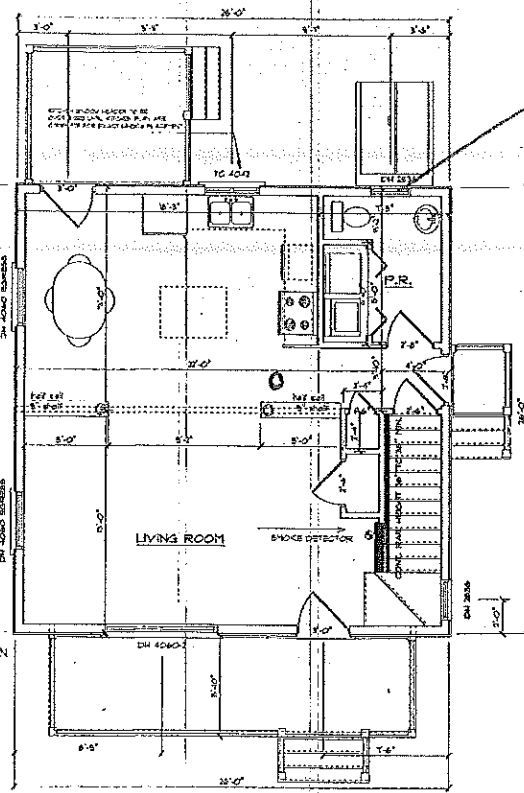
RECEIVED
FEB 10 2015
City of Portland
Planning Division



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Inspections Division
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LIFE UPGRADE HOME DESIGN



○ Smoke Detectors

○ Smoke + CO₂ Detectors

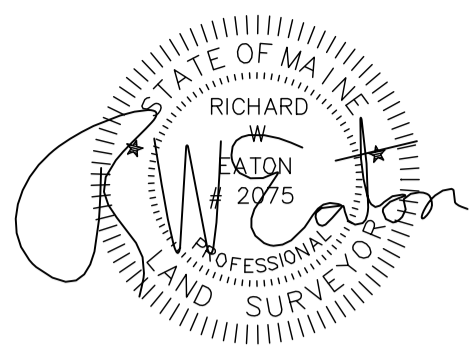
3/8" wide width STAIR CASES

THESE PLANS ARE TO BE CONSIDERED ONLY AS A GUIDE TO THE GENERAL CHARACTER OF THE WORK TO BE DONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE.

CONTRACTOR:
AAAL, LLC

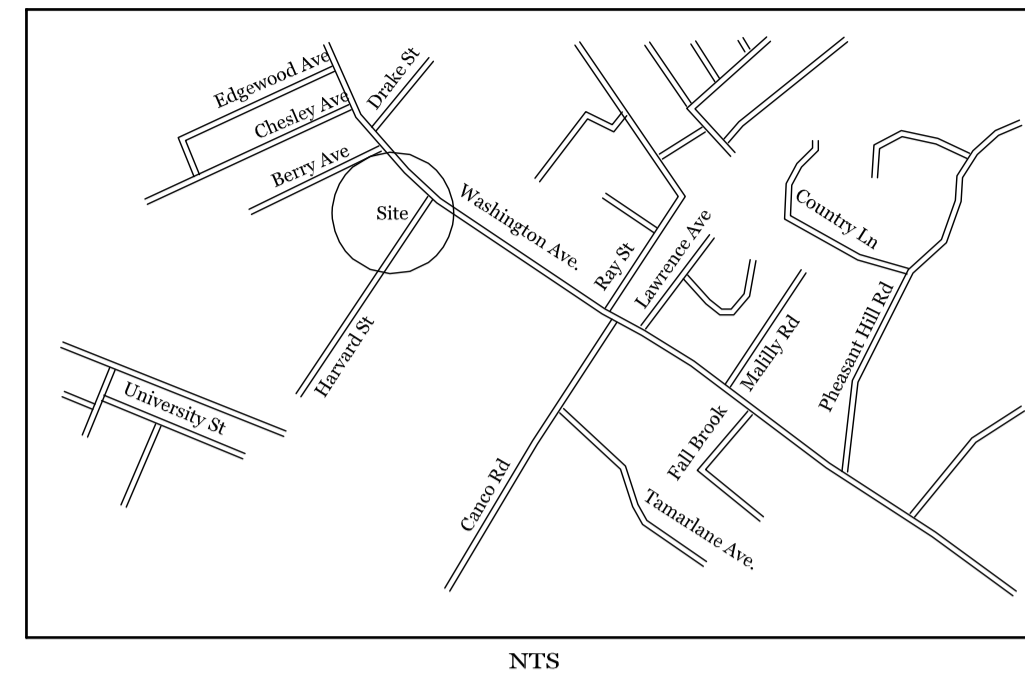
PROJECT NAME:
282 HARVARD ST
PORTLAND
MAINE

REVISED	
DATE	March 22, 2012
SCALE	AS NOTED
DESIGN	
FILE	
SHEET	1 of 1



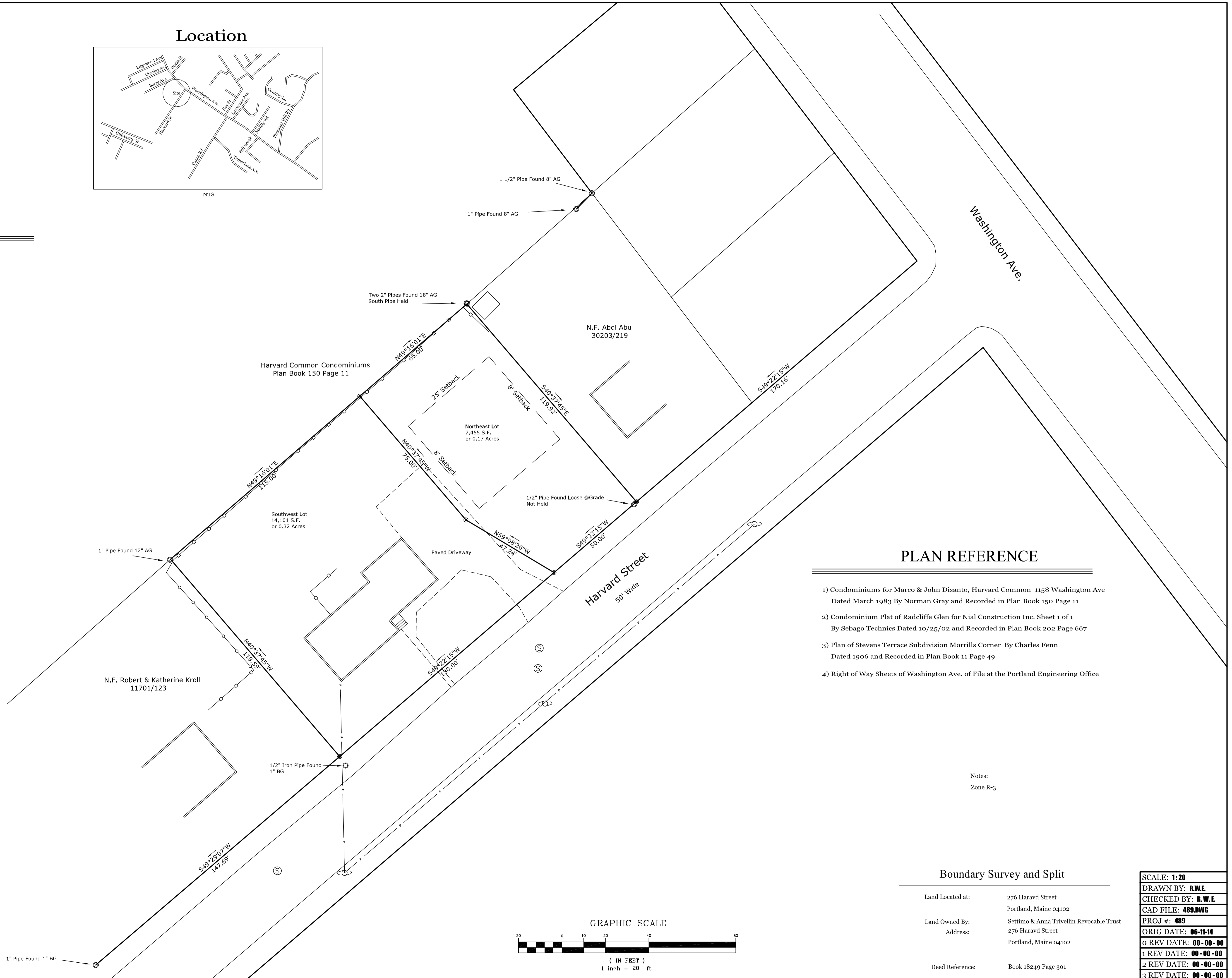
RICHARD W. EATON P.L.S. # 2075

Location



LEGEND

- 5/8" Rebar Set With Cap
- Rebar/Iron Pipe Found
- ⊕ Utility Pole
- N.F. Now or Formerly
- 1324/98 Book & Page
- Stockade Fence



PLAN REFERENCE

- 1) Condominiums for Marco & John Disanto, Harvard Common 1158 Washington Ave Dated March 1983 By Norman Gray and Recorded in Plan Book 150 Page 11
- 2) Condominium Plat of Radcliffe Glen for Nial Construction Inc. Sheet 1 of 1 By Sebago Technics Dated 10/25/02 and Recorded in Plan Book 202 Page 667
- 3) Plan of Stevens Terrace Subdivision Morrills Corner By Charles Fenn Dated 1906 and Recorded in Plan Book 11 Page 49
- 4) Right of Way Sheets of Washington Ave. of File at the Portland Engineering Office

