

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

| | | | | | | | |
|---|--|--|--|---|--|---|--|
| Location of Construction: 312 Canco Rd | | Owner: GTG Associates | | Phone: | | Permit No: 80947 | |
| Owner Address: | | Lessee/Buyer's Name: Cuddledown | | Phone: | | Business Name: | |
| Contractor Name: Cuddledown of Maine (Tom Dyer) | | Address: 312 Canco rd Fld, ME 04103 | | Phone: 761-0201 X249 | | <div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: AUG 26 1998 CITY OF PORTLAND </div> | |
| Past Use: Manufacturing | | Proposed Use: Same w/Add office Space | | COST OF WORK: \$ 5,000.00 PERMIT FEE: \$ 45.00 | | | |
| Proposed Project Description: Interior Renovations Add additional office space | | FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied | | INSPECTION: Use Group: Type: | | Zone: CBL: 153-A-017 | |
| | | Signature: <i>[Signature]</i> | | Signature: <i>[Signature]</i> | | Zoning Approval: | |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> | | Signature: _____ Date: _____ | | Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> | | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied | |
| Permit Taken By: MG | | Date Applied For: 14 August 1998 | | Historic Preservation <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review | | Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied | |

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

17 August 1998

| | | | |
|---|----------|-------|--------|
| SIGNATURE OF APPLICANT | ADDRESS: | DATE: | PHONE: |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | | PHONE: |

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED WITH REQUIREMENTS

CEO DISTRICT

2

[Handwritten Signature]

COMMENTS

8-27-98 Talked to Tom Dyer about hall with's (44'
Labeling Equipment Room and Fire proction

10/9/98 Framing ok.

12-22-98 all work compleated to plan ok to close
Permit (TER).

Inspection Record

| Type | Date |
|-------------------|-------|
| Foundation: _____ | _____ |
| Framing: _____ | _____ |
| Plumbing: _____ | _____ |
| Final: _____ | _____ |
| Other: _____ | _____ |

BUILDING PERMIT REPORT

DATE: 8/21/98 ADDRESS: 312 Camco Rd
REASON FOR PERMIT: interior renovation
BUILDING OWNER: GTG ASSOC.
CONTRACTOR: Cuddadown (lessee)
PERMIT APPLICANT: lessee
USE GROUP BOCA 1996 CONSTRUCTION TYPE

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: #12a, #17, #18, #19, #20, #22, #23, #24, #25

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
2.6 Foundations anchors shall be a minimum of 1 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6'o.c. between bolts.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.

12a) 24 hour notice needed for inspection prior to the close-in of any new walls.

not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1

14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0

15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1

16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0

18. The Fire Alarm System shall be maintained to NFPA #72 Standard.

19. The Sprinkler System shall maintained to NFPA #13 Standard.

20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.

25. All requirements must be met before a final Certificate of Occupancy is issued.

26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)

28. Please read and implement the attached Land Use-Zoning report requirements.

29. _____
30. _____
31. _____
32. _____

P. Samuel Hoffses, Building Inspector

cc: Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

| | | |
|--|--|---|
| Location/Address of Construction (include Portion of Building): <i>312 Canco Rd.</i> | | |
| Total Square Footage of Proposed Structure | | Square Footage of Lot |
| Tax Assessor's Chart, Block & Lot Number Chart# <i>153</i> Block# <i>A</i> Lot# <i>017</i> | Owner: <i>GTG Associates</i> | Telephone#: |
| Owner's Address: | Lessee/Buyer's Name (If Applicable) <i>Cuddledown</i> | Cost Of Work: <i>\$ 5,000.00</i> Fee <i>\$ 45</i> |
| Proposed Project Description:(Please be as specific as possible) <i>Interior renovations / Add office space</i> | | |
| Contractor's Name, Address & Telephone <i>Cuddledown of Maine Attn Tom DYER # 761-0201 x249</i> | | Rec'd By <i>MM</i> <i>312 CANCO RD. PTL ME 04103</i> |
| Current Use: <i>Manufacturing</i> | Proposed Use: <i>SAME / WITH OFFICES</i> | |

