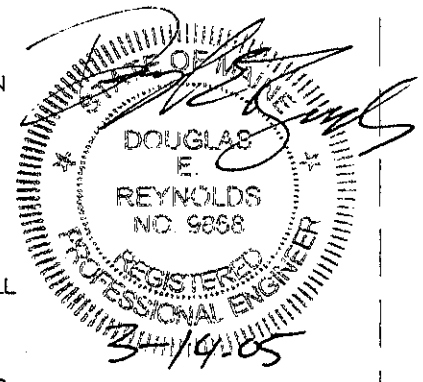


NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:
 -SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
 -UPON COMPLETION OF CLEARING AND GRUBBING.
 -UPON COMPLETION OF ROUGH GRADING
 -UPON COMPLETION OF FOUNDATION
 -UPON COMPLETION OF FINAL GRADING
 -UPON COMPLETION OF SURFACE RESTORATION
 -PRIOR TO REMOVAL OF EROSION CONTROL MEASURES
 THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.



2'x2' 3/4" CRUSHED STONE APRON.

FOUNDATION DRAIN AND OUTLET CAN NOT IMPACT DO NOT DISTURB AREA

FOUNDATION DRAIN GRAVITY TO DAYLIGHT

SILT FENCE (TYP.)

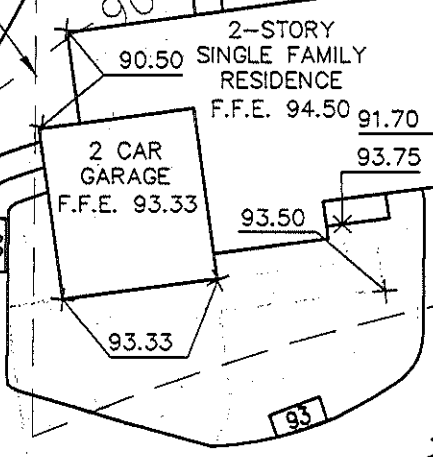
LOT 5
40,184 S.F.
.92 AC.

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

COORDINATE WITH LOT 4 & 6 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE

LOT 4

LOT 6

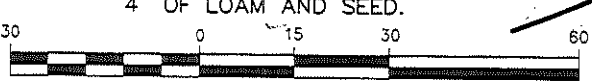


HOPE AVENUE

NOTES:

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.

2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.



Design: WHS	Date: 11/04
Draft: CAH	Job No.: 1198
Checked: DER	Scale: 1"=30'
File Name: 98089-1\98089-ALL-LOTS.DWG	

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 15 Saker Road
 Gray, ME 04539
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

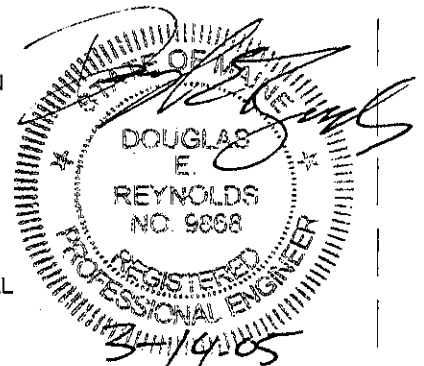
Drawing Name: **Lot 5 Grading Plan**
 Project: **PRESUMPCOT RIVER PLACE**

Figure No.
3

NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:
 -SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
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COORDINATE WITH LOT 4 & 6 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE

2'x2' 3/4" CRUSHED STONE APRON

FOUNDATION DRAIN AND OUTLET CAN NOT IMPACT DO NOT DISTURB AREA

FOUNDATION DRAIN GRAVITY TO DAYLIGHT

SILT FENCE (TYP.)

LOT 5
40,184 S.F.
.92 AC.

LOT 4

LOT 6

2-STORY SINGLE FAMILY RESIDENCE
F.F.E. 94.50

2 CAR GARAGE
F.F.E. 93.33

HOPE AVENUE

NOTES:

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.

2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.



1 inch = 30 ft.

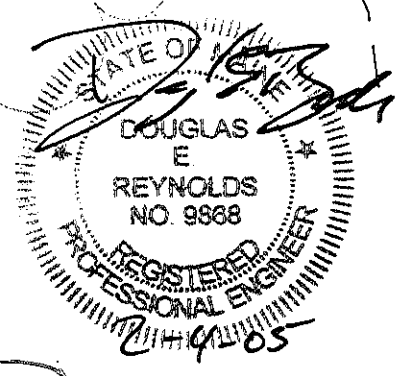
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Draft: CAH	Job No.: 1198
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File Name: 98089-1\98089-ALL-LOTS.DWG	

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 PO Box 1237
 15 Saker Road
 Gray, ME 04039
 207-657-9910
 FAX: 207-657-8912
 E-Mail: mail@gorrillpalmer.com

Drawing Name: Lot 5 Grading Plan
 Project: PRESUMPCOT RIVER PLACE

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.



DO NOT DISTURB AREA
 LOT 5
 40,184 S.F.
 .92 AC.

LOT OWNER TO HAVE BUILDING CORNERS LOCATED BY PROFESSIONAL LAND SURVEYOR

14' SIDE SETBACK

LOT 6

REFER TO BUILDING PLANS FOR DIMENSIONS

LOT 4

DECK
 2-STORY SINGLE FAMILY RESIDENCE
 INV. 80.95 MIN.

2 CAR GARAGE

25' FRONT SETBACK

3/4" DOMESTIC WATER SERVICE

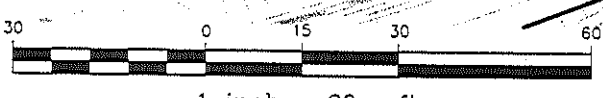
DOUBLE CLEANOUT

HOPE AVENUE

6" SAN L=51' S=0.0104 MIN.

2"-2.5" CAL. RED MAPLES OR EQUIVALENT

PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALKS PER CITY OF PORTLAND DETAILS



Handwritten notes:
 5/15/05
 Revised
 [Signature]

Design: WHS	Date: 11/04
Draft: CAH	Job No.: 1198
Checked: DER	Scale: 1"=30'
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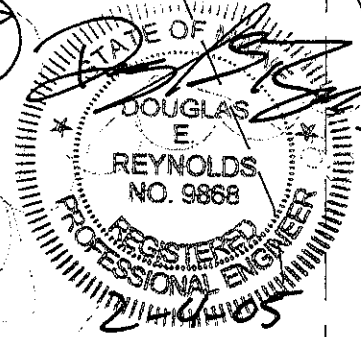
GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 15 Saker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: molbox@gorrillpalmer.com

Drawing Name: Lot 5 Layout & Utility Plan
 Project: PRESUMPCOT RIVER PLACE

Figure No. 2

NOTE:

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2'x2' 3/4" CRUSHED STONE APRON

FOUNDATION DRAIN AND OUTLET CAN NOT IMPACT DO NOT DISTURB AREA

FOUNDATION DRAIN GRAVITY TO DAYLIGHT

SILT FENCE (TYP.)

LOT 5
40,184 S.F.
.92 AC.

2-CAR GARAGE
F.F.E. 93.33

2-STORY SINGLE FAMILY RESIDENCE
F.F.E. 94.50

LOT 4

LOT 6

NOTES:

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1 inch = 30 ft.