Notes:
Zone R-3

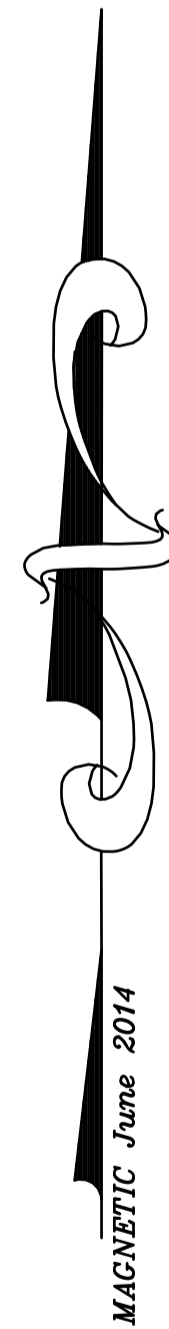
Boundary Survey and Split

Land Located at: 276 Haravd Street
Portland, Maine 04102

Land Owned By: Settimo & Anna Trivellin Revocable Trust
Address: 276 Haravd Street
Portland, Maine 04102

Deed Reference: Book 18249 Page 301

SCALE: 1:20
DRAWN BY: R.W.E.
CHECKED BY: R.W.E.
CAD FILE: 489.DWG
PROJ #: 489
ORIG DATE: 06-11-14
0 REV DATE: 00-00-00
1 REV DATE: 00-00-00
2 REV DATE: 00-00-00
3 REV DATE: 00-00-00



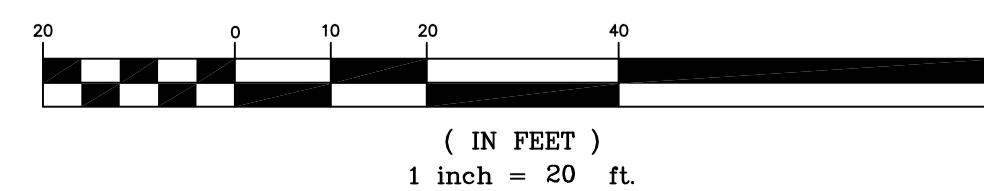
R. W. EATON ASSOCIATES
LAND SURVEYING & REAL ESTATE

58 PLEASANT STREET, WESTBROOK, MAINE 04092

PHONE: 207-854-2402 FAX: 856-7167 E-MAIL: RWEATON@MAINE.RR.COM

June 11th, 2014

GRAPHIC SCALE

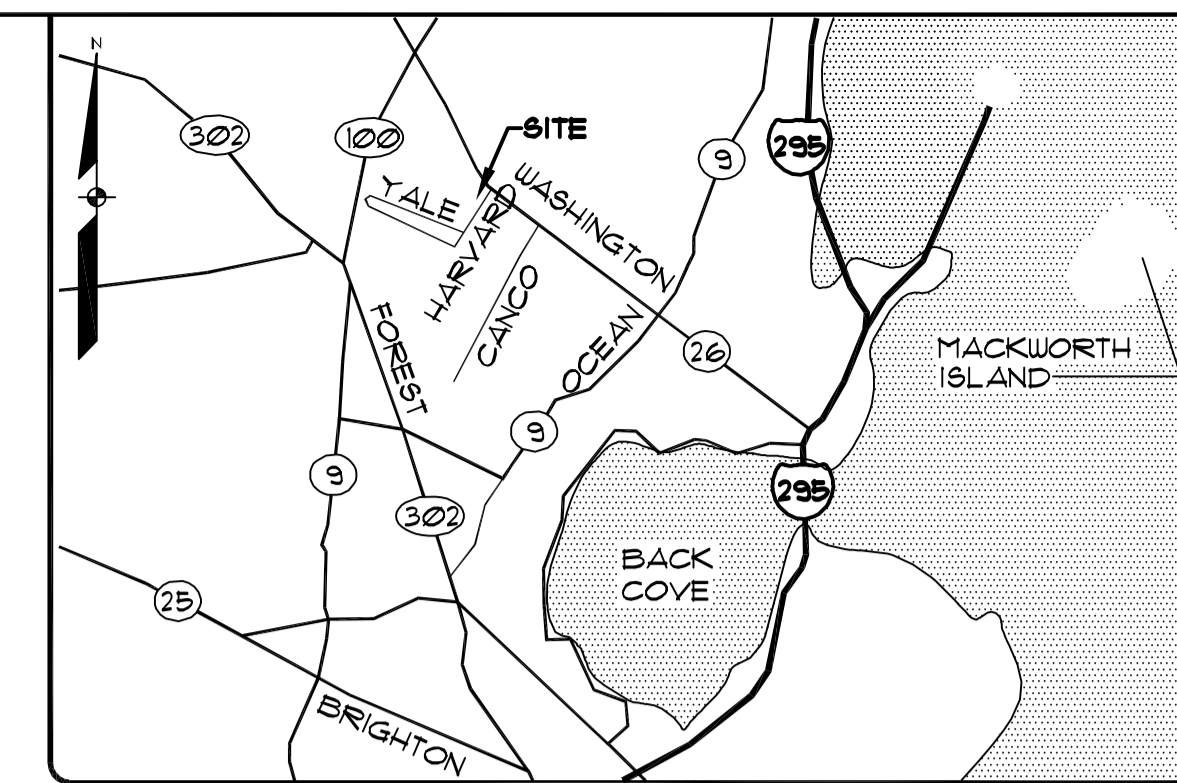




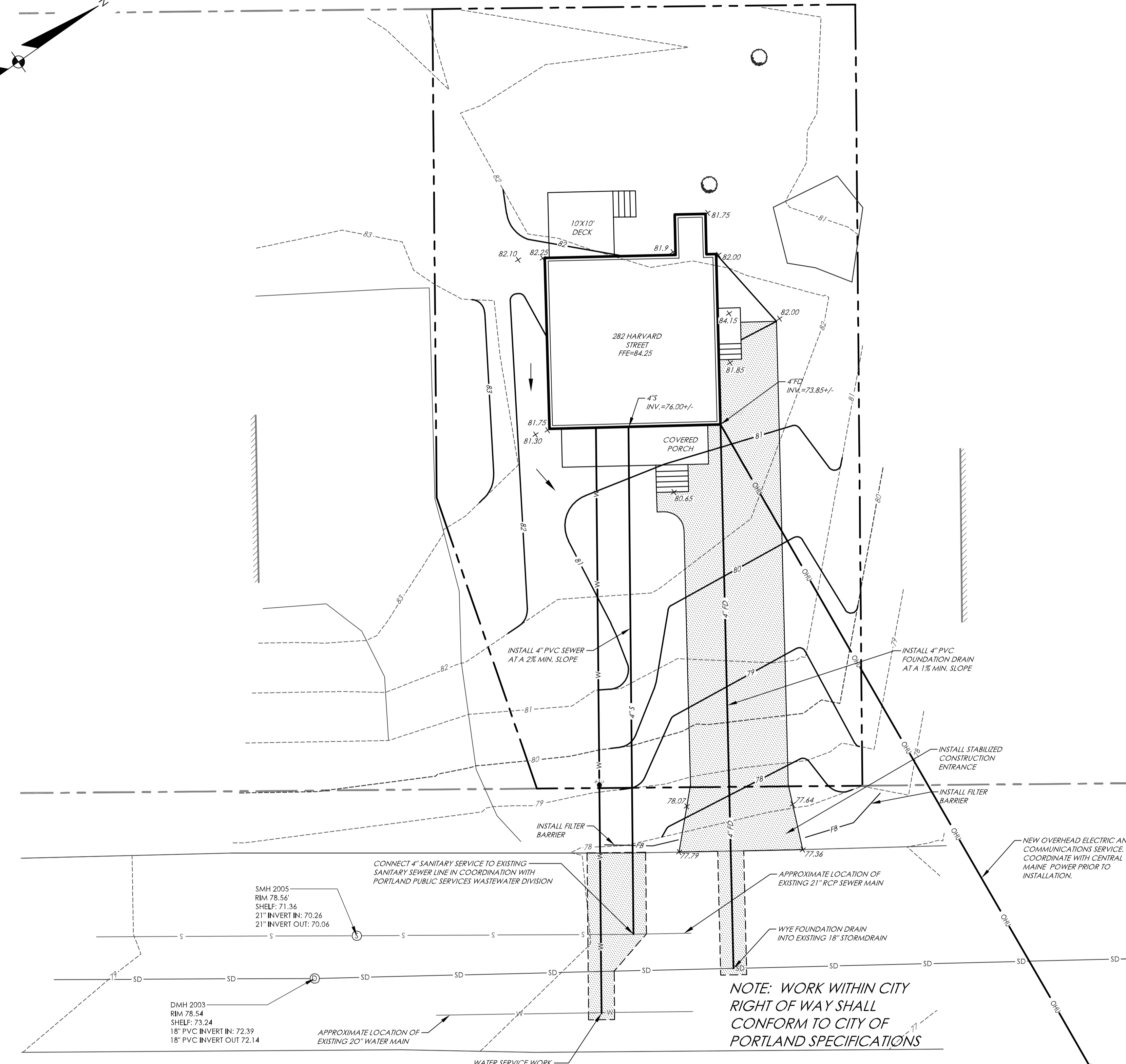
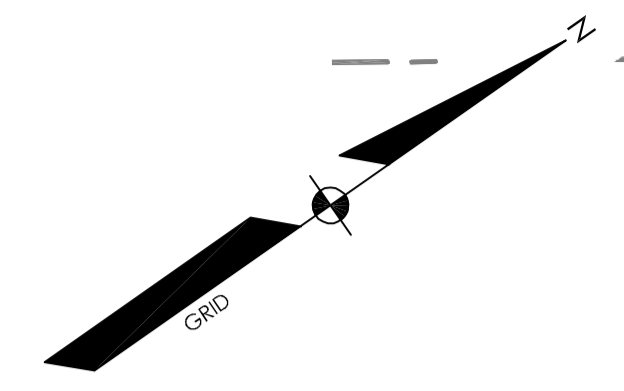
Date: 02/20/15