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventillation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

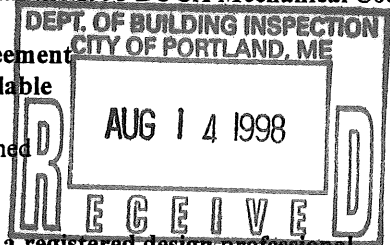
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

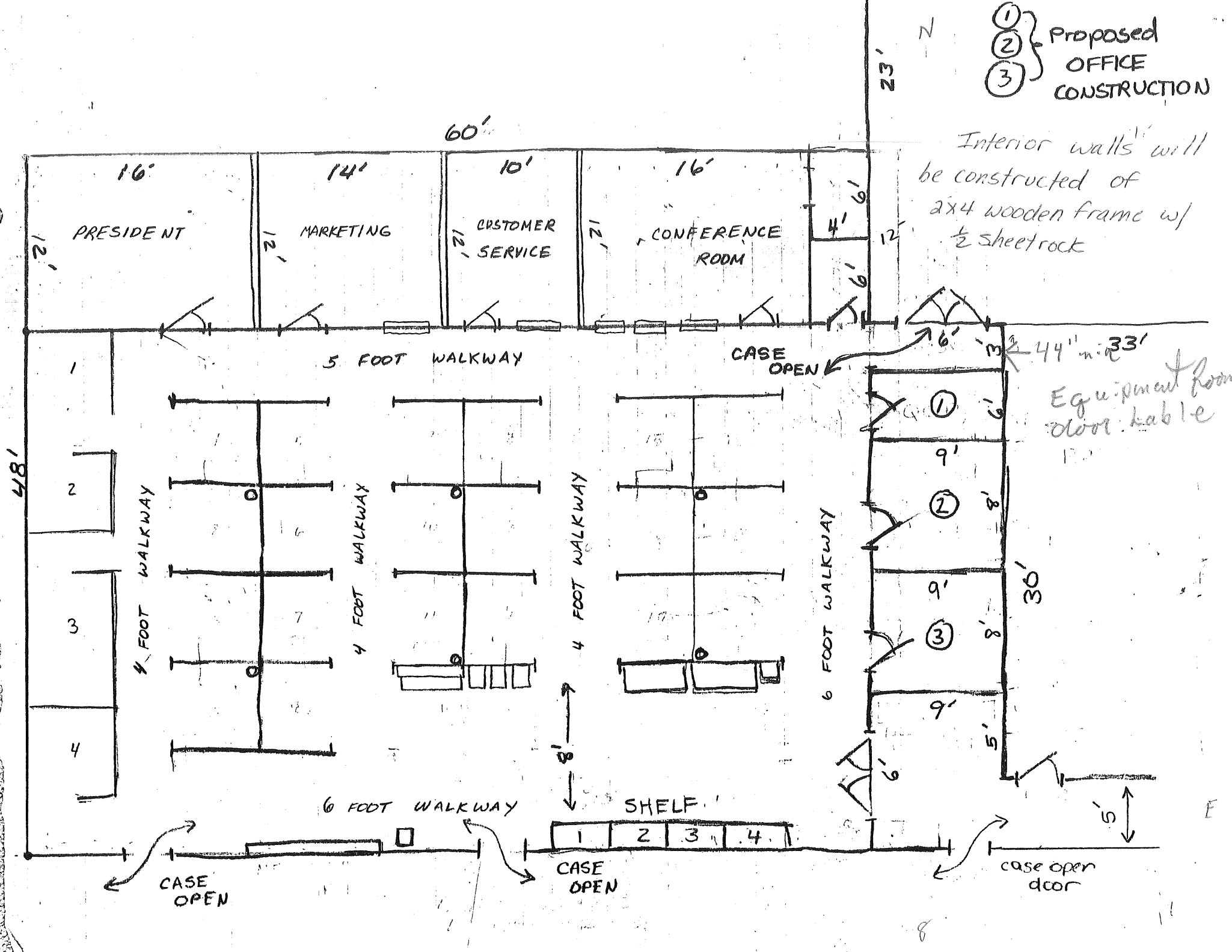
Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|--|----------------------|
| Signature of applicant: <i>Thomas Dyer</i> | Date: <i>8/19/98</i> |
|--|----------------------|