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Draft: CAH	Job No.: 1198
Checked: DER	Scale: 1"=30'
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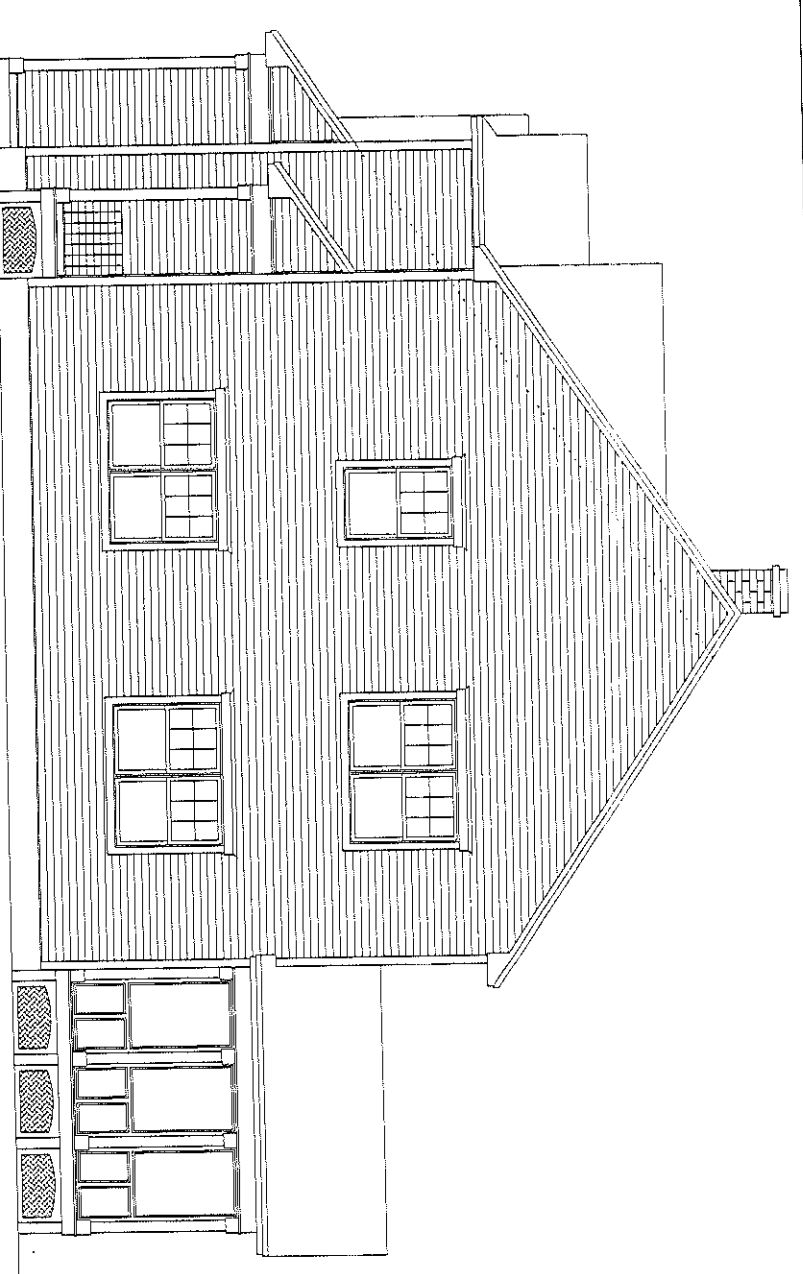
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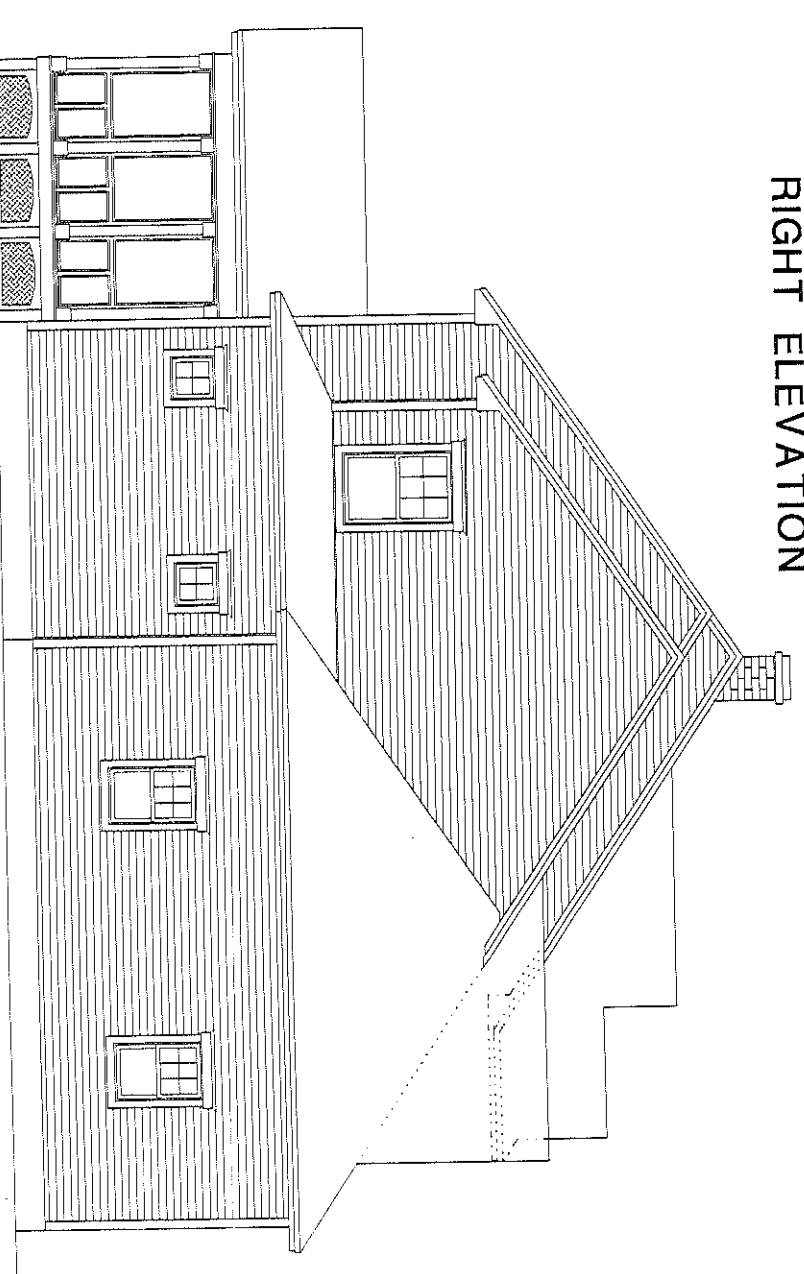
Drawing Name: **Lot 5 Grading Plan**

Project: **PRESUMPCOT RIVER PLACE**

Figure No. **3**



RIGHT ELEVATION



LEFT ELEVATION



BACK ELEVATION



FRONT ELEVATION

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MD Brimmer

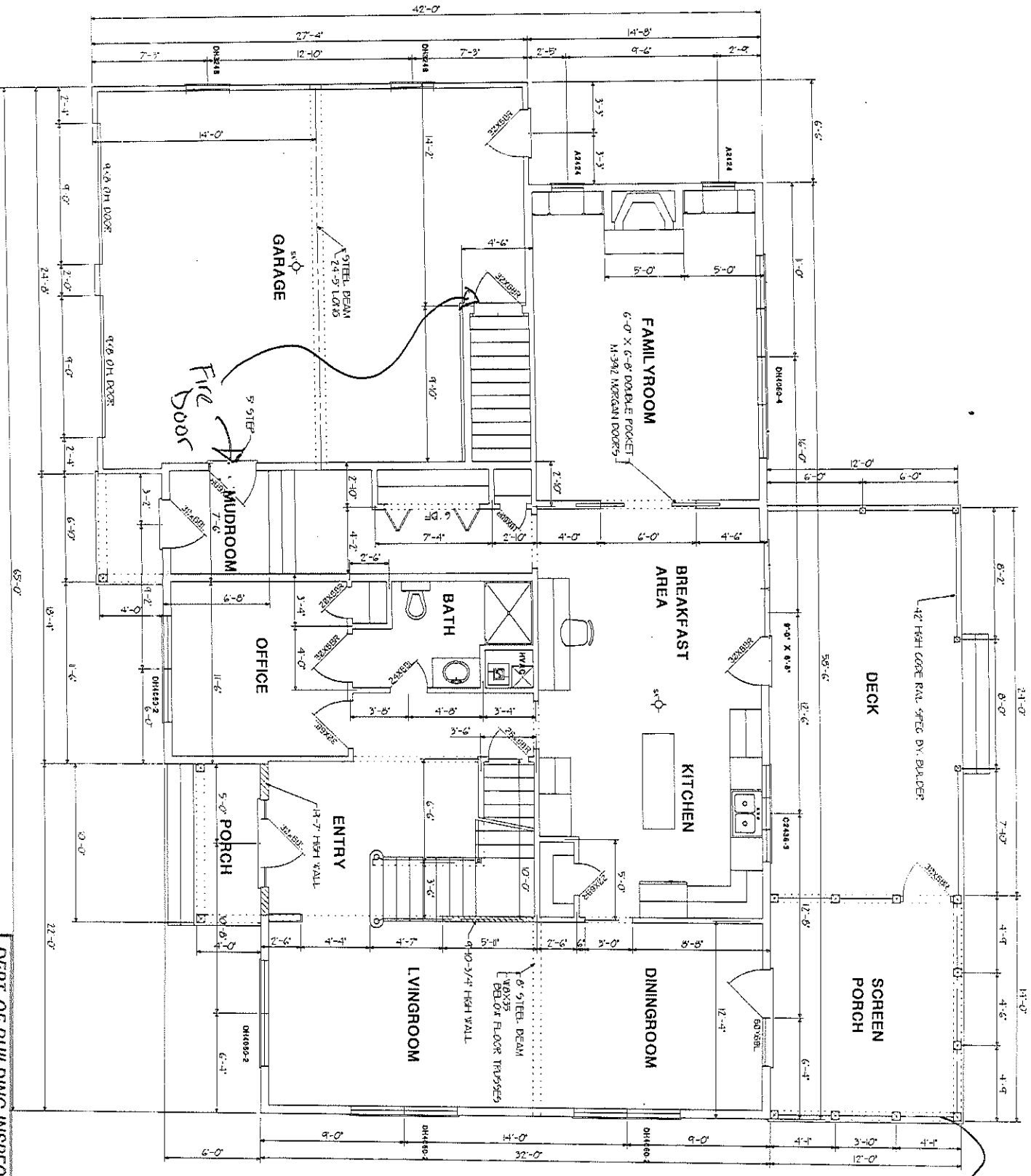
Wachman

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 APR 06 2005
 SUPERSEDES ALL
 PRIOR DATED PLANS