PROGRESS PRINT

NOT FOR CONSTRUCTION



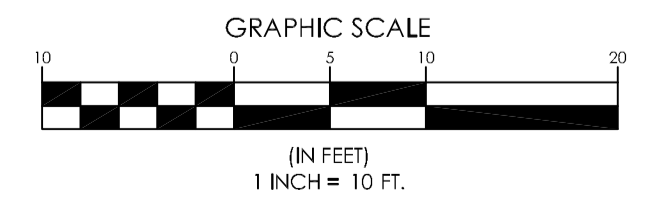
LOCATION MAP N.T.S.



CONSTRUCTION NOTES

- 1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK...
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS 'EXISTING' WHICH ARE NOT FOUND IN THE FIELD.
...
27. ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES...

LEGEND table with columns for EXISTING and PROPOSED symbols for various features like property lines, buildings, pavements, utilities, and trees.



NOTE: WORK WITHIN CITY RIGHT OF WAY SHALL CONFORM TO CITY OF PORTLAND SPECIFICATIONS

DESIGNED AND CHECKED table with columns for PDO and SMF, and rows for A, SMF, 11-12-14, SUBMITTED TO CLIENT FOR REVIEW, STATUS, DATE, and BY.

SEBAGO TECHNICS logo and contact information: WWW.SEBAGOICECHNICS.COM, 250 Goodland Rd., Suite B, Lewiston, ME 04240.

GRADING AND UTILITY PLAN OF 282 HARVARD STREET, PORTLAND, MAINE. FOR: AAAL, LLC, 6 BEACH STREET, SOUTH PORTLAND, ME 04106.

Lannie Dobson - 282 Harvard Street Plans



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/20/15

From: Shawn Frank <sfrank@sebagotechnics.com>
To: Philip DiPierro <PD@portlandmaine.gov>
Date: 1/7/2015 4:08 PM
Subject: 282 Harvard Street Plans
CC: Dan Labrie <dlabrie@rufusdeering.com>
Attachments: SKMBT_42315010716050.pdf; 14418-OT-Havard St Survey.pdf; 14418S-24x36.pdf; 14418GU-GU.pdf; 14418floor.pdf; 12224elevations sections FFE FG-Model.pdf

Hi Phil:

It was good talking to you the other day regarding the application for the single-family home proposed for 282 Harvard Street by AAAL, LLC. The first enclosed pdf's contains the deed to AAAL, LLC and the FEMA panel for the area. The 2nd pdf is the original stamped survey by Richard Eaton which divided the property for the original owner. Sebago Technics performed the topographic survey including tying into Maine State Grid so the 3rd pdf contains our site plan with the northings and eastings at the corners and notes regarding coordinate system and NGVD 1929. The 4th pdf contains the grading and utility plan including a stone drip edge in the rear of the house and a filter barrier around the total perimeter of disturbance. The front of the house drains over the front porch roof to the street. A new utility pole is shown to be installed so the overhead lines do not cross abutting properties. The final 2 pdfs are the floor plans and elevations.

We are hopeful that the enclosed pdfs provide the information requested in your review letter of 12/16/14, but upon review, please let me know if you require additional information.

Thank you Phil,

Shawn Frank, PE

Senior Project Manager



www.sebagotechnics.com

An Employee Owned Company

75 John Roberts Road – Suite 1A
South Portland, ME 04106-6963

Office: 207.200.2100

Direct: 207.200.2062

Mobile: 207.615.2312

Email: sfrank@sebagotechnics.com

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WALK up to City *Plus Effect* Getting a Building Permit



Complete process of getting a building permit, from submittal to job completion in the City of Portland

STEP

1. Applicant provides a complete electronic application, with checklist requirements, according to established criteria:

Link: <http://me-portland.civicplus.com/764/Electronic-Plan-and-Document-Submittal>
Submittal can be provided in 1 of 2 ways:

- E-mail sent with all documents as separate PDF attachments, and named correctly, to buildinginspection@portlandoregon.gov
- Applicant can bring all documents on flash drive or CD to office.

NOTE: Do NOT send zipped files; our security will not accept.

(If the application materials are not complete, applicant will get a response stating insufficiencies.)

2. Once complete electronic application is received, it is entered into the system.
3. A confirmation of acceptance e-mail, and an invoice showing fees due, is provided to applicant typically within 24-48 hours from acceptance.
4. Fees are paid: options:
 - a. The applicant can come into the office and make payment.
 - b. The applicant can pay on line w/credit/debit card or check
(The link can be found on invoice and e-mail.)
 - c. The applicant can send in payment (check) through mail.
5. Once received, a receipt gets sent back to applicant (typically through e-mail) for confirmation. The review process will now begin.

(For Plumbing and Electric permits, a copy of the actual issued permit will also be sent through e-mail.)

6. Application goes through the review process, potential **Fast Track**:

<http://me-portland.civicplus.com/documentcenter/view/2808>

Applicant can review what part of the process the permit is in:

7. Application gets approved and permit issued; sent through e-mail on application.
8. Applicant performs work as permitted; contacts Inspections Office for inspections as per schedule provided on issued permit; Options:
 - Call 207-874-8703 and request an inspection
 - E Mail at: buildinginspection@portlandoregon.gov,
 - or on line: <http://me-portland.civicplus.com/92/Permit-Status>
 - a. entering street data and choosing "View More"
 - b. Choosing "Schedule" under "Required Inspections"
9. Final inspection performed. If required, Certificate of Occupancy issued.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

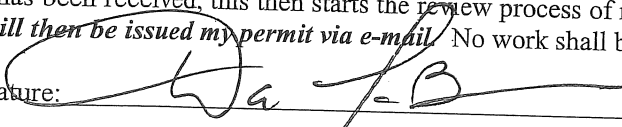
I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. *After all approvals have been met and completed, I will then be issued my permit via e-mail.* No work shall be started until I have received my permit.

Applicant Signature:  Date: 11/19/14

I have provided digital copies and sent them on: _____ Date: 11/19/14

NOTE: All electronic paperwork must be delivered to _____ or by physical means ie; a

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



Effective July 3, 2014



Level I – Minor Residential Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level I: Minor Residential site plan and building permit.

Level I: Minor Residential development includes:

- Development of a single-family or a two-family building, excluding building additions, decks, or accessory structures, such development shall be deemed minor residential development for purposes of this article regardless of its size.
- The addition of any additional dwelling unit to a building initially reviewed as a two-family dwelling or multifamily structure, if the additional dwelling unit does not require subdivision review under Maine State Statutes and Portland's Subdivision Ordinance.

As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000 in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at <http://www.portlandmaine.gov/755/Code-Regulations-Ordinance>

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/755/Code-Regulations-Ordinance>

Inspection Division
Room 315, City Hall
389 Congress Street
(207) 874-8703

Office Hours
Monday thru Friday
8:00 a.m. – 4:00 p.m.

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8721

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.



Project Address: **282 Harvart street**

Total Square Footage of Proposed Structure/Area:
 1369

Area of lot (total sq. ft.):

Garage: Yes ___ No X

Attached ___

Detached ___

Sq. Ft.: _____

Number of Stories: 1 1/2

Number of Bathrooms: 1 1/2

Number of Bedrooms: 3

Tax Assessor's Chart, Block & Lot(s):
 Chart# Block # Lot #

book 30203 page 219

Current legal use: vacant lot

Number of Residential Units 1

If vacant, what was the previous use? vacant land

Is property part of a subdivision? _____ If yes, please name _____

Project Description:
new single family home

APPLICANT – (must be owner, Lessee or Buyer)

Name: Dan LaBrie

Business Name, if applicable: AAAL Builders

Address: 6 Beach street

City/State : So. Portland Zip Code: 04106

Work # 207 772-6505

Home# 207 767-1055

Cell # 207 838-0444

e-mail: dlabrie@rufusdeering.com

OWNER INFORMATION – (if different from Applicant)

Name: same as above

Address:

City/State : Zip Code:

Work #

Home#

Cell #

e-mail:

CONTRACTOR INFORMATION:

Name: same as above

Address:

City/State : Zip Code:

Phone Number:

e-mail:

Contact when Building Permit is Ready:

Name: same as above

Phone Number:

e-mail:



ENGINEER INFORMATION: Name: none needed Address: City/State : Zip Code:	Engineer Contact Information E-mail: Home #: Work #: Cell #: Fax#:
SURVEYOR INFORMATION: Name: Sebago Techs Address: City/State : So. Portland Zip Code: 04106 <i>Sharon</i>	Surveyor Contact Information E-mail: Home #: Work #: Cell #: Fax#:
ARCHITECT INFORMATION: Name: none needed Address: City/State : Zip Code:	Architect Contact Information E-mail: Home #: Work #: Cell #: Fax#:

DEVELOPMENT REVIEW FEES:

Payment may be made in cash, credit card or check addressed to the City of Portland.