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum



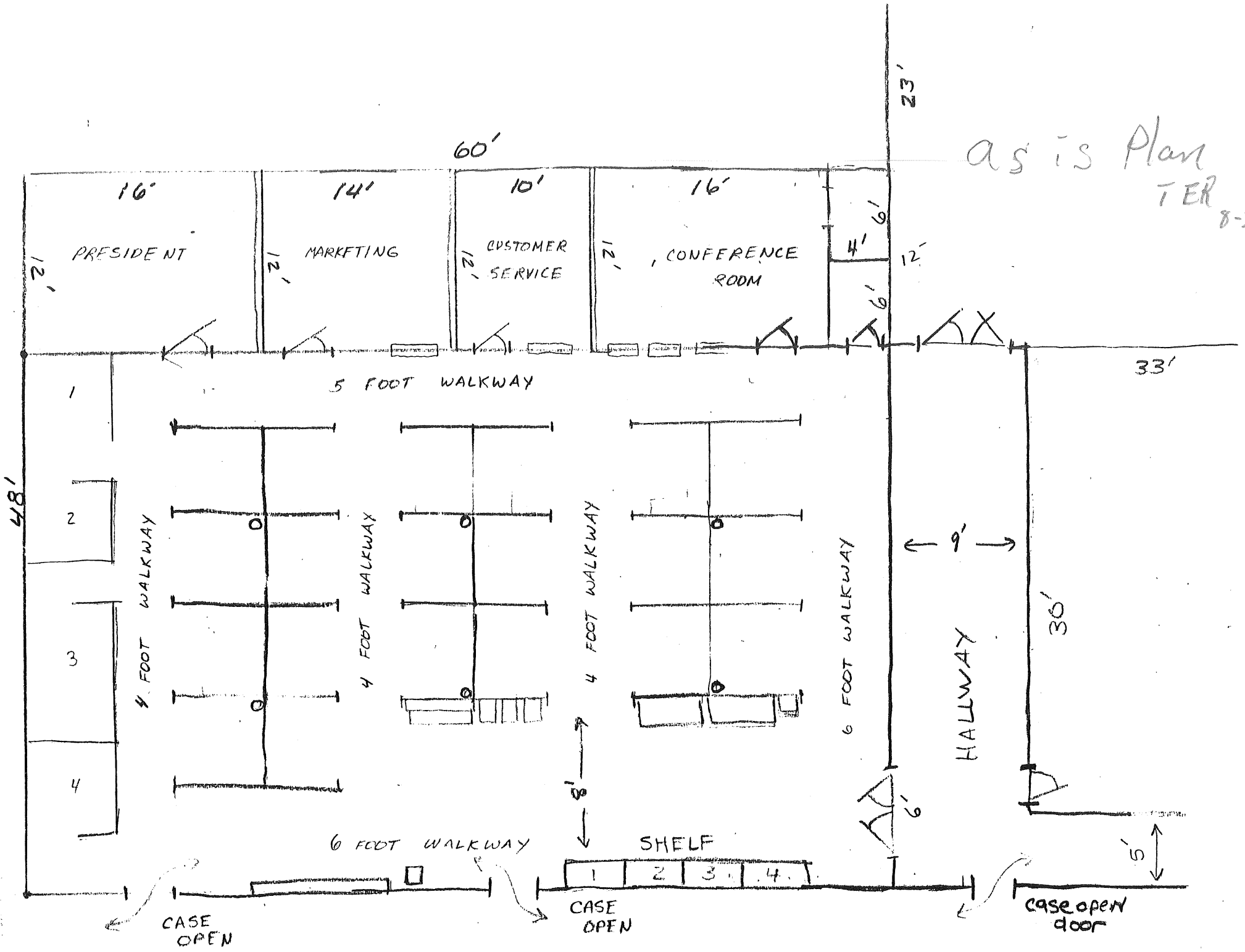


①
 ②
 ③ } Proposed
 OFFICE
 CONSTRUCTION

Interior walls will
 be constructed of
 2x4 wooden frame w/
 1/2 sheetrock

Equipment Room
 door hable

as is Plan
TER
8-27



MAINE AIR CONDITIONING

93 WARREN AVE.
PORTLAND, ME 04103
(207) 797-7417 • FAX (207) 878-3015

ESTIMATE & AGREEMENT

DATE: July 22, 1998

To
Cuddledown
Attn. Tom Dyer
312 Canco Rd.
Portland, Me. 04103

BID: We hereby propose to furnish material and labor to complete the work outlined herein for the sum of:

_____ dollars
(\$ _____) Payment to be made as follows:
Net 30 days

We hereby submit specifications and bid for:

FOLD HERE

To provide the following services;

A. Add ductwork to serve two new offices

1. Tie into the supply air ductwork of the main office.
2. Install one supply air diffuser in each office.
3. Each office will have a zone damper controlled by a wall mounted thermostat.
4. Control wiring.

\$1,928

B. Outside air intake;

1. Ductwork tied into the existing wall cap.
2. One inline fan.
3. Wall grille in the stitching area.
4. Fan will be controlled by a speed switch. We will furnish for installation by others.

\$1,225

C. Computer room ventilation;

1. One exhaust fan and ductwork with ceiling grille. Air will be exhausted into the above the ceiling.
2. Wall mounted intake low in the sidewall.
3. Fan will be controlled by a speed switch. we will furnish for installation by others.
4. Fan will provide up to 10 air changes per hour of ambient air.

\$1,130

CONTRACTOR'S GUARANTEE

We guarantee all material used in this contract to be as specified above and the entire job to be done in a neat, workmanlike manner. Any variations from plan or alterations requiring extra labor or material will be performed only upon written order and billed in addition to the sum covered by this contract. Agreements made with our workmen are not recognized.