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, MAINE
 APR - 6 2005
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MAINE RESIDENTIAL DESIGN	FILE NAME
LEWISTON, ME. 207-783-4327	1 OF 13
308 MIKE & BARBARA PEISNER	SCALE: 1/4" = 1'-0"
DATE: 04/05	DATE: 04/05
DESIGNER: ELEVATIONS	DRAWN BY: EJU
APPROVED:	APPROVED:

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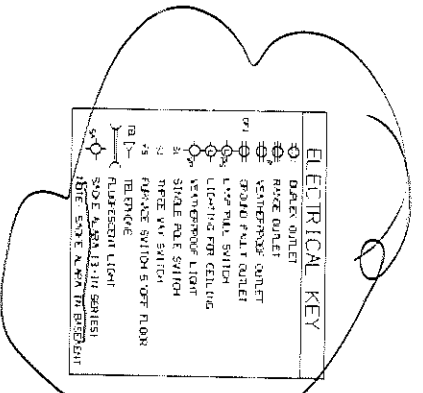


FIRST FLOOR PLAN

1687 SQ.FT.

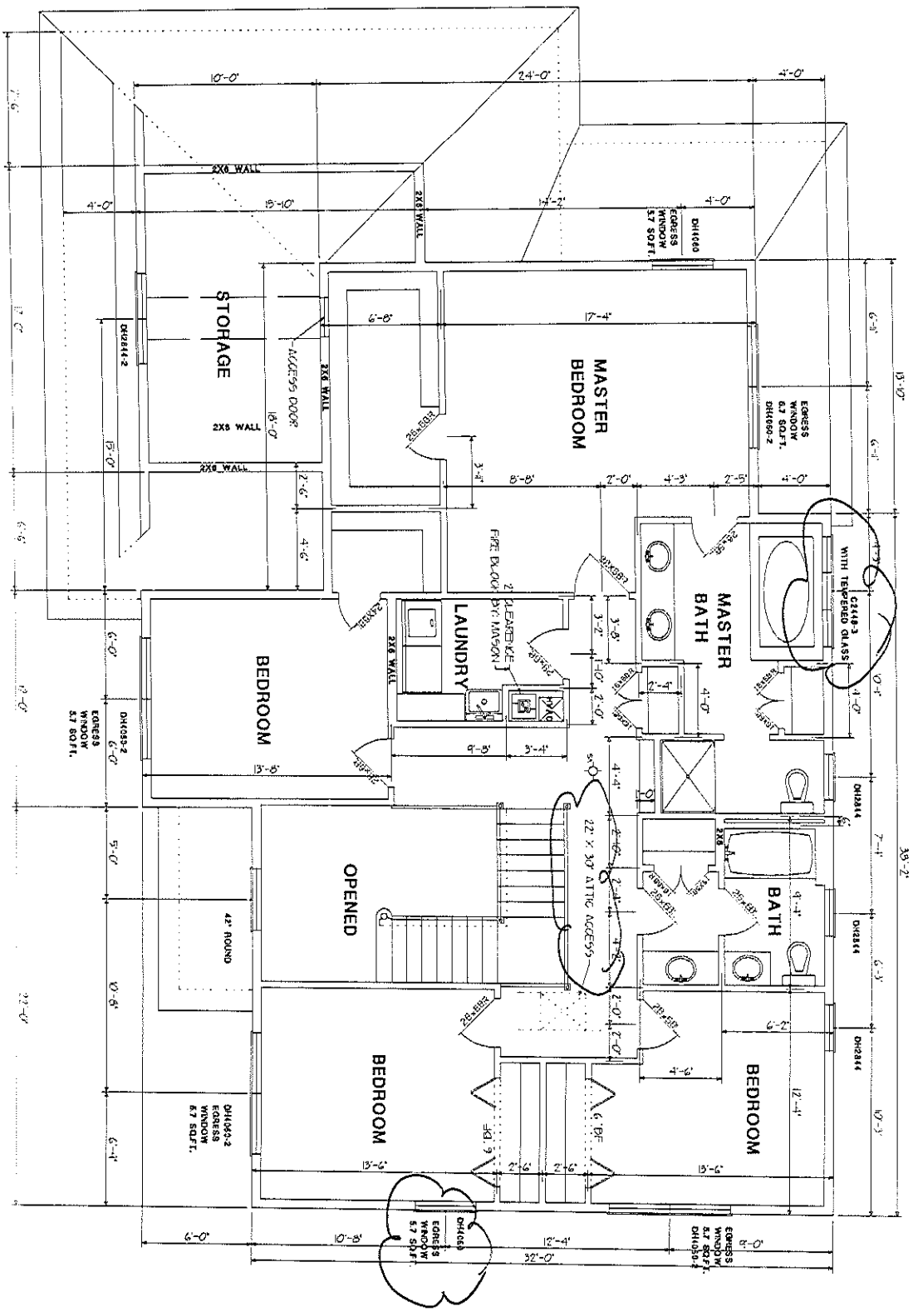
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will need guard if over 30" of grade



HAIRIE RESIDENTIAL DESIGN	FILE NAME
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DR: MIKE & BARBARA PEISNER	SCALE: 1/4" = 1'-0"
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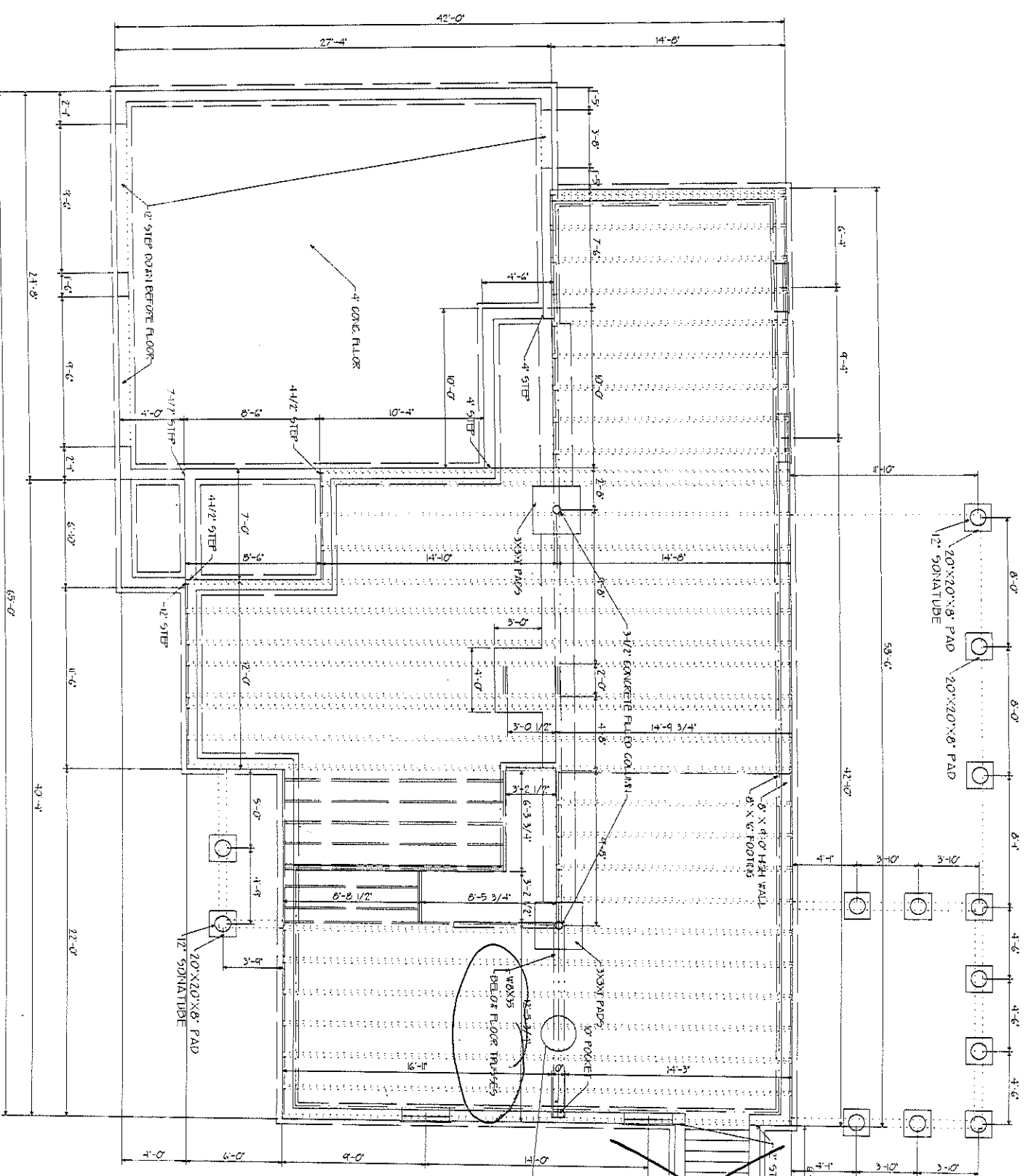