Level I Minor Residential Site Plan	Fees Paid:
1. Application Fee - \$300.00	\$ 300
2. Inspection Fee - \$100.00 (for site plan inspection by the Planning Division)	\$ 100
3. Certificate of Occupancy Fee - \$100.00	\$ 100
4. Building Permit (Cost of Work)	\$ 1532.00
Total Due:	\$ 2032.00
Building Permit Fee - \$25 for the first \$1,000 construction cost - \$11 every additional \$1,000.	
Performance Guarantee - Exempt except for those projects that complete construction in the winter and the site work is incomplete.	



Please submit all of the information outlined on the applicable Checklist, shown on Page 4 and 5 of this Application. In addition, a CD or PDF (e-mailed to maininspections@portlandmaine.gov) of the entire Application, including all plans, must be submitted with the Application. Failure to do so may result in the automatic denial of your permit.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov. Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.

Property Taxes:

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

Separate Permits:

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of Applicant:	Date: 11/19/14
-------------------------	-------------------

This is not the permit - you may not commence any work until the permit is issued.

A CD or PDF of the entire application, including all plans, must be submitted with the

General Submittal Requirements – Level I Minor Residential			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>		2	Completed application form and check list.
<input checked="" type="checkbox"/>		1	Application fees.
<input checked="" type="checkbox"/>		2	Evidence of right, title and interest.
<input type="checkbox"/>		2	Copies of required state and/or federal permits.
<input type="checkbox"/>		2	Written Description of existing and proposed easements or other burdens.
<input type="checkbox"/>		2	Written requests for waivers from individual site plan and/or technical standards.
<input type="checkbox"/>		2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

application. (e-mail to maininspections@portlandmaine.gov)



Site Plans and Boundary Survey Requirements – Level I Minor Residential

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	X	3	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &/or Stream Protection Zone.
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Location and dimension of existing and proposed paved areas.
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Proposed ground floor area of building.
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Finish floor elevation (FEE) or sill elevation.
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Exterior building elevations (show all 4 sides).
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Existing and proposed utilities (or septic system, where applicable)
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Existing and proposed grading and contours.
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Proposed stormwater management and erosion controls.
<input type="checkbox"/>			<ul style="list-style-type: none"> ▪ Total area and limits of proposed land disturbance.
<input type="checkbox"/>			<ul style="list-style-type: none"> ▪ Proposed protections to or alterations of watercourses.
<input type="checkbox"/>			<ul style="list-style-type: none"> ▪ Proposed wetland protections or impacts.
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).
<input type="checkbox"/>			<ul style="list-style-type: none"> ▪ Existing and proposed curb and sidewalk, except for a single family home.
<input type="checkbox"/>			<ul style="list-style-type: none"> ▪ Existing and proposed easements or public or private rights of way.
<input checked="" type="checkbox"/>	X		<ul style="list-style-type: none"> ▪ Show foundation/perimeter drain and outlet.
<input type="checkbox"/>			<ul style="list-style-type: none"> ▪ Additional requirements may apply for lots on unimproved streets.



Building Permit Submittal Requirements – Level I: Minor Residential Development			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
		1	One (1) complete set of construction drawings must include:
<input checked="" type="checkbox"/>			▪ Cross section with framing details
<input checked="" type="checkbox"/>			▪ Floor plans and elevations to scale
<input checked="" type="checkbox"/>			▪ Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space
<input type="checkbox"/>	PER FLOOR PLANS		▪ Window and door schedules
<input checked="" type="checkbox"/>			▪ Foundation plans w/required drainage and damp proofing , if applicable
<input type="checkbox"/>			▪ Detail egress requirements and fire separation, if applicable
<input checked="" type="checkbox"/>			▪ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003
<input type="checkbox"/>			▪ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
<input type="checkbox"/>			▪ As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)
<input type="checkbox"/>			▪ Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"

**** Reminder: ****

1. **A CD or PDF of the entire application, including all plans, must be submitted with the application.**
2. Separate permits are required for internal and external plumbing, HVAC, and electrical installations.
3. Please submit all of the information outlined in this application checklist.
4. If the application is incomplete, the application may be refused.
5. The Planning and Urban Development Department may request additional information prior to the issuance of a permit.

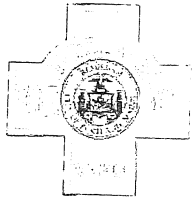


Site Plan Standards for Review of Level I: Minor Residential

Level I: Minor Residential site plan applications are subject to the following site plan standards*, as contained in section 14-526 of Article V, Site Plan:

- 14-526 (a) **Transportation Standards:**
 - 2.a. Site Access and Circulation (i) and (ii);
 - 2.c. Sidewalks: *(if the site plan is a two- family or multi-family building only)*;
 - 4.a. Location and required number of vehicle parking spaces:(i) and (iv)
- 14-526 (b) **Environmental Quality Standards:**
 - 1. Preservation of significant natural features.
 - 2.a. Landscaping and landscape preservation
 - 2.b. Site landscaping (iii)
 - 3.a. Water quality, stormwater management and erosion control: a., d., e., and f.
- 14-526 (c) **Public Infrastructure and Community Safety Standards:**
 - 1. Consistency with Master Plan
 - 2. Public Safety and fire prevention
 - 3. Availability and adequate capacity of public utilities; a., c., d., and e.
- 14-526 (d) **Site Design Standards:**
 - 5. Historic Resources
 - 9. Zoning related design standards

• *Except as provided in Article III of the City Code, or to conditions imposed under Section 14-526(e) only, or to those submission requirements set forth in section 14-527 as relate solely thereto.*



PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 02/20/15

TRUSTEES DEED

Know All Men By These Presents that Maria A. Trivellin, Trustee of the The Settimo L. & Anna M. Trivellin Revocable Trust, of 276 Harvard Street, Portland, State of Maine, by virtue of the power created in said trust, and every other power

for consideration paid grant to AAAL, LLC

of 6 Beach Street, South Portland, State of Maine,

with **WARRANTY COVENANTS** to the following described property:

A certain lot or parcel of land located on the north bounds of Harvard Street and West of land of Abdo Abu described in Book 30203 Page 219 in the City of Portland, Cumberland County, and State of Maine and being more particularly described as follows.

Beginning at a 5/8" rebar set with cap on the north bounds of Harvard Street at the southwest corner of land of Abdi Abu described in Book 30203 Page 219 and also being S49°-22'-15"W one hundred seventy and sixteen hundredths 170.16' feet along the north bounds from the intersection of the west bounds of Washington Ave. and the north bounds of Harvard Street.

- 1) Thence S49°-22'-15"W fifty and zero hundredths 50.00' feet along the north bounds of Harvard Street to a 5/8" rebar set with cap at the southeast corner of remaining land of grantor to be conveyed.
- 2) Thence N59°-08'-26"W forty seven and twenty four hundredths 47.24' feet along remaining land of grantors to be conveyed to a 5/8" rebar set with cap.
- 3) Thence N40°-37'-45"W seventy five and zero hundredths 75.00' feet along remaining land of grantor to be conveyed to a 5/8" rebar set with cap on the south bounds of Harvard Commons Condominiums the plan recorded in Plan Book 150 Page 11.
- 4) Thence N49°-16'-01"E sixty five and zero hundredths 65.00' feet along the south bounds of Harvard Commons Condominiums to 2" iron pipe found at the northwest corner of land of Abdi Abu described in Book 30203 Page 219.
- 5) Thence S40°-37'-45"E one hundred nineteen and ninety two hundredths 119.92' feet along the west bounds of Abu to the point of beginning.

Containing 7,455 Square Feet or 0.17 Acres and being a portion of Settimo and Anna Trivellin Revocable Trust described in Book 18249 Page 301.

In Witness Whereof, have hereunto set hands this 22 day of Sept, 2014

Maria A. Trivellin
Maria A. Trivellin, Trustee of The Settimo L. Trivellin and Anna M. Trivellin Revocable Trust

Lannie Dobson - FW: Harvard Street



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/20/15

From: Shawn Frank <sfrank@sebagotechnics.com>
To: Philip DiPierro <PD@portlandmaine.gov>
Date: 1/12/2015 5:19 PM
Subject: FW: Harvard Street
CC: "Labrie, Dan" <dlabrie@rufusdeering.com>
Attachments: 14418-Site Plan-150105.pdf

Hi Phil:

Thank you again for the response to our submission plans for a single-family house lot on Harvard Street today. The enclosed pdf is provided to address the comments per your e-mail today as follows:

1. Matthew Ek has signed and sealed the plan.
2. Note 6 has been updated to include the City of Portland benchmark reference as a local monument.
3. Note 10 provides the soil type as requested.
4. Two street trees are shown to be installed. They are both shown southwesterly of the driveway due to the proposed utility pole northeast of the drive.

We are hopeful that the enclosed plan addresses the remaining items. Upon review, please let me know if you have any questions or comments.

