

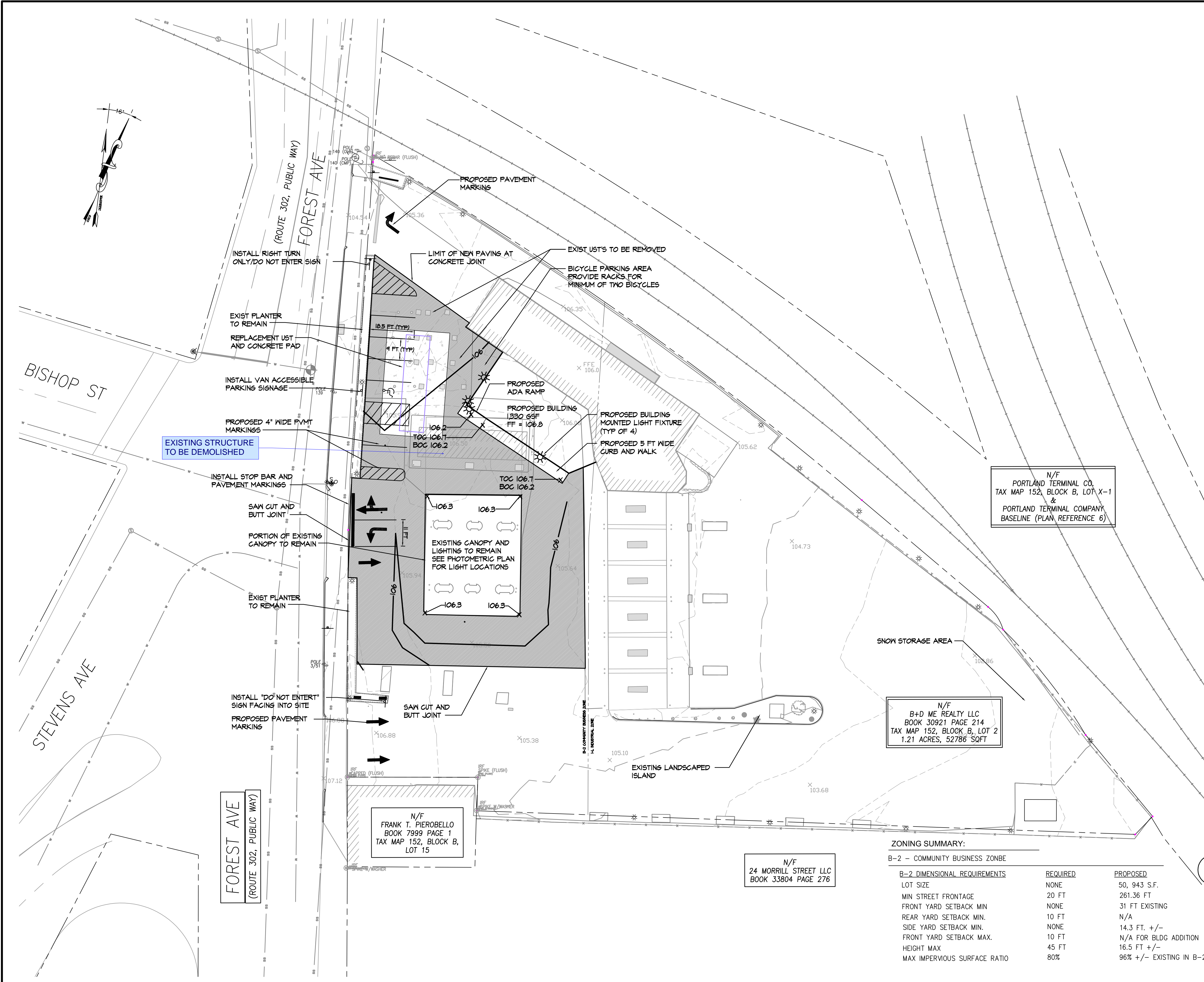


SITE LAYOUT AND MATERIALS NOTES:

1. ALL DIMENSIONS ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
2. WALK DIMENSIONS ARE SHOWN FROM FACE OF CURB.
3. DO NOT SCALE DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION / DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED AT NO COST TO THE OWNER.
6. MDT STANDARD DETAILS SHALL BE USED FOR ALL WORK PERFORMED IN THE CITY AND STATE RIGHTS OF WAY.
7. ALL SIGNAGE AND PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH THE MUTCD STANDARDS.
8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL STAKE THE LAYOUT FOR APPROVAL BY THE OWNER PRIOR TO CONSTRUCTION.
9. A DIGITAL AUTOCAD FILE WILL BE SUPPLIED TO THE CONTRACTOR FOR LAYOUT PURPOSES UPON REQUEST.