SECOND FLOOR PLAN
1443 SQ.FT.

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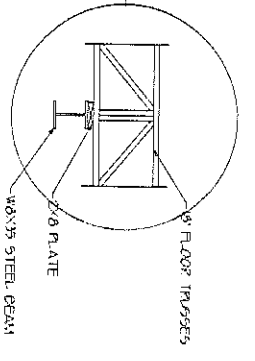
MAINE RESIDENTIAL DESIGN	FILE NAME
LEWISTON, ME. 207-783-4327	3 OF 13
JOB MIKE & BARBARA PEISNER	SCALE: 1/4" = 1'-0"
DATE: 03/10/05	DATE: 03/10/05
DESCRIPTION: SECOND FLOOR PLAN	DRAWN BY: NEJ
	APPROVED:

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FOUNDATION PLAN

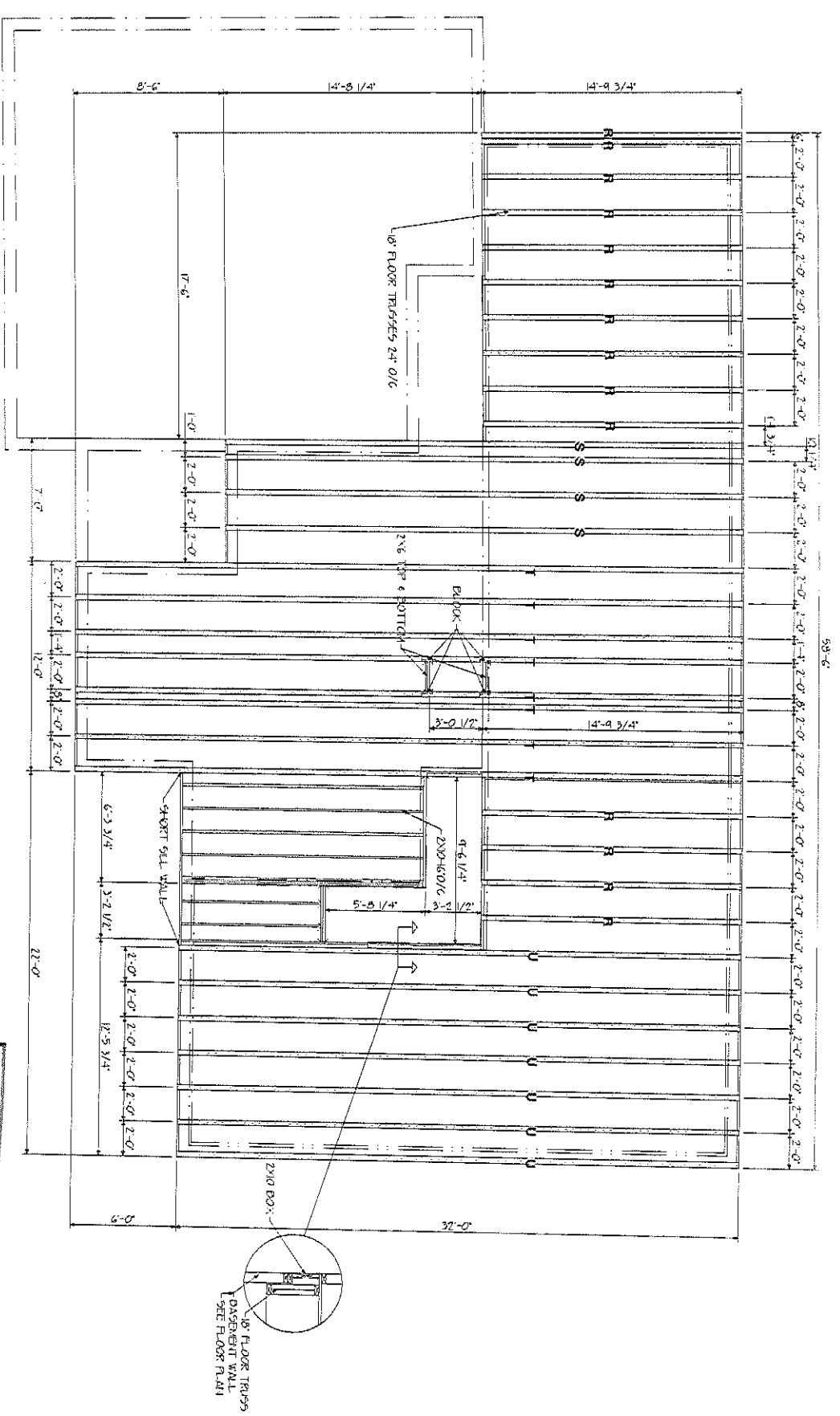
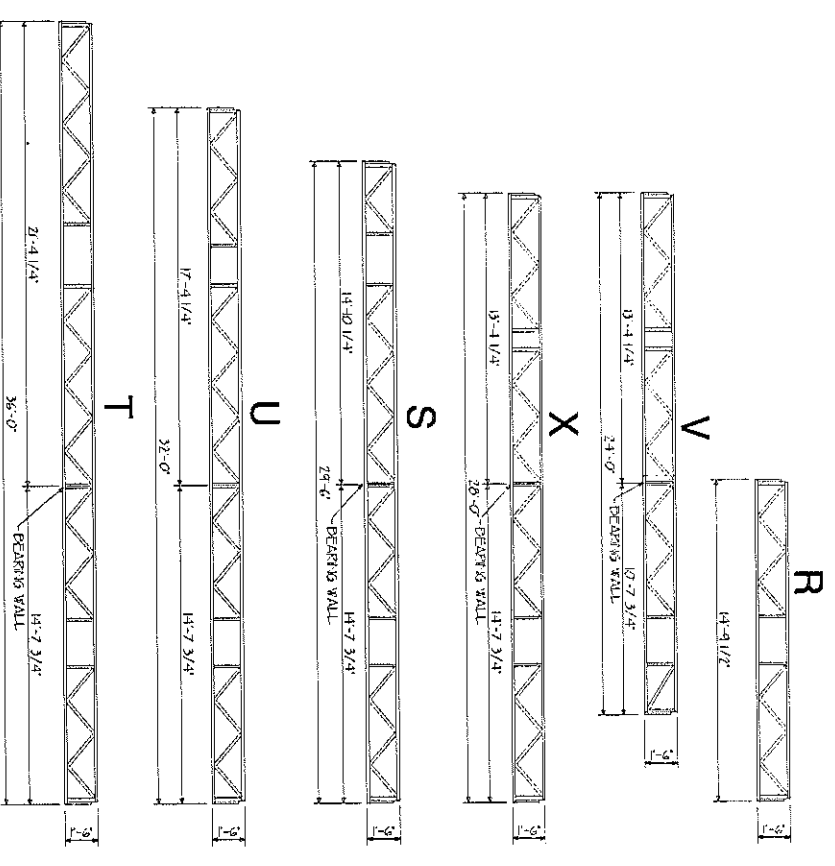
4/6/05
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JOB MIKE & BARBARA PEISNER	SCALE: 1/4" = 1'-0"
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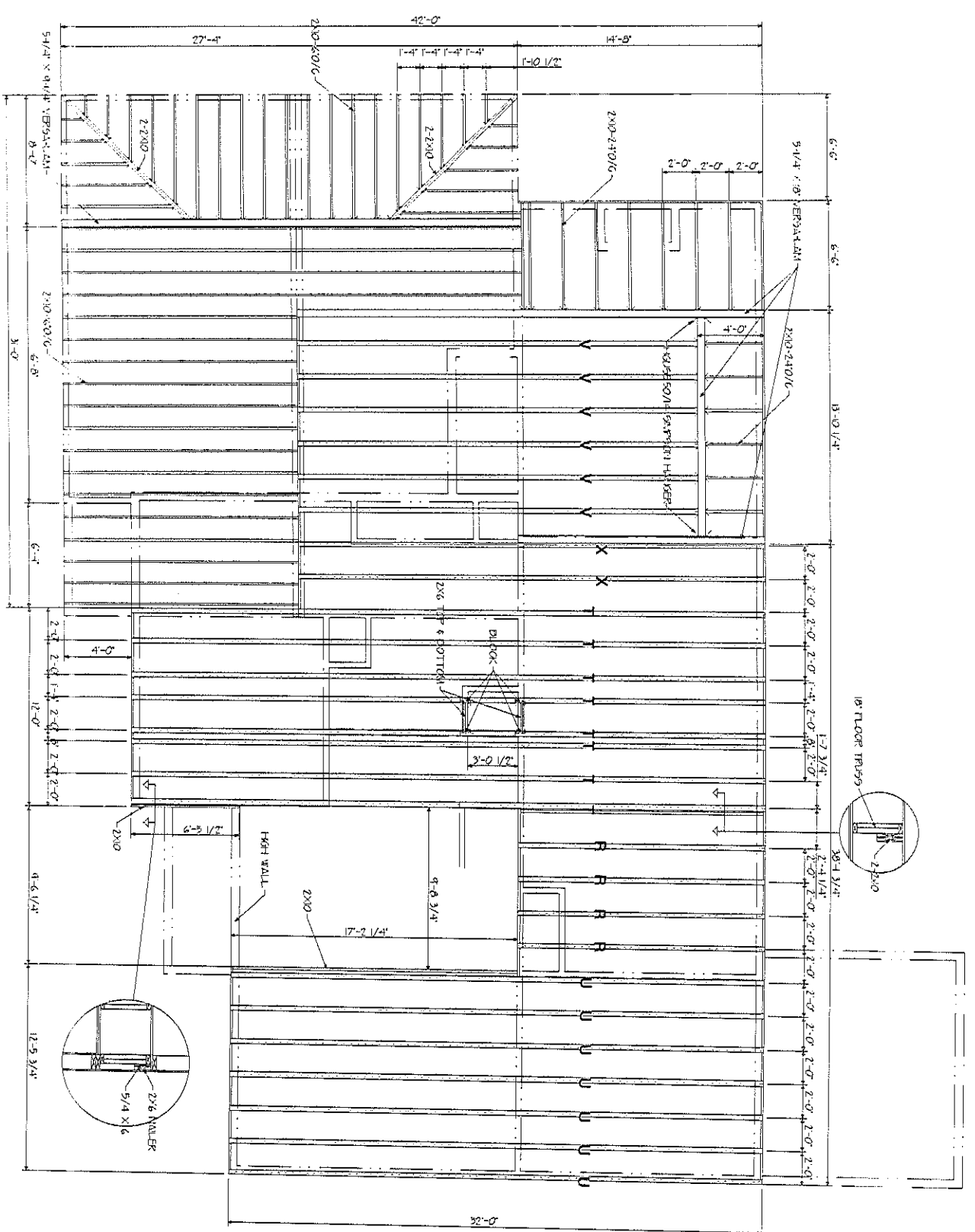