Thank you, Shawn



Reviewed for Code Compliance
Inspectors Division
Approved with Conditions

Date: 02/20/15

TRUSTEES CERTIFICATE

The undersigned hereby certify, in accordance with the provision of the **The Settimo L. & Anna M. Trivellin Revocable Trust** that:

- (1) The trust exists and is in full force and effect, having not been revoked as of the date hereof nor amended, altered or modified.
- (2) The current Trustee of said trust is Maria A. Trivellin.

In accordance with the provisions of said Trust, the Trustee has the authority to sell property at **282 Harvard Street, Portland, ME 04103** upon such terms and conditions as agreed to at the sole discretion of the Trustee, and to execute and deliver such documents deemed necessary by the Trustee to effectuate the sale of the property and the financing related thereto, as set forth herein.

Executed this 22 day of Sept, 2014

Maria A. Trivellin
Maria A. Trivellin, Trustee of The Settimo L. Trivellin and Anna M. Trivellin Revocable Trust

State/Commonwealth of ME
County of Cumberland

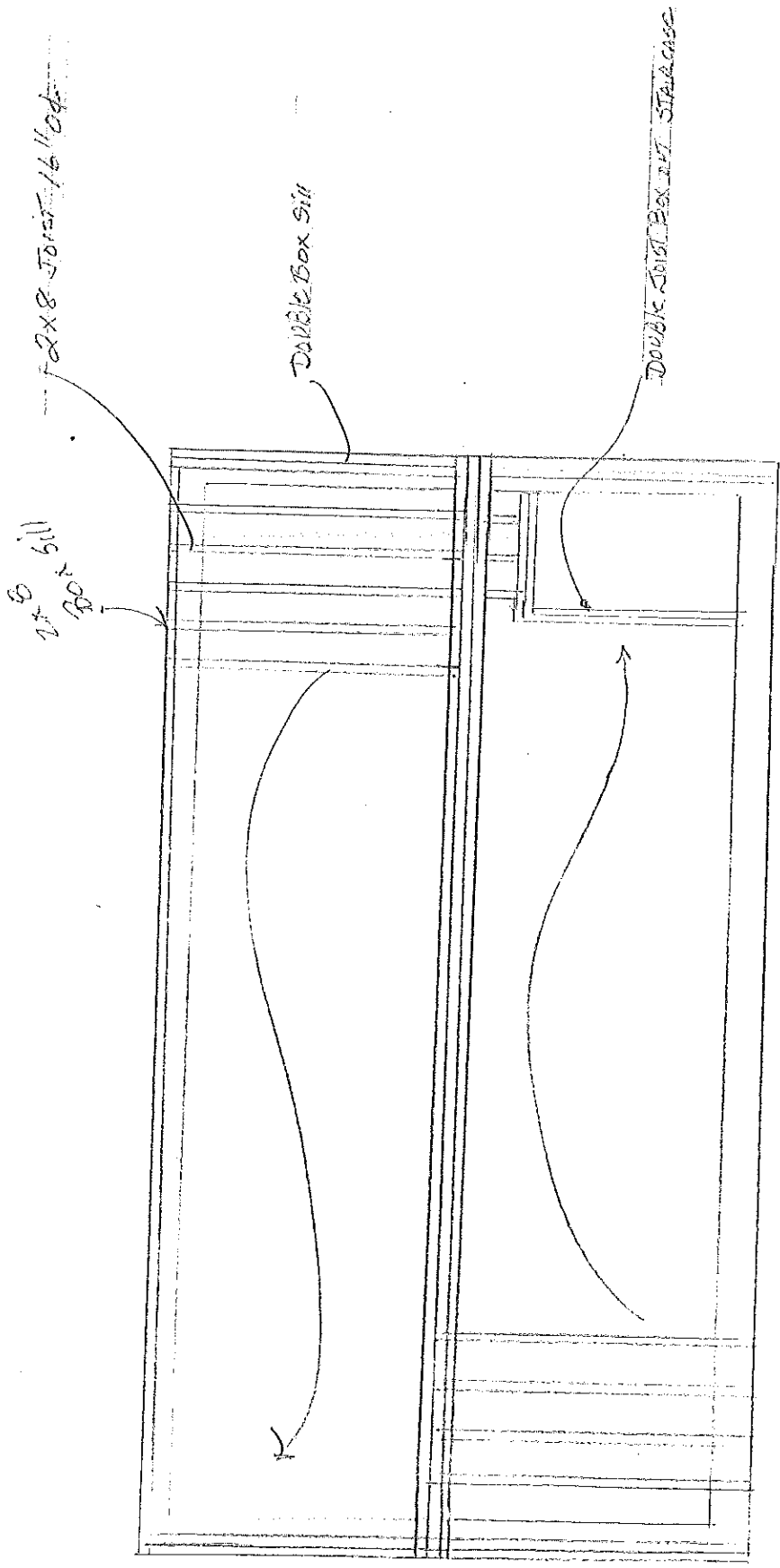
On this 22 day of Sept, 2014 before me, the undersigned officer, personally appeared Maria A. Trivellin, Trustee of the **The Settimo L. & Anna M. Trivellin Revocable Trust**, and acknowledged the foregoing to be her voluntary act and deed in said capacity and the free act and deed of said Trust.

[Signature]
Notary Public / Attorney at Law

Kristine Paolino Taylor
Attorney at Law
Authorized to Notarize
under 4 MRSA Section 1056

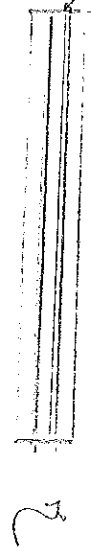


Floor Framing Layout



Triple 2x8 KO Spruce Laminated
w/ 1/2" Plywood over every window
& Door unit

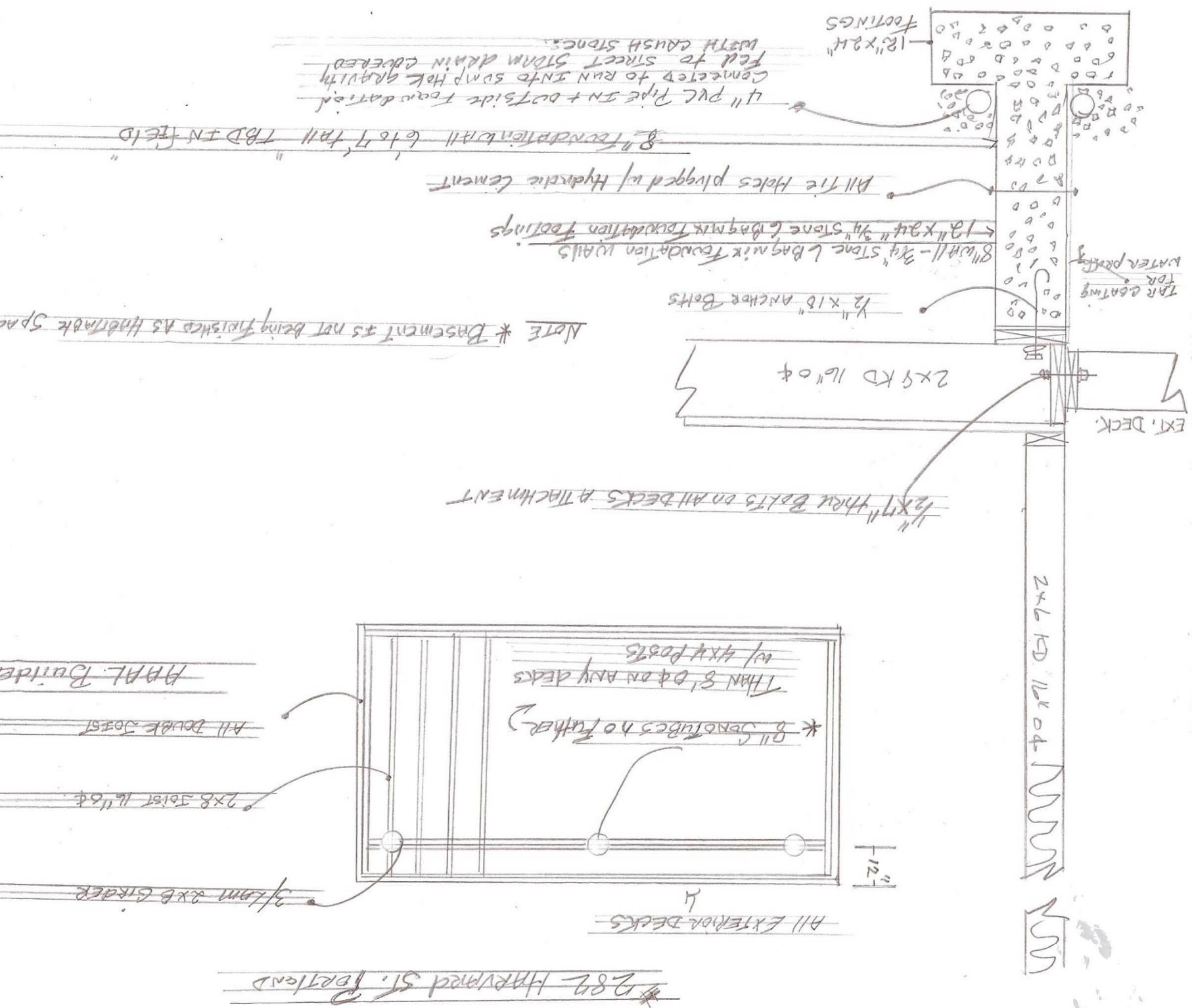
INDOOR HERRER DETAIL





Reviewed for Code Compliance
Inspectors Division
Approved with Conditions

Date: 02/20/15



All tie holes plugged w/ Hydraulic Cement

8" Wall - 3/4" Stone & Bag mix Foundation Walls
12" x 24" Stone & Bag mix Foundation Footings

1/2" x 1/8" Anchor Bolts

TAR COATING FOR WATER PROOFING

2x9 KD 16" o.d.