UTILITY NOTES:

1. TOPOGRAPHIC SURVEY AND EXISTING UTILITY INFORMATION PROVIDED BY AMEC FOSTER WHEELER. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
3. ALL UTILITY WORK SHALL BE IN CONFORMANCE WITH THE INDIVIDUAL UTILITY COMPANY STANDARDS RESPECTIVELY.
4. CONTRACTOR SHALL EXCAVATE TEST PITS AT ALL POINTS WHERE PROPOSED UTILITIES ARE TO CROSS EXISTING UTILITIES. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE CONDUIT OF SUITABLE SIZE WITH PULL LINES FOR ALL UNDERGROUND WIRING. SEE ELECTRICAL DRAWINGS FOR CONDUIT REQUIREMENTS.
6. SHADED AREA REPRESENTS ANTICIPATED AREA OF FULL DEPTH PAVEMENT RECONSTRUCTION. FINAL FULL DEPTH LIMITS TO BE APPROVED BY OWNER.
7. SAWCUT AND BUTT JOINT ALL AREAS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
8. CONNECT TO EXISTING UTILITIES AS REQUIRED.
9. OWNER OF RECORD IS B & D MEREALTY LLC, 172 WORCESTER STREET, NATICK, MA 01760.
10. CONTRACTOR IS RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS SHOWN ON DRAWING C-300.



N/F
PORTLAND TERMINAL CO.
TAX MAP 152, BLOCK B, LOT X-1
&
PORTLAND TERMINAL COMPANY
BASELINE (PLAN REFERENCE 6)

N/F
B+D ME REALTY LLC
BOOK 30921 PAGE 214
TAX MAP 152, BLOCK B, LOT 2
1.21 ACRES, 52786 SQFT

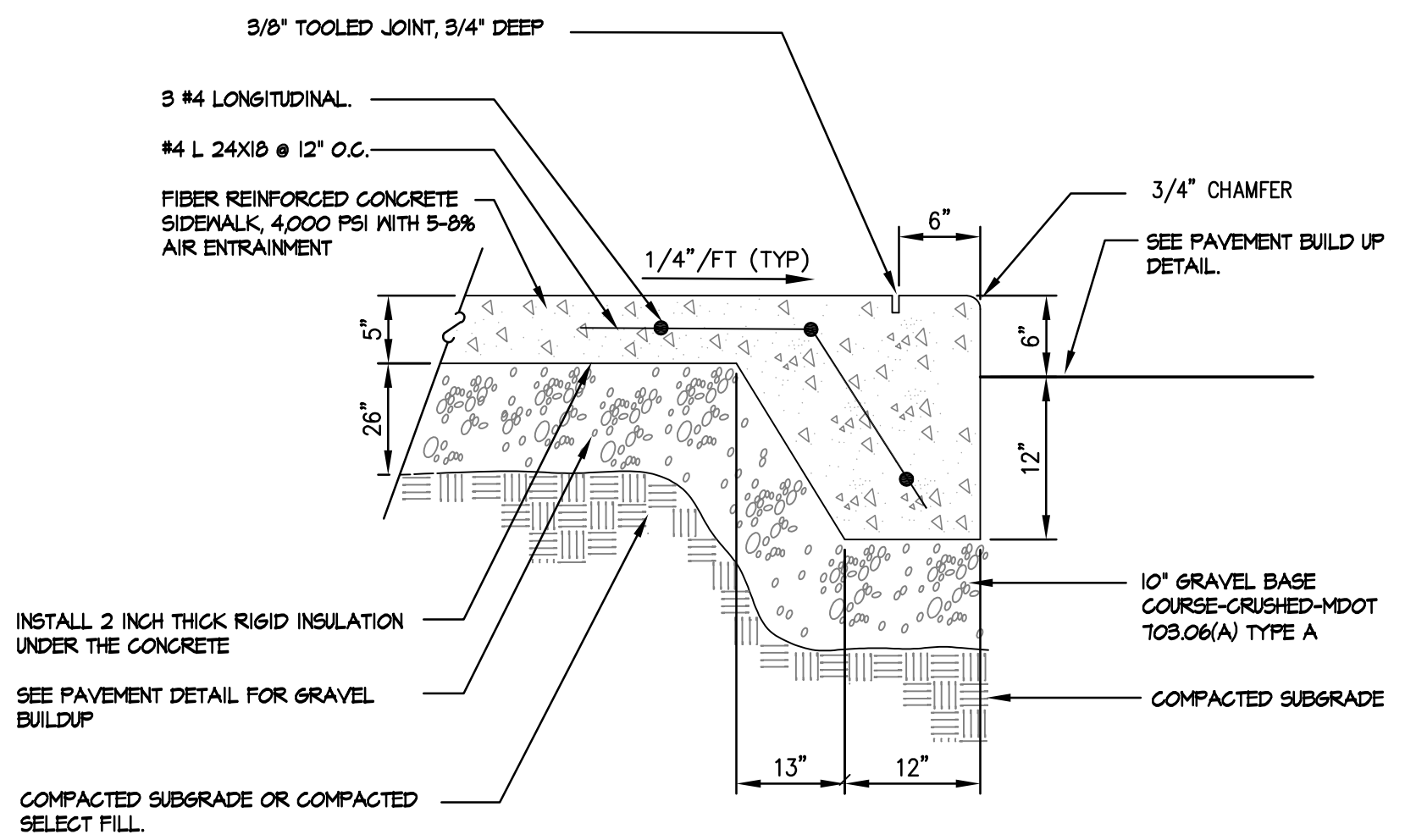
N/F
FRANK T. PIEROBELLO
BOOK 7999 PAGE 1
TAX MAP 152, BLOCK B,
LOT 15