FIRST FLOOR FRAMING PLAN

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LEWISTON, ME. 207-783-4327	6 OF 13
JOB MIKE & BARBARA PEISNER	SCALE: 1/4" = 1'-0"
DESCRIPTION FIRST FLOOR FRAMING	DATE: 04/05/05
	DRAWN BY: PEJ
	APPROVED:

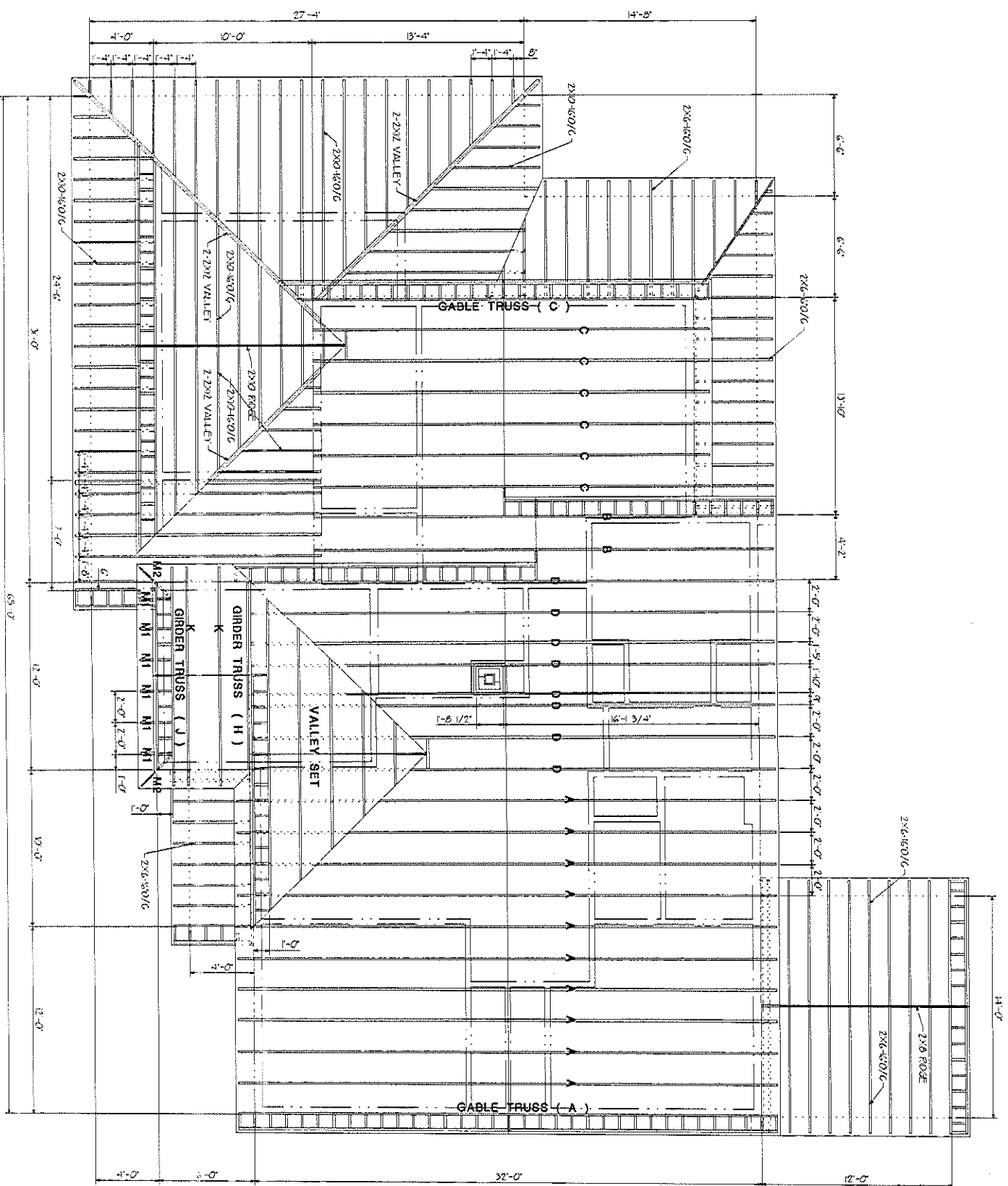
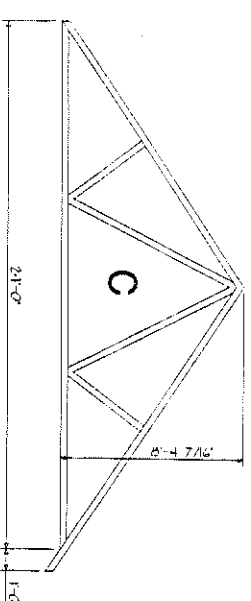
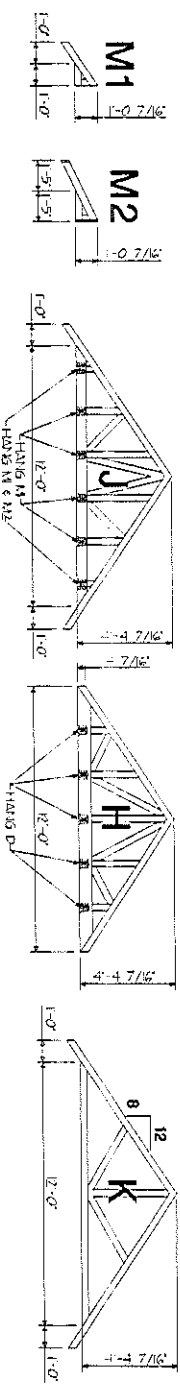
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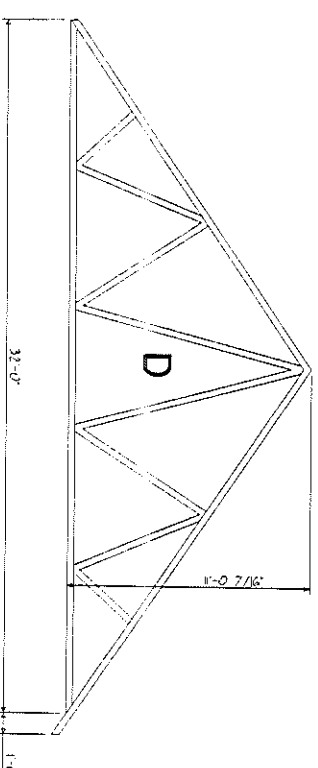
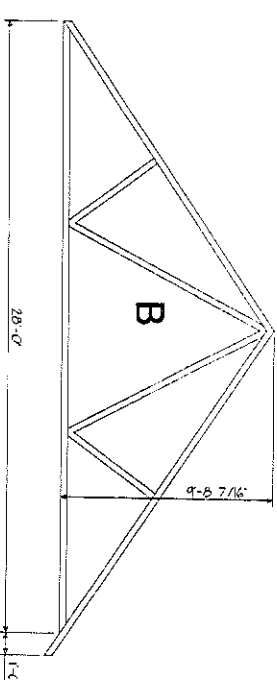
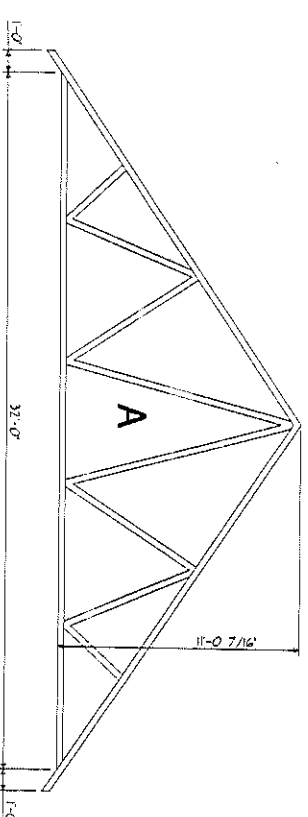
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ROOF FRAMING PLAN