EXT. DECK

1/2" x 1" thru bolts on all decks attachment

2x6 KD 12" o.d.

THAN 8' ON ANY DECKS w/ 4x4 Posts

* 8" Spacers no further

12"

All EXTERIOR DECKS

All DOUBLE JOIST

2x8 JOIST 16" o.d.

3/4" 2x6 GIRDER

#282 Harvard St. Portland

4" PVC Pipe in + outside Foundation
connected to run into sump tank gravity
fed to street storm drain covered
with CRUSH STONES.

FOOTINGS
12" x 24"

8" Foundation wall 6 to 7' tall TBD IN FIELD

NOTE * Basement is not being finished as indicated on site plan

Job No:

BP#2014-02742
282 Harvard
Street



Reviewed for Code Compliance
Inspectors Division
Approved with Conditions

Date: 02/20/15

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Requested dimensions of footers and walls.	OK per revisions
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Requested foundation drainage and dampproofing.	OK per revised plans
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NO no crawl space.	
Anchor Bolts/Straps, spacing (Section R403.1.6)	Requested anchor bolt detail with sizing and spacing.	OK per revised plans
Lally Column Type (Section R407)	OK per plans.	
Girder & Header Spans (Table R502.5(2))		
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Floor joists OK per plans.	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Floor joists OK per plans.	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Requested clarification of ceiling framing.	OK per revised plans

Job No:



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Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	OK per plans with collar ties.	
Sheathing; Floor, Wall and Roof (Table R503.2.1.1(1))	Requested revision for roof and wall sheathing to meet code.	OK per revised plans
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R302.5) Living Space (Above or beside)?	NA no garage	
Table R302.6 Fire separation (Section R302.6)	NA no garage	
Opening Protection (Section R302.5.1) Minimum Height (Section R305.1)	NA no garage	
Emergency Escape and Rescue Openings (Section R310)	OK shown in sleeping rooms per plans.	
Roof Covering (Section R905)	Asphalt shingles	
Safety Glazing (Section R308)	Requested door/window schedule with clarification of safety glazing.	OK per revised plans
Attic Access (Section R807)	Attic access dimensions OK per plans.	
Chimney Clearances/Fire Blocking (Chap. 10)	NA no chimney	
Header Schedule (Tables R502.5(1) & (2))	Requested table with header schedule.	Header provided with revisions
Energy Efficiency IECC, 2009 R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration Ventilation of Space per ASRAE 62.2, 2007	R values for walls, floors and ceilings OK per plans.	

Job No:



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Date: 02/20/15

Type of Heating System		
Means of Egress (Sec R311 & R312) Basement Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.7.2) Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	<p>Requested exterior stair rise and run dimensions, width and handrail dimensions.</p> <p>Requested width of interior stairways.</p> <p>OK per plans.</p> <p>Requested dimensions.</p>	<p>OK per revised plans</p> <p>OK per revised plans</p> <p>OK per revised plans</p> <p>OK per revised plans</p>
Carbon Monoxide Alarms (R315) Smoke Alarms (Section R314) Location and Interconnected	<p>Requested smokes and CO monitors.</p>	<p>OK per revised plans</p>
Dwelling Unit Separation (Section R302.3)	<p>NA</p>	
Deck Construction (Section R502.2)	<p>Requested framing plan and details</p>	<p>OK per revised plans</p>



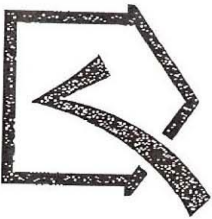
Reviewed for Code Compliance
Inspection Division
Approved with Conditions

02/20/15

Date:

02-19-2015 11:25 FROM-

T-228 P0002/0006 F-934



REScheck Software Version 4.4.1 Compliance Certificate

Project Title: **HARVARD**
~~Harvard Street Colonial~~

Energy Code: **2009 IECC**
Location: **Portland, Maine**
Construction Type: **Single Family**
Glazing Area Percentage: **14%**
Heating Degree Days: **7378**
Climate Zone: **6**

Construction Site:
Harvard Street
Portland, ME 04101

Owner/Agent:

Dan LaBrie
AAAL Builders LLC
6 Beach Street
South Portland, ME
207-838-0444
dlabrie@rufluscleaning.com

Designer/Contractor:

Compliance Passes Using UA trade-off

Compliance: **2.5% Better Than Code** Maximum UA: **241**

Your UA: **235**

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	676	39.0	0.0		20
Wall 1: Wood Frame, 16" o.c.	1872	21.0	0.0		89
Window 1: Vinyl Frame:Double Pane with Low-E	233			0.340	79
Door 1: Solid	39			0.260	10
Door 2: Glass	30			0.330	10
Floor 1: All-Wood Joist/Truss:Over Unconditioned Space	832	30.0	0.0		27

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version 4.4.1 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title

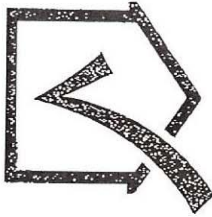
Signature

Date



02-19-15 11:25 FROM-

T-228 P0003/0006 F-934



REScheck Software Version 4.4.1 Inspection Checklist

Ceilings:

- Ceiling 1: Flat Ceiling or Scissor Truss, R-39.0 cavity insulation

Comments: _____

Above-Grade Walls:

- Wall 1: Wood Frame, 16" o.c., R-21.0 cavity insulation

Comments: _____

Windows:

- Window 1: Vinyl Frame: Double Pane with Low-E, U-factor: 0.340

For windows without labeled U-factors, describe features:

#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

Doors:

- Door 1: Solid, U-factor: 0.260

Comments: _____

- Door 2: Glass, U-factor: 0.330

Comments: _____

Floors:

- Floor 1: All-Wood Joist/Truss: Over Unconditioned Space, R-30.0 cavity insulation

Comments: _____

Floor insulation is installed in permanent contact with the underside of the subfloor decking.

Air Leakage:

- Joints (including rim joist junctions), attic access openings, penetrations, and all other such openings in the building envelope that are sources of air leakage are sealed with caulk, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material.
- Air barrier and sealing exists on common walls between dwelling units, on exterior walls behind tubs/showers, and in openings between window/door jambs and framing.
- Recessed lights in the building thermal envelope are 1) type IC rated and ASTM E283 labeled and 2) sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.
- Access doors separating conditioned from unconditioned space are weather-stripped and insulated (without insulation compression or damage) to at least the level of insulation on the surrounding surfaces. Where loose fill insulation exists, a baffle or retainer is installed to maintain insulation application.
- Wood-burning fireplaces have gasketed doors and outdoor combustion air.

Air Sealing and Insulation:

- Building envelope air tightness and insulation installation complies by either 1) a post rough-in blower door test result of less than 7 ACH at 33.5 psf OR 2) the following items have been satisfied:

(a) Air barriers and thermal barrier: Installed on outside of air-permeable insulation and breaks or joints in the air barrier are filled or repaired.

(b) Ceiling/attic: Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed.

(c) Above-grade walls: Insulation is installed in substantial contact and continuous alignment with the building envelope air barrier.

(d) Floors: Air barrier is installed at any exposed edge of insulation.

(e) Plumbing and wiring: Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or



Date:

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(W) shower/rud on exterior wall: insulation exists between showers/tubs and exterior wall.

T-228 P0004/0006 F-934

Sunrooms:

- Sunrooms that are thermally isolated from the building envelope have a maximum fenestration U-factor of 0.50 and the maximum skylight U-factor of 0.75. New windows and doors separating the sunroom from conditioned space meet the building thermal envelope requirements.

Materials Identification and Installation:

- Materials and equipment are installed in accordance with the manufacturer's installation instructions.
- Insulation is installed in substantial contact with the surface being insulated and in a manner that achieves the rated R-value.
- Materials and equipment are identified so that compliance can be determined.
- Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment have been provided.
- Insulation R-values and glazing U-factors are clearly marked on the building plans or specifications.

Duct Insulation:

- Supply ducts in attics are insulated to a minimum of R-8. All other ducts in unconditioned spaces or outside the building envelope are insulated to at least R-6.

Duct Construction and Testing:

- Building framing cavities are not used as supply ducts.
 - All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are substantially airtight by means of tapes, mastics, liquid sealants, gasketing or other approved closure systems. Tapes, mastics, and fasteners are rated UL 181A or UL 181B and are labeled according to the duct construction. Metal duct connections with equipment and/or fittings are mechanically fastened. Crimp joints for round metal ducts have a contact lap of at least 1 1/2 inches and are fastened with a minimum of three equally spaced sheet-metal screws.
- Exceptions:**

Joint and seams covered with spray polyurethane foam.

Where a partially inaccessible duct connection exists, mechanical fasteners can be equally spaced on the exposed portion of the joint so as to prevent a hinge effect.

- Continuously welded and locking-type longitudinal joints and seams on ducts operating at less than 2 in. w.g. (500 Pa).
- All ducts and air handlers are located within conditioned space.