N/F
24 MORRILL STREET LLC
BOOK 33804 PAGE 276

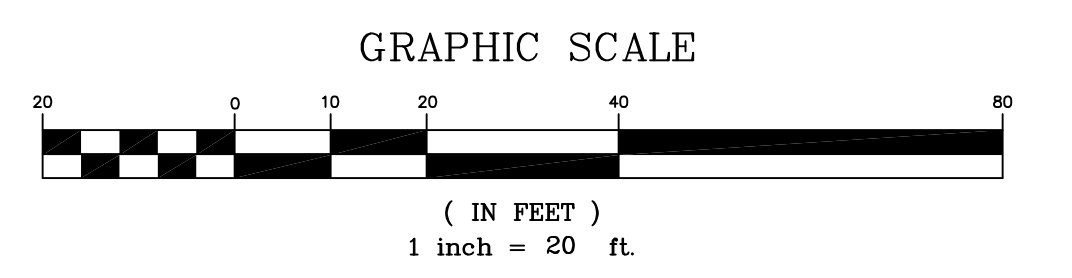
ZONING SUMMARY:

B-2 - COMMUNITY BUSINESS ZONE

B-2 DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
LOT SIZE	NONE	50, 943 S.F.
MIN STREET FRONTAGE	20 FT	261.36 FT
FRONT YARD SETBACK MIN	NONE	31 FT EXISTING
REAR YARD SETBACK MIN.	10 FT	N/A
SIDE YARD SETBACK MIN.	NONE	14.3 FT. +/-
FRONT YARD SETBACK MAX.	10 FT	N/A FOR BLDG ADDITION
HEIGHT MAX	45 FT	16.5 FT +/-
MAX IMPERVIOUS SURFACE RATIO	80%	96% +/- EXISTING IN B-2

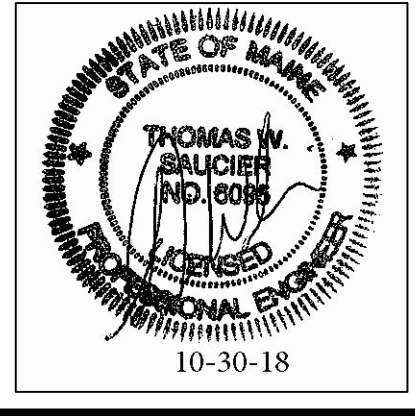


1 CONCRETE INTEGRAL CURB
SCALE: N.T.S.



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
E	10/30/18	REVISED PER CONDITIONS OF APPROVAL	TWS	TWS	TWS						
D	09/11/18	REVISED PER STAFF COMMENTS	TWS	TWS	TWS						
C	08/17/18	ADDED PAVEMENT MARKINGS	TWS	TWS	TWS						
B	07/24/18	RESPONSE TO CITY COMMENTS	TWS	TWS	TWS						
A	05/07/18	FOR LEVEL 2 AND CONDITIONAL USE REVIEW	TWS	TWS	TWS						



Site Design Associates
Consulting Engineering & Land Planning

23 Whitney Way
Topsham, Maine 04086
Tel: (207) 449-4275

PORT CITY ARCHITECTURE
65 NEWBURY STREET PORTLAND, MAINE

DESIGN: DEPT.	PROJECT: CONVENIENCE STORE RECONSTRUCTION
DRAWN: DEPT.	1185 FOREST AVE PORTLAND, MAINE
CHKD: TWS	SITE PLAN
DATE: APRIL 2018	PROJ. NO. 17-203-00
SCALE: 1" = 20 FT	DWG. NO. C-101
	REV. E