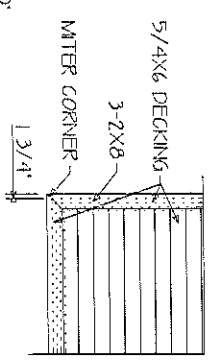
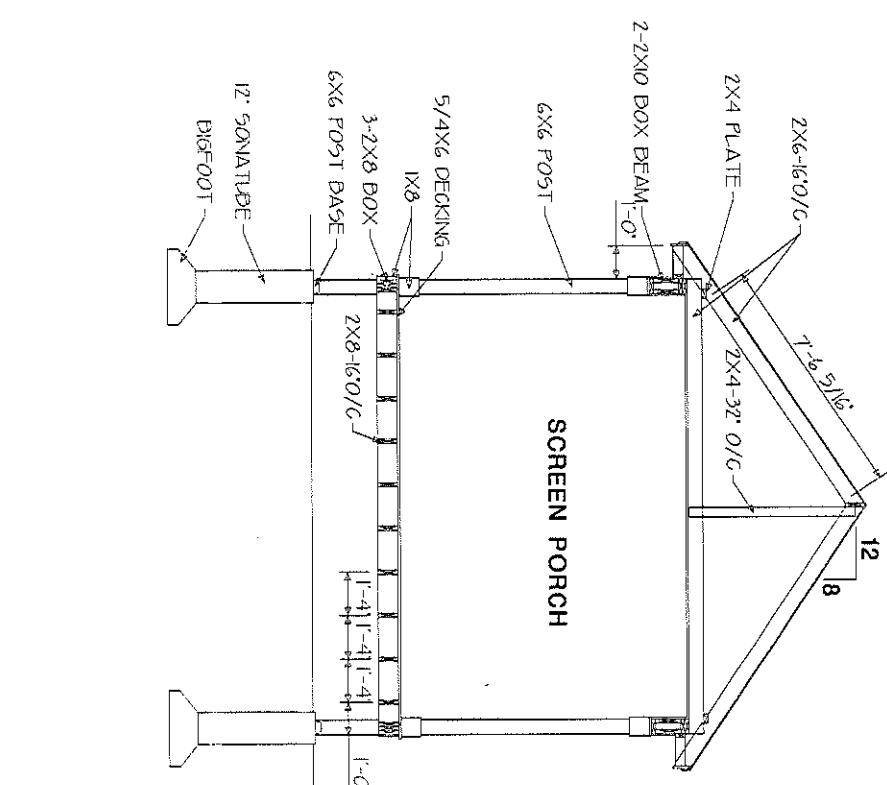
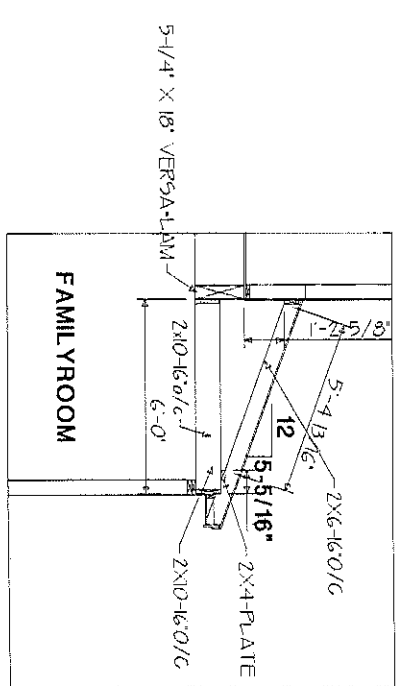