ACCEPTANCE OF BID

The above specifications, terms and contract are satisfactory, and (I) (we) hereby authorize the performance of this work.

DATE 7/23/98

SIGNED *Don Nelson*

DATE

SIGNED

MAINE AIR CONDITIONING

93 WARREN AVE.
PORTLAND, ME 04103
(207) 797-7417 • FAX (207) 878-3015

ESTIMATE & AGREEMENT

DATE:

BID: We hereby propose to furnish material and labor to complete the work outlined herein for the sum of:

_____ dollars

(\$ _____) Payment to be made as follows:

Cuddledown
page 2

To

We hereby submit specifications and bid for:

FOLD HERE

D. Computer room cooling;

1. One Mitsubishi 1 ton capacity ductless split system air conditioner.
2. The indoor unit will be mounted on a wall.
3. The outdoor unit will be mounted on a wall bracket in the stitching area.
4. Interconnecting refrigerant piping.
5. Condensate drain piping.
6. System is controlled by a wireless remote control.
7. Control wiring.
8. Start up.
9. One year parts and labor warranty by Maine A.C. with an additional five year compressor warranty by the manufacturer.

\$3,220

Notes;

Work to be done during normal business hours
No power wiring or disconnects

CONTRACTOR'S GUARANTEE

We guarantee all material used in this contract to be as specified above and the entire job to be done in a neat, workmanlike manner. Any variations from plan or alterations requiring extra labor or material will be performed only upon written order and billed in addition to the sum covered by this contract. Agreements made with our workmen are not recognized.

ACCEPTANCE OF BID

The above specifications, terms and contract are satisfactory, and (I) (we) hereby authorize the performance of this work.

DATE
7/23/98

SIGNED
Don Nelson

DATE

SIGNED