Heating and Cooling Equipment Sizing:

- Additional requirements for equipment sizing are included by an inspection for compliance with the International Residential Code.
- For systems serving multiple dwelling units documentation has been submitted demonstrating compliance with 2009 IECC Commercial Building Mechanical and/or Service Water Heating (Sections 503 and 504).

Circulating Service Hot Water Systems:

- Circulating service hot water pipes are insulated to R-2.
- Circulating service hot water systems include an automatic or accessible manual switch to turn off the circulating pump when the system is not in use.

Heating and Cooling Piping Insulation:

- HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F are insulated to R-3.

Swimming Pools:

- Heated swimming pools have an on/off heater switch.
- Pool heaters operating on natural gas or LPG have an electronic pilot light.
- Timer switches on pool heaters and pumps are present.

Exceptions:

Where public health standards require continuous pump operation.

Where pumps operate within solar- and/or waste-heat-recovery systems.

- Heated swimming pools have a cover on or at the water surface. For pools heated over 90 degrees F (32 degrees C) the cover has a minimum insulation value of R-12.

Exceptions:

Covers are not required when 60% of the heating energy is from site-recovered energy or solar energy source.

Lighting Requirements:

- A minimum of 50 percent of the lamps in permanently installed lighting fixtures can be categorized as one of the following:



Date:

02-19-15 11:26 FROM-

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- (b) T-8 or smaller diameter linear fluorescent
- (c) 40 lumens per watt for lamp wattage <= 15
- (d) 50 lumens per watt for lamp wattage > 15 and <= 40
- (e) 60 lumens per watt for lamp wattage > 40

Other Requirements:

- Snow- and ice-melting systems with energy supplied from the service to a building shall include automatic controls capable of shutting off the system when a) the pavement temperature is above 50 degrees F, b) no precipitation is falling, and c) the outdoor temperature is above 40 degrees F (a manual shutoff control is also permitted to satisfy requirement c).

Certificate:

- A permanent certificate is provided on or in the electrical distribution panel listing the predominant insulation R-values; window U-factors; type and efficiency of space-conditioning and water heating equipment. The certificate does not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels.

NOTES TO FIELD: (Building Department Use Only)



Reviewed for Code Compliance
Inspectors Division
Approved with Conditions

02/20/15

Date:

02-19-2015 11:26 FROM-

T-228 P0006/0006 F-934

2009 IECC Energy Efficiency Certificate

Insulation/Roofing R-Value

Ceiling / Roof 39.00

Wall 21.00

Floor / Foundation 30.00

Ductwork (unconditioned spaces):

Glass & Door Rating U-Factor SHGC

Window 0.34 0.70

Door 0.26 0.70

Heating & Cooling Equipment Efficiency

Heating System: _____

Cooling System: _____

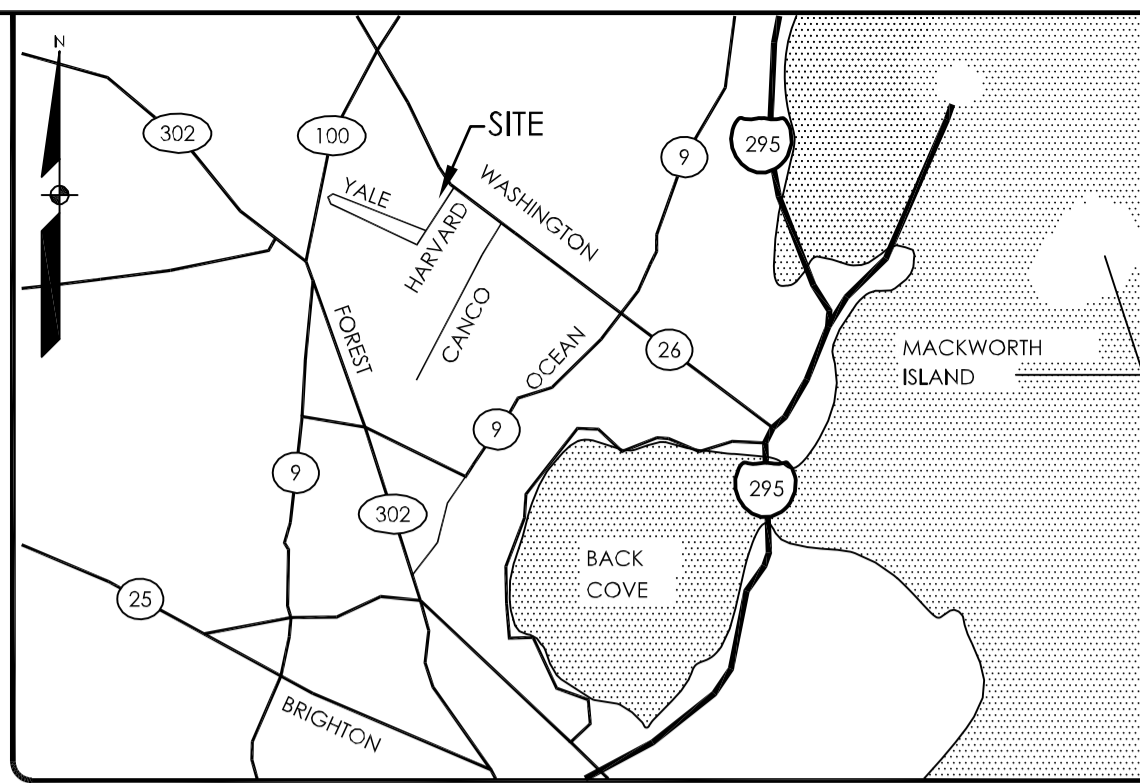
Water Heater: _____

Name: _____ Date: _____

Comments: _____

SHAWN M. FRANK, PE 6396
MATTHEW W. FRANK, PE 2117

MATTHEW W. FRANK
NO. 2117
REGISTERED LAND SURVEYOR
STATE OF MAINE



LOCATION MAP N.T.S.

DESIGNED	CHECKED
PDO	SMF

GENERAL NOTES:

- THE RECORD OWNER OF THE PARCEL IS AAAL, LLC BY DEED DATED SEPTEMBER 22, 2014 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 31799, PAGE 53.
- THE PROPERTY IS SHOWN AS LOT B8 ON THE CITY OF PORTLAND TAX MAP 153.
- SPACE AND BULK CRITERIA FOR THE R-3 DISTRICT ARE AS FOLLOWS:
MINIMUM LOT SIZE: 6500 SQUARE FEET
MINIMUM LOT WIDTH: 65 FEET
MINIMUM STREET FRONTAGE: 50 FEET
MINIMUM FRONT YARD: 25 FEET
MINIMUM SIDE YARD: 14 FEET
MINIMUM REAR YARD: 25 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET
*SEE ORDINANCE FOR MORE PARTICULAR INFORMATION.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 0.17 ACRES.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON PLAN OF BOUNDARY SURVEY AND SPLIT OF LAND LOCATED AT 278 HARVARD STREET PORTLAND MAINE 04102 FOR SETIMO L AND ANNA M TRIVELIN REVOCABLE TRUST BY R.W. EATON ASSOCIATES DATED JUNE 11, 2014.
- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-MADR3. ELEVATIONS DEPICTED HEREON ARE NGVD83 CITY DATUM BASED UPON A CITY MONUMENT AT THE CORNER OF BERRY AVE AND WASHINGTON AVE.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY. EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- THE PROPOSED DEVELOPMENT WILL BE SERVED BY PUBLIC WATER, PUBLIC SEWER AND OVERHEAD ELECTRIC AND TELEPHONE.
- THE PROPERTY IS NOT IDENTIFIED AS A FLOOD ZONE IN ACCORDANCE WITH FEMA FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY-PANEL NUMBER 230051 0007 DATED JULY 17, 1986.
- THE NATURAL RESOURCES CONSERVATION SERVICES WEB SOIL SURVEY / NATIONAL COOPERATIVE SOIL SURVEY FOR CUMBERLAND COUNTY AND PART OF OXFORD COUNTY, MAINE IDENTIFIES THE SOILS AS HOLUS, FINE SANDY LOAM (P48).

REV. NO.	BY	DATE	STATUS
C	SMF	01-05-15	REVISE PER CITY REVIEW AND RESUBMIT ELECTRONICALLY
B	SMF	11-18-14	SUBMIT TO CITY ELECTRONICALLY
A	SMF	11-12-14	SUBMITTED TO CLIENT FOR REVIEW

THE PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SEBAGO TECHNICS
WWW.SEBAGOTECHNICS.COM

250 Coddard Rd., Suite B
Lewiston, ME 04240
1A South Portland, ME
04106
Tel: 207-786-5858
Fax: 207-786-2103

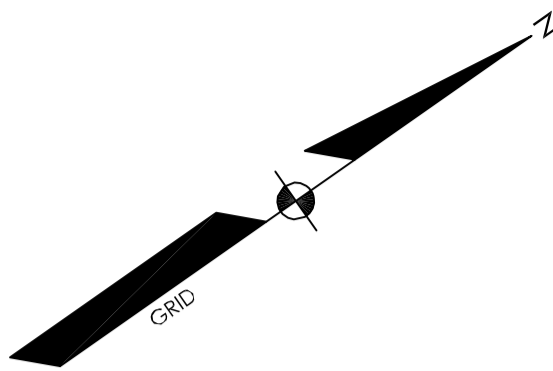
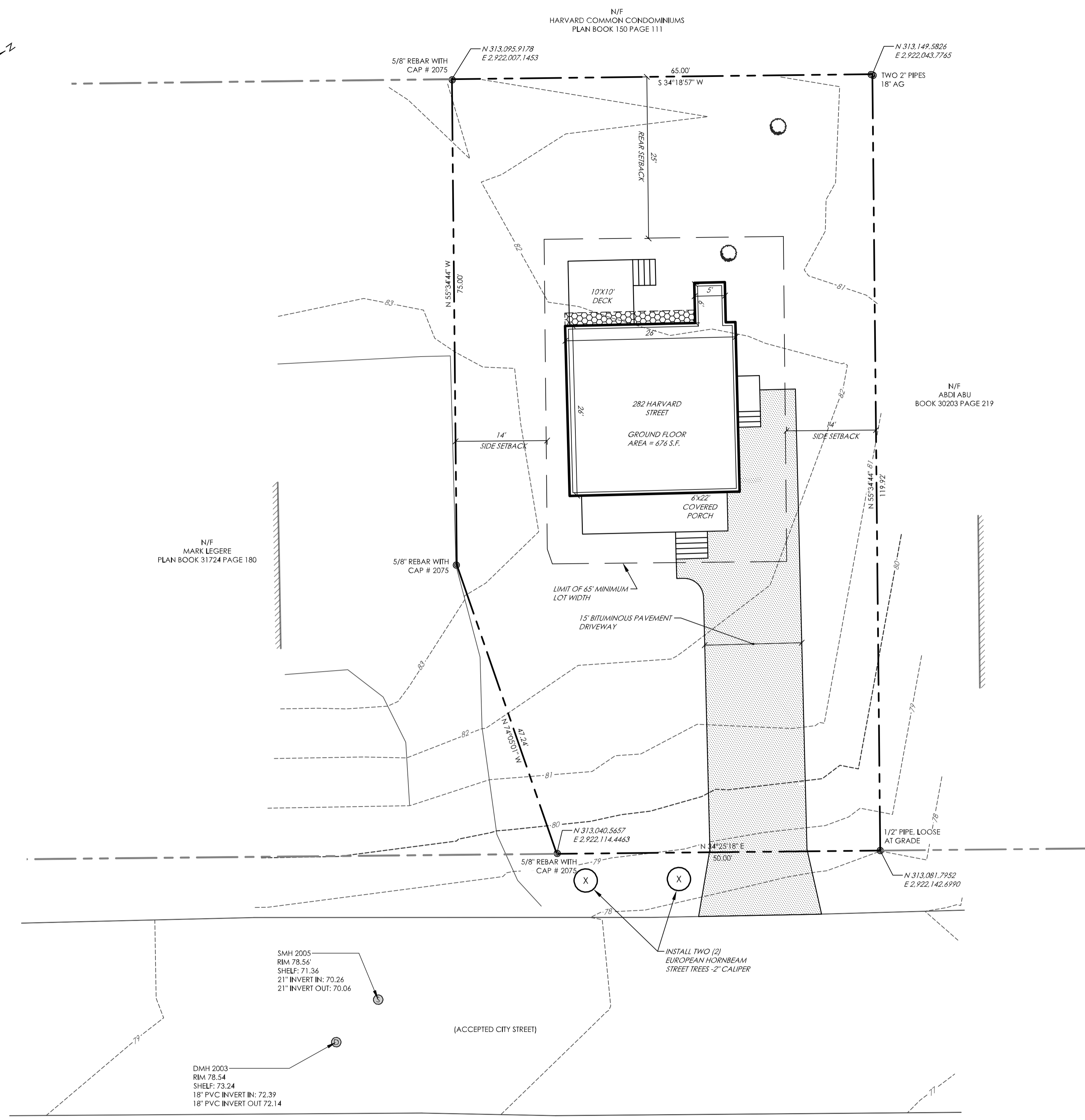
SITE PLAN OF 282 HARVARD STREET
PORTLAND, MAINE

FOR:
AAAL, LLC
6 BEACH STREET
SOUTH PORTLAND, ME 04106

PROJECT NO. 14418
SCALE 1" = 10'

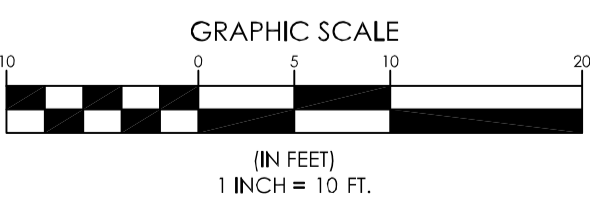
SHEET 1 OF 2

144185.dwg, TAB: 24-26



LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE/R.O.W.	--- PROPERTY LINE/R.O.W.
--- ASUTTER LINE/R.O.W.	--- ASUTTER LINE/R.O.W.
--- DEED LINE/R.O.W.	--- DEED LINE/R.O.W.
--- SETBACK	--- SETBACK
--- CENTERLINE	--- CENTERLINE
███ BUILDING	███ BUILDING
███ DECK/STEPS/OVERHANG	███ DECK/STEPS/OVERHANG
--- PAVEMENT SAWCUT	--- PAVEMENT SAWCUT
--- EDGE PAVEMENT	--- EDGE PAVEMENT
--- EDGE CONCRETE	--- EDGE CONCRETE
--- PAVEMENT PAINT	--- PAVEMENT PAINT
--- EDGE GRAVEL	--- EDGE GRAVEL
--- CURB LINE	--- CURB LINE
--- -120 ---	--- -120 ---
○ DECIDUOUS TREE	○ DECIDUOUS TREE
⊙ SANITARY MANHOLE	⊙ SANITARY MANHOLE
⊙ DRAINAGE MANHOLE	⊙ DRAINAGE MANHOLE
⊙ CATCH BASIN	⊙ CATCH BASIN
○ UTILITY POLE	○ UTILITY POLE



N/F HARVARD COMMON CONDOMINIUMS
PLAN BOOK 150 PAGE 111

N/F MARK LEGERE
PLAN BOOK 31724 PAGE 180

N/F ABDI ABU
BOOK 30203 PAGE 219

SMH 2005
RM 78.56
SHELF: 71.36
21" INVERT IN: 70.26
21" INVERT OUT: 70.06

DMH 2003
RM 78.54
SHELF: 73.24
18" PVC INVERT IN: 72.89
18" PVC INVERT OUT: 72.14

(ACCEPTED CITY STREET)



Date:

TRUSTEES DEED

Know All Men By These Presents that Maria A. Trivellin, Trustee of the The Settimo L. & Anna M. Trivellin Revocable Trust, of 276 Harvard Street, Portland, State of Maine, by virtue of the power created in said trust, and every other power

for consideration paid grant to AAAL, LLC

of 6 Beach Street, South Portland, State of Maine,

with **WARRANTY COVENANTS** to the following described property:

A certain lot or parcel of land located on the north bounds of Harvard Street and West of land of Abdo Abu described in Book 30203 Page 219 in the City of Portland, Cumberland County, and State of Maine and being more particularly described as follows.

Beginning at a 5/8" rebar set with cap on the north bounds of Harvard Street at the southwest corner of land of Abdi Abu described in Book 30203 Page 219 and also being S49°-22'-15"W one hundred seventy and sixteen hundredths 170.16' feet along the north bounds from the intersection of the west bounds of Washington Ave. and the north bounds of Harvard Street.

- 1) Thence S49°-22'-15"W fifty and zero hundredths 50.00' feet along the north bounds of Harvard Street to a 5/8" rebar set with cap at the southeast corner of remaining land of grantor to be conveyed.
- 2) Thence N59°-08'-26"W forty seven and twenty four hundredths 47.24' feet along remaining land of grantors to be conveyed to a 5/8" rebar set with cap.
- 3) Thence N40°-37'-45"W seventy five and zero hundredths 75.00' feet along remaining land of grantor to be conveyed to a 5/8" rebar set with cap on the south bounds of Harvard Commons Condominiums the plan recorded in Plan Book 150 Page 11.
- 4) Thence N49°-16'-01"E sixty five and zero hundredths 65.00' feet along the south bounds of Harvard Commons Condominiums to 2" iron pipe found at the northwest corner of land of Abdi Abu described in Book 30203 Page 219.
- 5) Thence S40°-37'-45"E one hundred nineteen and ninety two hundredths 119.92' feet along the west bounds of Abu to the point of beginning.

Containing 7,455 Square Feet or 0.17 Acres and being a portion of Settimo and Anna Trivellin Revocable Trust described in Book 18249 Page 301.

In Witness Whereof, have hereunto set hands this 22 day of Sept, 2014.

Maria A. Trivellin
Maria A. Trivellin, Trustee of The Settimo L. Trivellin and Anna M. Trivellin Revocable Trust

MAINE REAL ESTATE TAX PAID



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/20/15

NATIONAL FLOOD INSURANCE PROGRAM

**FLOODWAY
FLOOD BOUNDARY AND
FLOODWAY MAP**

**CITY OF
PORTLAND, MAINE
CUMBERLAND COUNTY**

PANEL 7 OF 17
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER

230051 0007

EFFECTIVE DATE:

JULY 17, 1986



Federal Emergency Management Agency



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/20/15



FLOODWAY
CONTAINED
IN CULVERT

36

100