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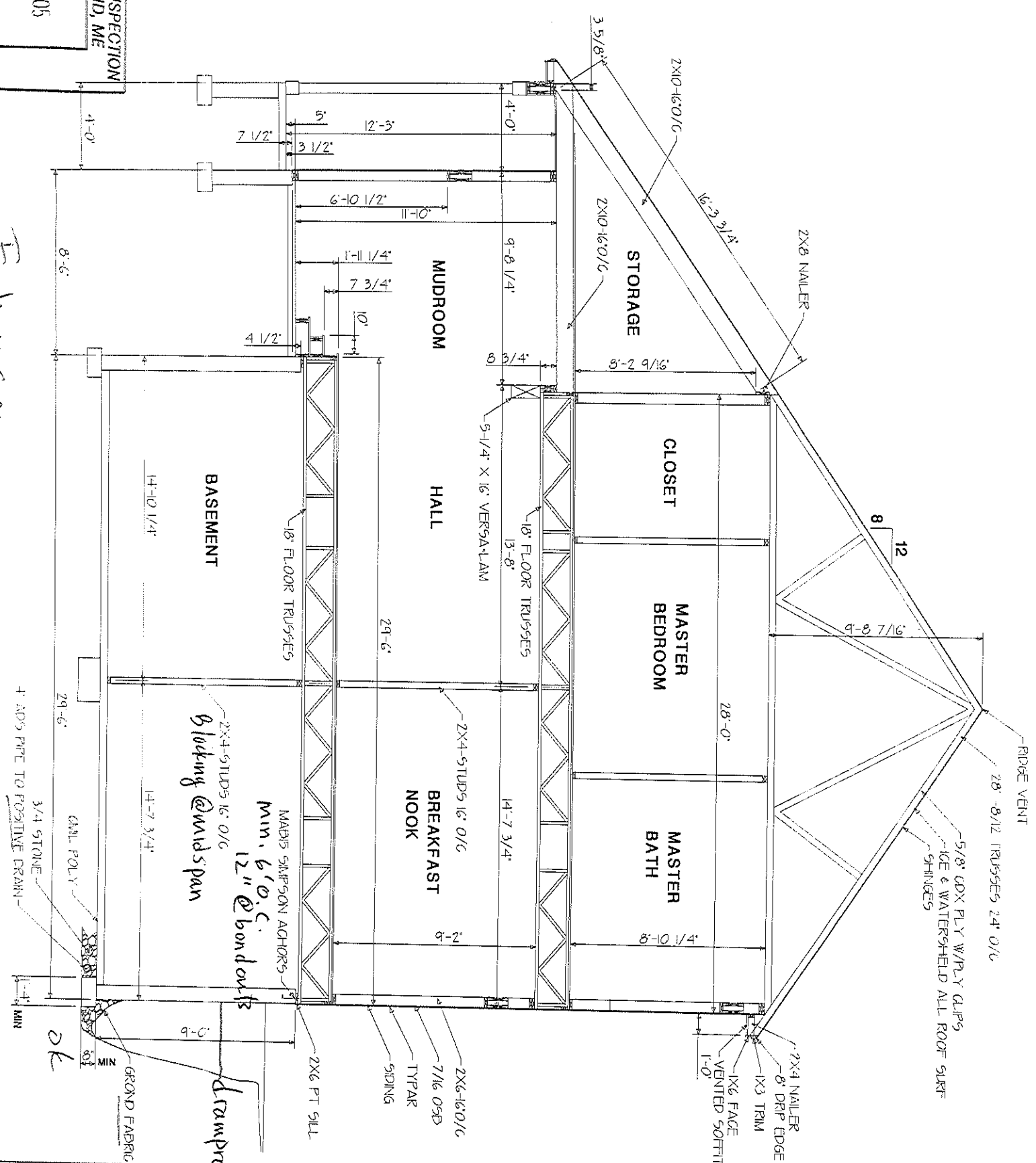
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CHECKED BY	BARBARA	DATE	3/20/05
APPROVED		DATE	

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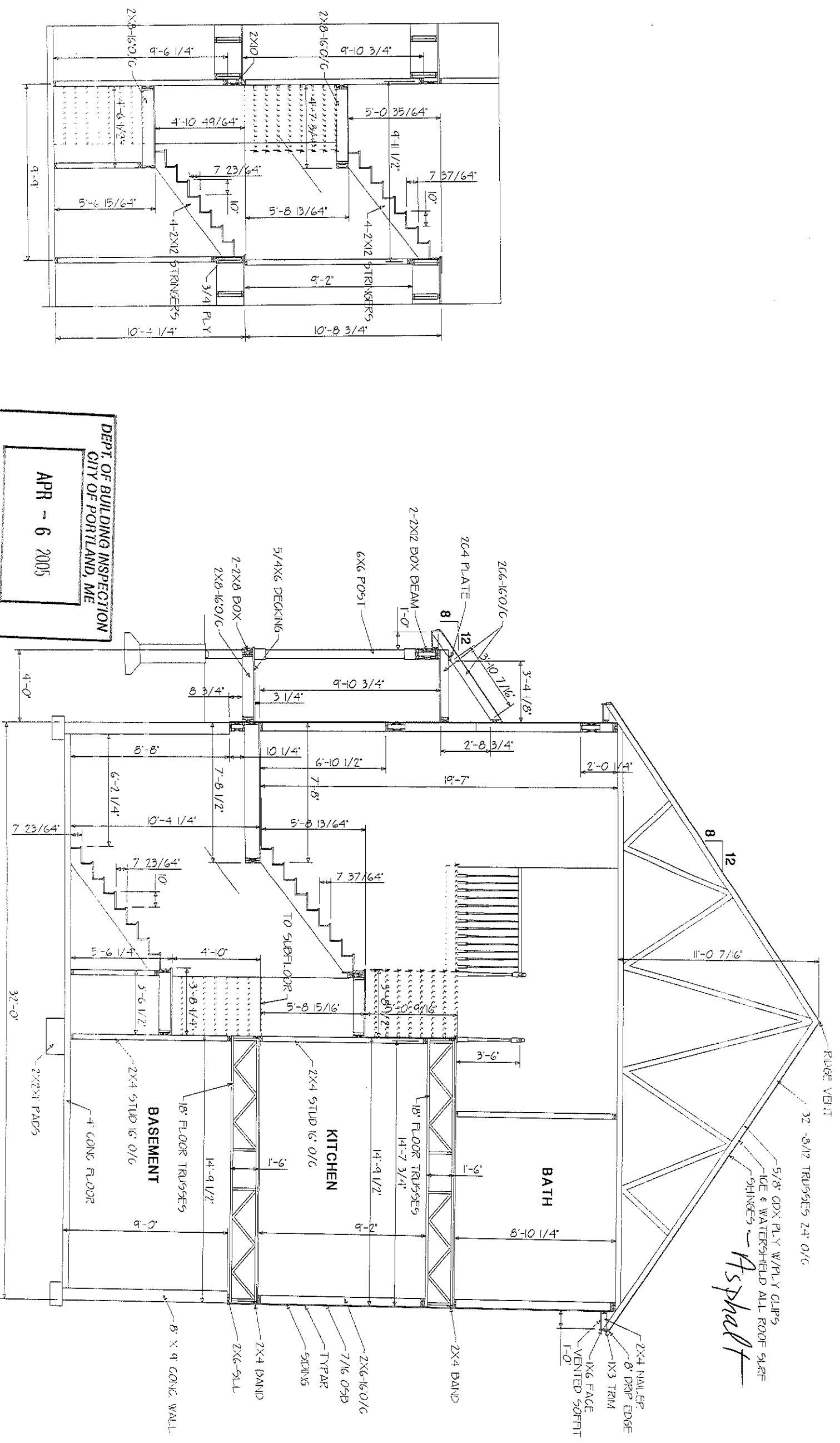
Trusses per IRC-2003

Blocking @ midspan

drainproof

HAJIE RESIDENTIAL DESIGN	FILE NAME
LEWISTON, ME. 207-783-4327	10 OF 13
DOB MIKE & BARBARA PEISNER	SCALE: 3/8" = 1'-0"
DATE: 08/05/05	DRAWN BY: JEL
DESIGNER: SECTION 1	APPROVED:

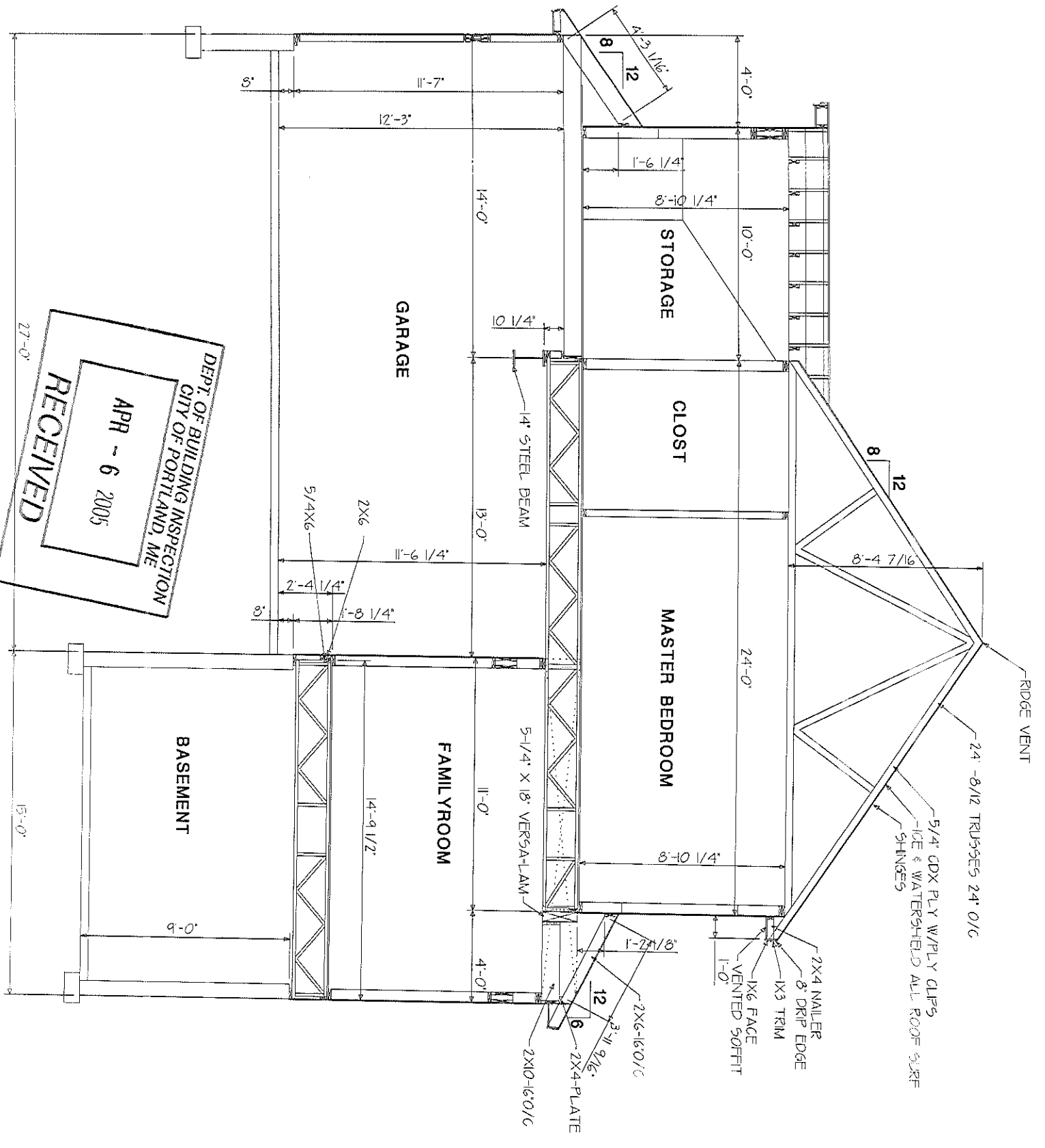
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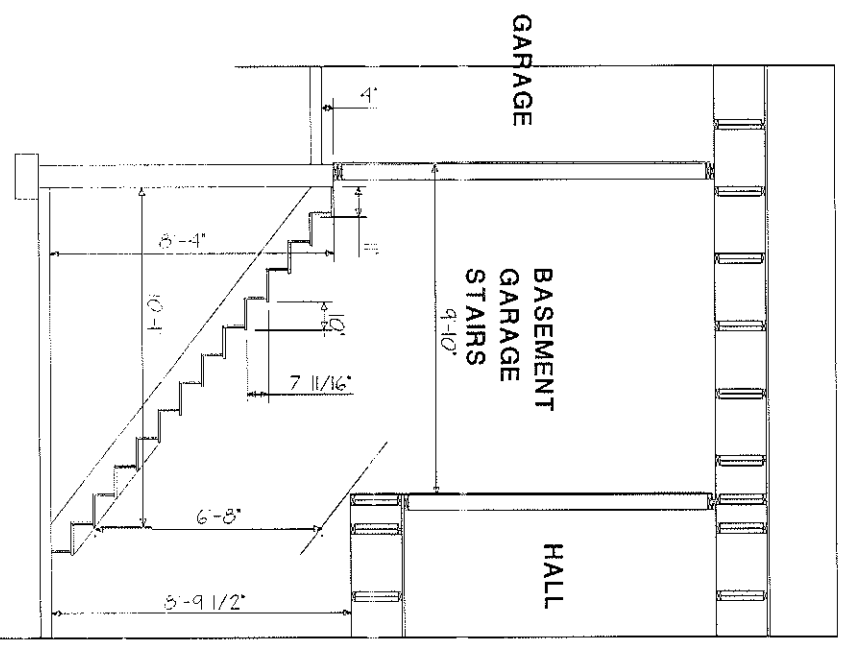
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CITY OF PORTLAND, ME
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MAIN RESIDENTIAL DESIGN I	FEEDBACK
LEWISTON, ME. 207-783-4327	11 OF 13
JOB MIKE & BARBARA PEISNER	SCALE 3/8" = 1'-0"
DATE 04/05/05	DRAWN BY J.E.J.
DESCRIPTION SECTION 1	CHECKED BY

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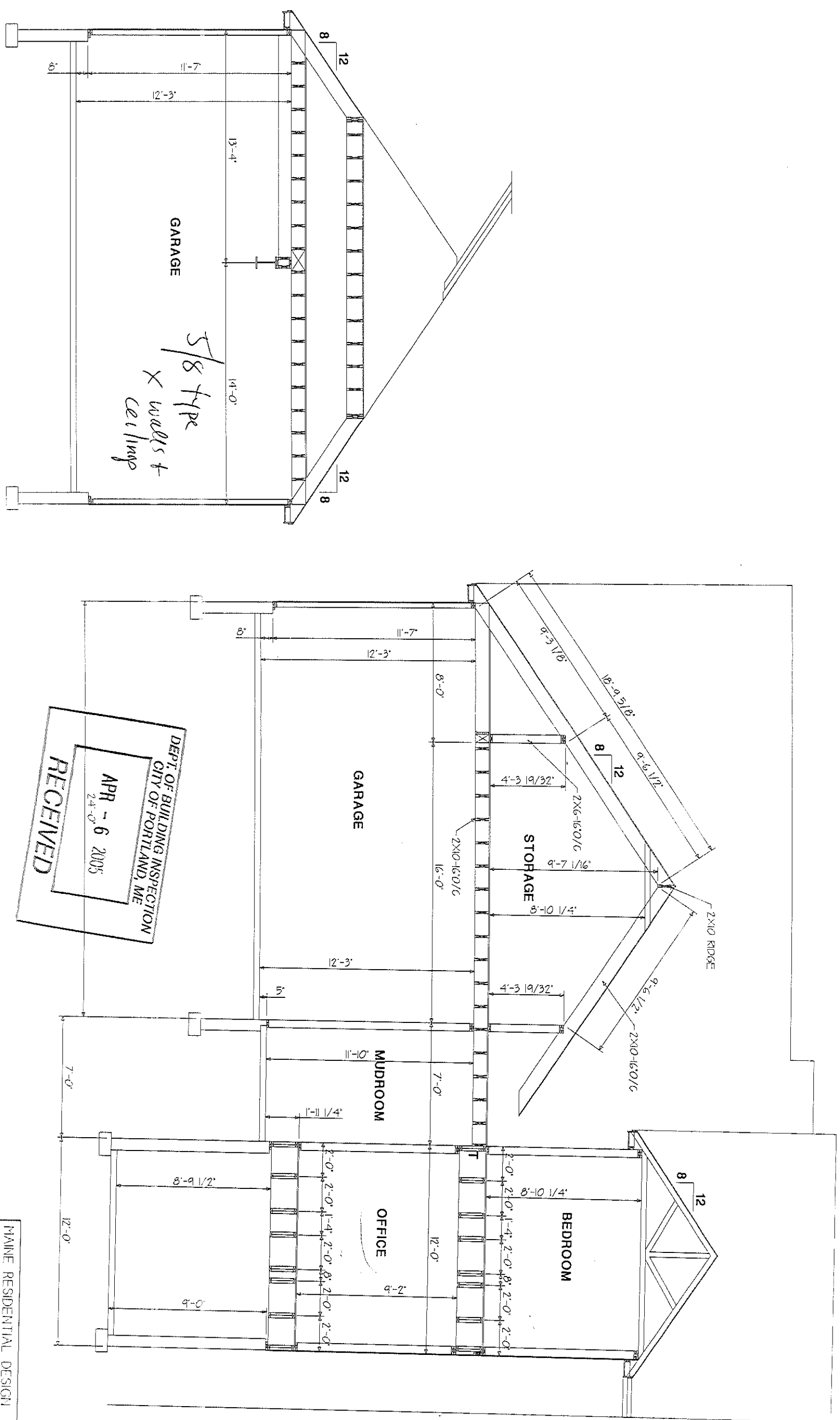


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MAINE RESIDENTIAL DESIGN	FILE NAME
LEWISTON, ME 207-783-4327	12 OF 1
309 MIKE & BARBARA PEISNER	SCALE 3/8\"/>
DATE	POSITION DRAWN

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MAINE RESIDENTIAL DESIGN	FILE NAME
LEWISTON, ME. 207-783-4327	13 OF 13
JOB MIKE & BARBARA PEISNER	SCALE: 3/8" = 1'-0"
DATE 09/05/05	DRAWN BY: FEL
DISCIPLINE SECTION 1	APPROVED: