

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

## BUILDING PERMIT

This is to certify that STEPHEN M MORRIS

Located At 251 HARVARD ST

Job ID: 2012-06-4281-ALTR

CBL: 153- A-022-001

has permission to replace existing deck with a 10.5' x 16' screened-in porch (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

07/19/2012

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
  2. Close In Elec/Plmb/Frame prior to insulate or gypsum
  3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-06-4281-ALTR

Located At: 251 HARVARD ST

CBL: 153- A-022-001

## Conditions of Approval:

### **Building**

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
3. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
4. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
5. R502.5 Allowable girder spans. The allowable spans of girders fabricated of dimension lumber shall not exceed the values set forth in Tables R502.5(1) and R502.5(2). This shall include the screened porch openings on the load bearing exterior walls.

TABLE R502.2.2.1  
FASTENER SPACING FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER  
AND A 2-INCH NOMINAL SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST<sup>c, g</sup>  
(Deck live load = 40 psf, deck dead load = 10 psf)

JOIST SPAN Connection details	6' and less	6'1" to 8'	8'1" to 10'	10'1" to 12'	12'1" to 14'	14'1" to 16'	16'1" to 18'
<sup>1</sup> / <sub>2</sub> inch diameter lag screw with <sup>15</sup> / <sub>32</sub> inch maximum sheathing <sup>a</sup>	30	23	18	15	13	11	10
<sup>1</sup> / <sub>2</sub> inch diameter bolt with <sup>15</sup> / <sub>32</sub> inch maximum sheathing	36	36	34	29	24	21	19
<sup>1</sup> / <sub>2</sub> inch diameter bolt with <sup>15</sup> / <sub>32</sub> inch maximum sheathing and <sup>1</sup> / <sub>2</sub> inch stacked washers <sup>b, h</sup>	36	36	29	24	21	18	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa

a. The tip of the lag screw shall fully extend beyond the inside face of the band joist.

b. The maximum gap between the face of the ledger board and face of the wall sheathing shall be <sup>1</sup>/<sub>2</sub>"

c. Ledgers shall be flashed to prevent water from contacting the house band joist.

d. Lag screws and bolts shall be staggered in accordance with Section R502.2.2.1.1.

e. Deck ledger shall be minimum 2×8 pressure-preservative-treated No. 2 grade lumber, or other approved materials as established by standard engineering practice.


f. When solid-sawn pressure-preservative-treated deck ledgers are attached to a minimum 1 inch thick engineered wood product (structural composite lumber, laminated veneer lumber or wood structural panel band joist), the ledger attachment shall be designed in accordance with accepted engineering practice.


g. A minimum 1×9 <sup>1</sup>/<sub>2</sub> Douglas Fir laminated veneer lumber rimboard shall be permitted in lieu of the 2-inch nominal band joist.

h. Wood structural panel sheathing, gypsum board sheathing or foam sheathing not exceeding 1 inch in thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be 1 inch.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4281-ALTR	Date Applied: 6/18/2012	CBL: 153- A-022-001	
Location of Construction: 251 HARVARD ST	Owner Name: STEPHEN & LINDA MORRIS	Owner Address: 251 HARVARD ST PORTLAND, ME 04103	Phone: 797-5610
Business Name:	Contractor Name: Jamie Header @ Port City Carpentry	Contractor Address: 110 Roaring Brook RD., Portland ME 04103	Phone: 415-7011
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ADD	Zone: R-3
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to remove old deck, build smaller screened in porch 10.5' x 16'	Cost of Work: 5000.000000	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:	Inspection: Use Group: R3 Type: SB IRC, 2009 (M-BEC) Signature: 
Proposed Project Description: remove and replace 10.5' x 16' deck		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Gayle	<b>Zoning Approval</b>		
<ol style="list-style-type: none"><li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li><li>Building Permits do not include plumbing, septic or electrical work.</li><li>Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</li></ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 6/12/12	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: 
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE		PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>251 Howard St.</u>		
Total Square Footage of Proposed Structure/Area <u>168 Sq. Ft.</u>	Square Footage of Lot <u>.359 15625</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>153</u> Block# <u>A0</u> Lot# <u>22</u> <u>153 A022001</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Steve + Linda Morris</u> Address <u>251 Howard St.</u> City, State & Zip <u>Portland, Me 04103</u>	Telephone: <u>797-5610</u>
Lessee/DBA (If Applicable) <b>RECEIVED</b>  <b>JUN 18 2012</b>  Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>5,000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>70.00</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Remove old Deck, build smaller Screened in Porch 10.5 x 16'</u>		
Contractor's name: <u>Jamie Header Port City Carpentry</u> Address: <u>110 Roaring Brook Rd.</u> City, State & Zip <u>Portland, Me 04103</u> Telephone: <u>415-7011</u> Who should we contact when the permit is ready: <u>Jamie Header #1</u> Telephone: <u>415-7011</u> Mailing address: <u>110 Roaring Brook Rd. Portland, Me 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: D.S. H. A.

Date: 6/13/12

This is not a permit; you may not commence ANY work until the permit is issued

# BUILDING A DECK???

## INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.
2. Type of foundation system
  - a. Diameter of concrete filled tube or pre cast concrete pier size 8" Tapered
  - b. depth below grade (minimum 4'-0" below grade) 4'-0"
  - c. anchorage of column to footing yes, Bracket
  - d. spacing and location of tubes/piers no more than 7'-0" apart
3. Framing Members
  - a. Columns – wood size and location (members supporting framing of floor system) 4x4 Framing to girder if needed
  - b. Ledger size attached to building 2x10 Ledger
  - c. Fastener size and spacing attaching ledger 3" structural GRK every Bay alternating up + Down
  - d. Girder Size and spans carrying floor system (3) 2x10, spanning no more than 7'.
  - e. Joist size, span, and spacing 2x10, 10', 16 o.c.
  - f. Joist hangers or ledger 2x8 Joist Hangers to ledger
4. Guardrails & Handrail Details
  - a. Guardrail height Knee wall 36" high
  - b. Baluster spacing None
  - c. Handrail height None
5. Stair Details
  - a. Tread depth (measured nosing to nosing) 11"
  - b. Riser height 7"
  - c. Nosing on tread 1"
  - d. Width of stairs 36"

Property line

R-3 Zone

Front - N/A

Rear - 25' min - 32' shown

Side 8' min - 37' shown

lot is over 15,000 sq ft

Scale Plot Plan

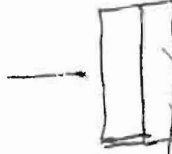
37'

Not to Scale

Rear

Property line

32'



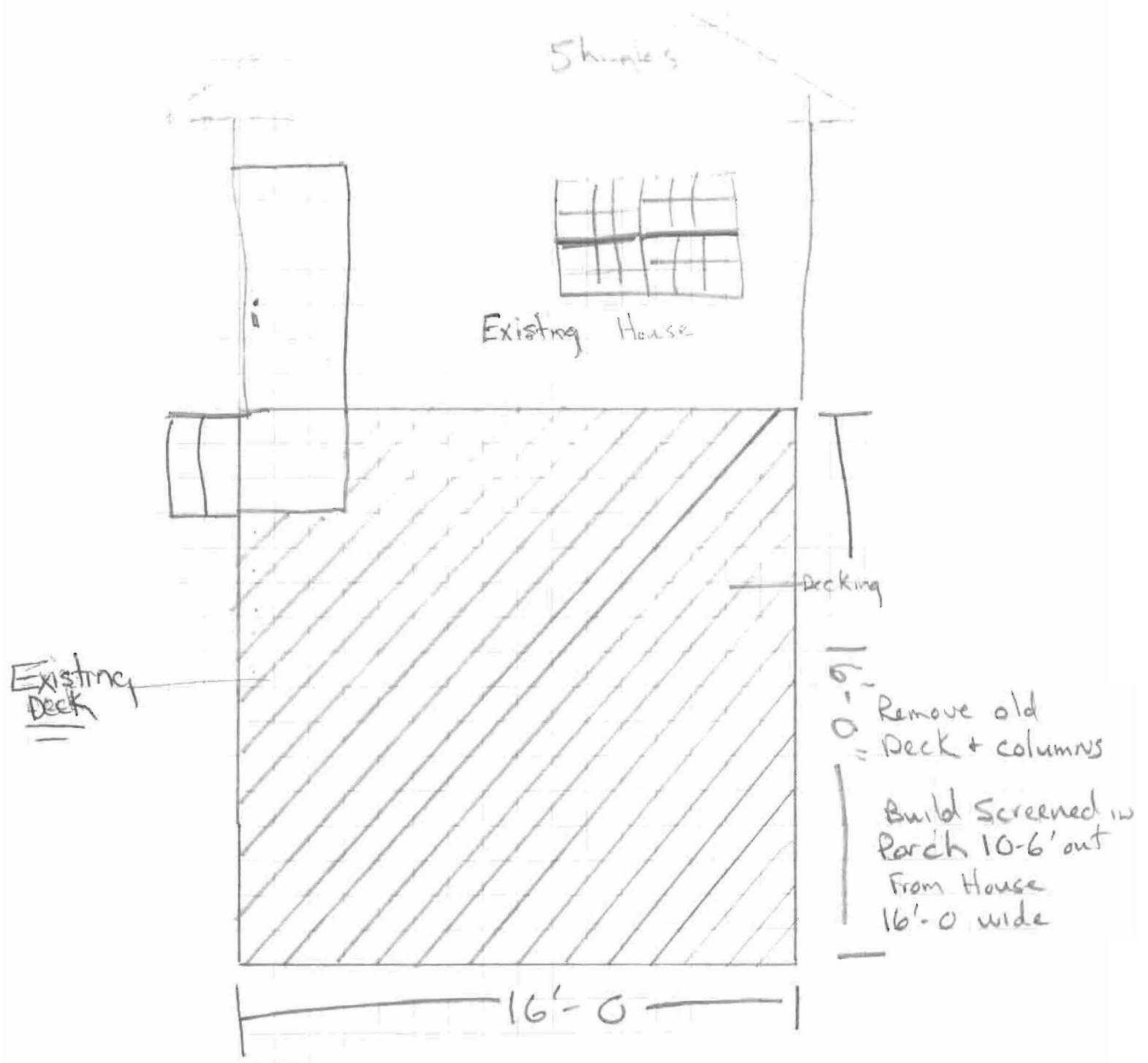
New Deck

Existing House

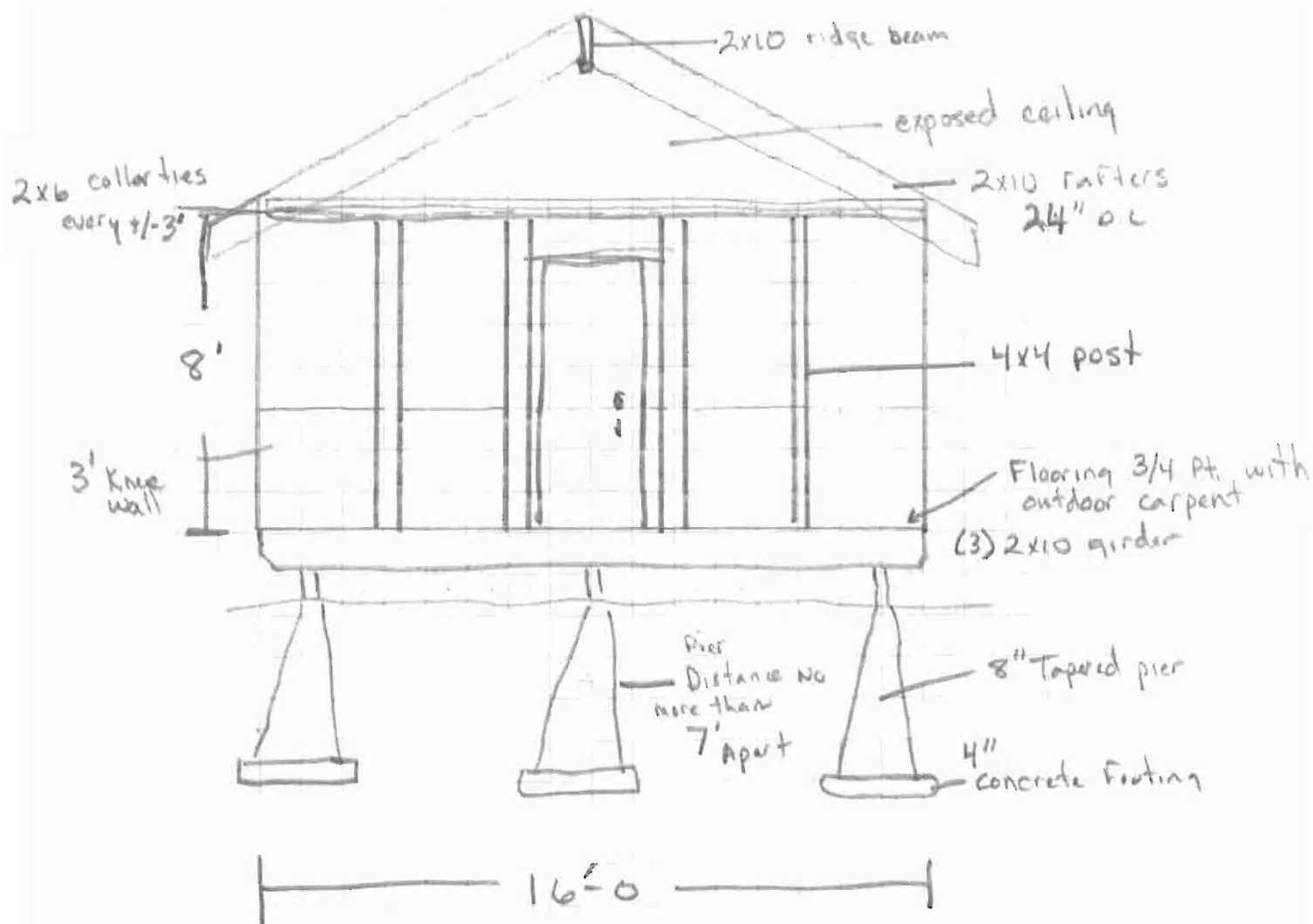
Existing Deck

251 Harvard St.

Existing







| Square = +/- 1" Foot

2x10 Kd SPF Ridge, <sup>24" o.c.</sup> roofing to match existing  
 5/8 Advantech Sheathing over 1x6 pine + 6 Boards  
 2x10 Kd rafters resting on 2x4 Double Plated wall.

New Roof +/- 4.5' <sup>12</sup>

1 Block = 1'

Side View

4x4 Post

Existing Roof

New Porch

2x10 PT. Joist 16" o.c.

(3) 2x10 PT. girder

8" tapered Pier w/ Footing (4) spaced evenly. Min. 4' under ground

Existing Roof line

30yr. Architectural Shingles

Front View

New Porch

Siding

4x4 Post

4x4

4x4 Post

Screen + glass windows

8'

3' knee wall around Porch

Stone Patio

5'

16'-0'

2 steps to grade

7' rise 11" Run min. 36" wide

1 square = 1/4 1' feet



# PORTLAND MAINE

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## Receipts Details:

**Tender Information:** Check , BusinessName: Port City Carpentry, Check Number: 1994

**Tender Amount:** 70.00

## Receipt Header:

**Cashier Id:** gguertin

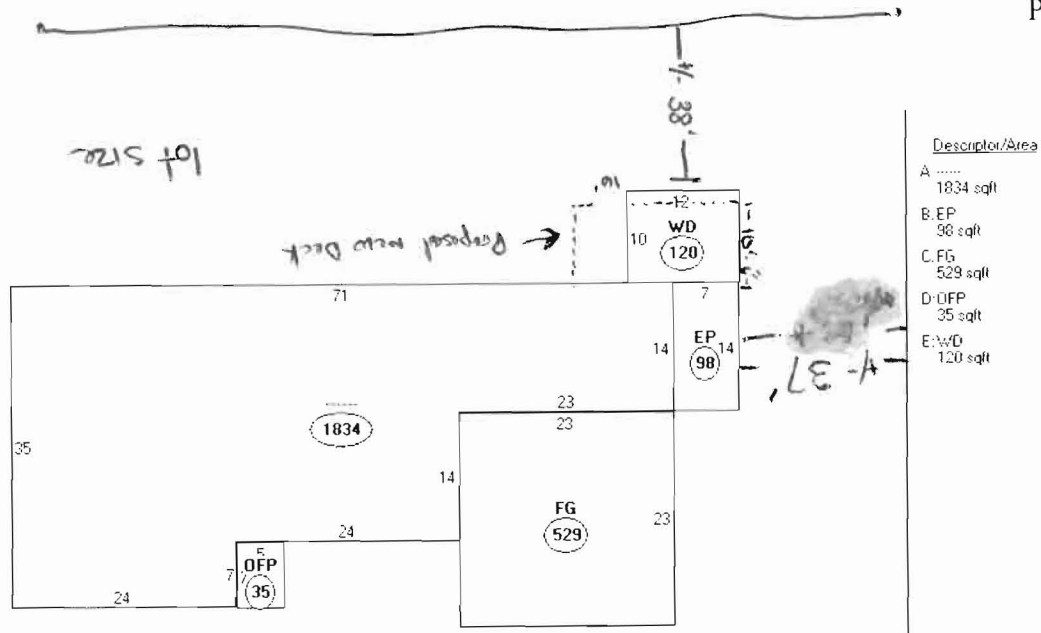
**Receipt Date:** 6/18/2012

**Receipt Number:** 45108

## Receipt Details:

Reference ID:	6942	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	70.00	Charge Amount:	70.00
Job ID: Job ID: 2012-06-4281-ALTR - remove and replace 10.5' x 16' deck			
Additional Comments: Port City Carpentry			

Thank You for your Payment!



Plot Plan

7-23-12 GP

HHS

7-31-12

1) NEED VF CABLE OR  
COVER NM UNDER PORCH

2) SAFETY SLIDING @ WINDOW ADJ TO DOOR

