

MILONE & MACBROOM, INC. 121 MIDDLE STREET, PORTLAND, MAINE 04101

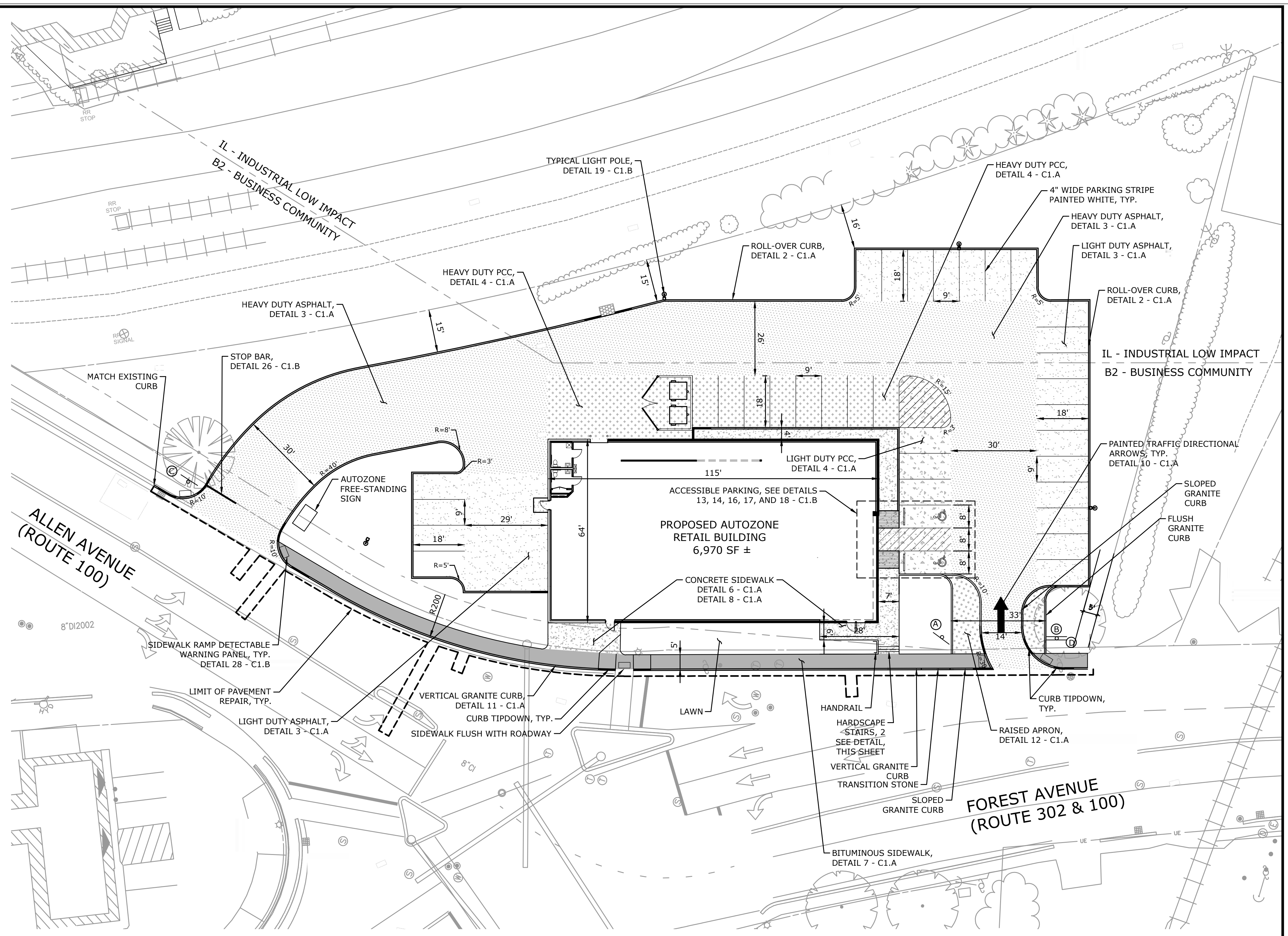
EXISTING

PROPOSED

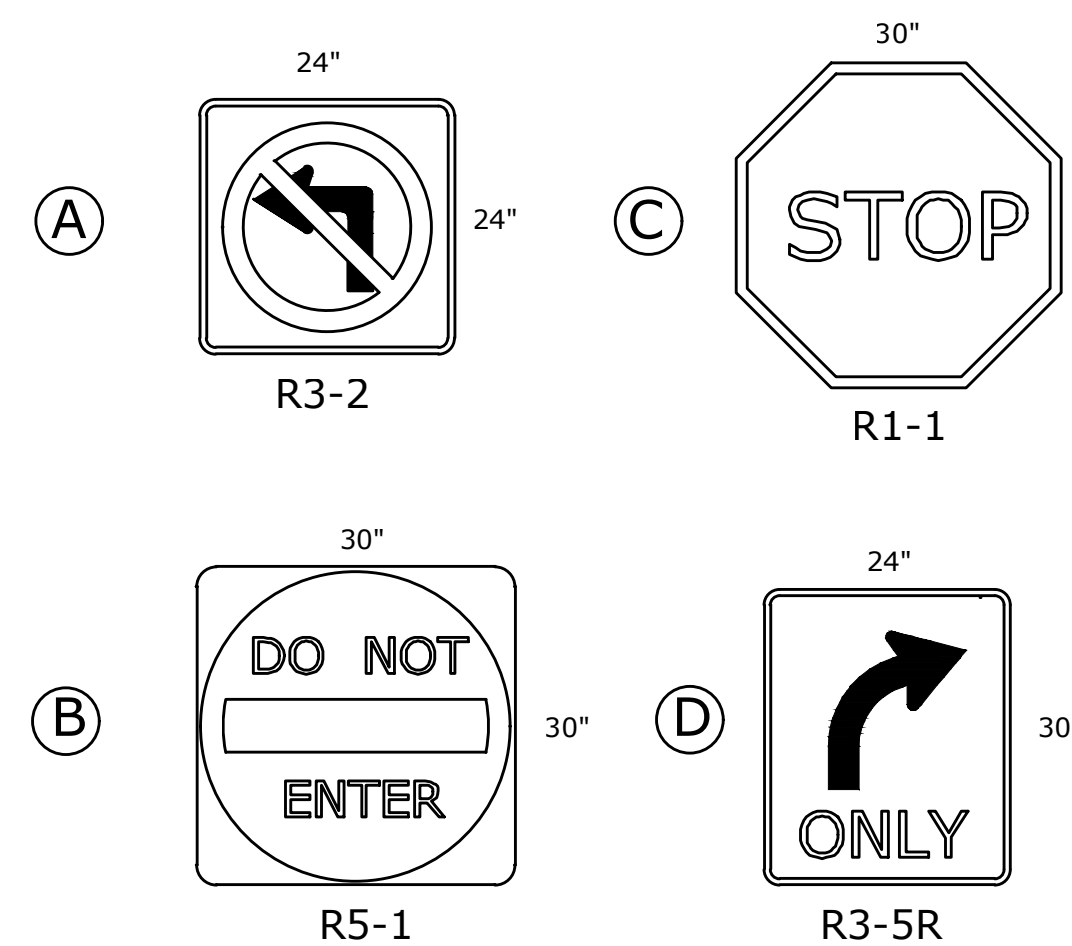
	EASEMENT LINE		
	EDGE OF GRAVEL		
	EDGE OF PAVEMENT/CURB		
	PROPERTY LINE		
	CONTOUR LINE		
	U.G. OR O.H. ELECTRIC		
	UNDERGROUND TELCO		
	SEWER LINE		
	STORM DRAIN LINE		
	WATER LINE		
	PERFORATED UNDERDRAIN		
	GAS/PROPANE LINE		
	UTILITY POLE & GUY WIRE		
	ELEC. TRANSFORMER PAD		
	ELEC. MANHOLE		
	CATCH BASIN		
	SEWER MANHOLE		
	FIRE HYDRANT		
	MONITORING WELL		
	GAS VALVE		
	WATER VALVE		
	HEAVY DUTY PCC		
	LIGHT DUTY PCC		
	HEAVY DUTY ASPHALT		
	LIGHT DUTY ASPHALT		
	CONCRETE SIDEWALK		
	BITUMINOUS SIDEWALK		
	DETECTABLE WARNING FIELD		

GENERAL NOTES:

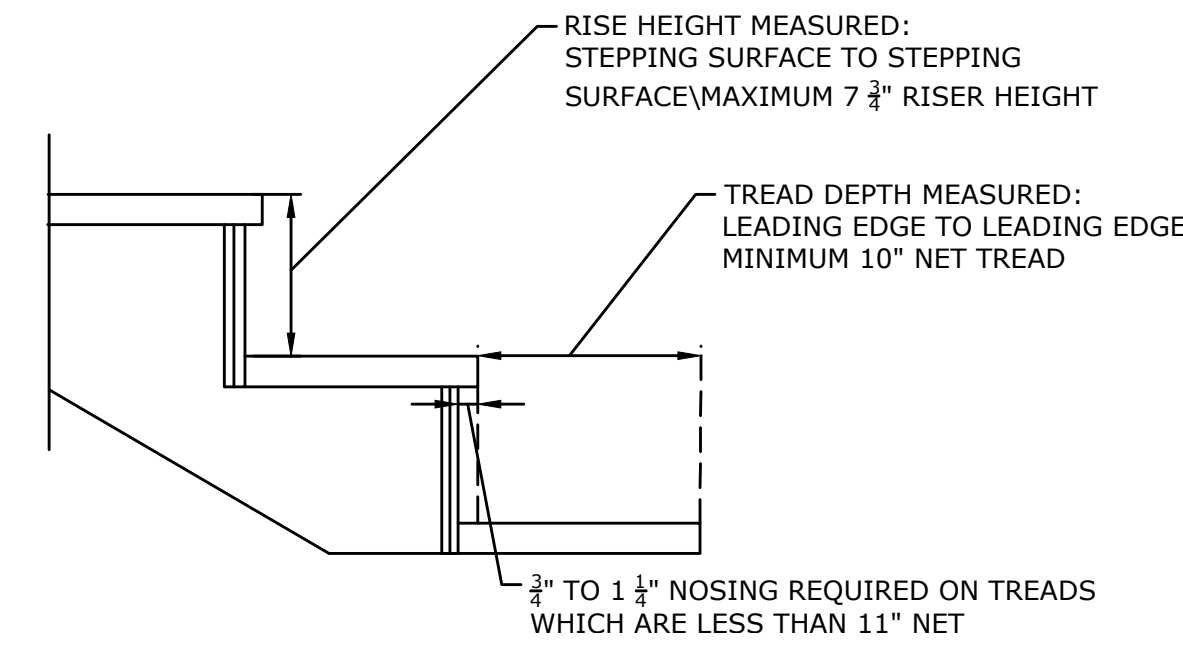
- THE RECORD OWNER OF THE PROPERTY IS BVM PORTLAND, LLC BY DEED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 31396 PAGE 322.
- PARCEL TAX MAP REFERENCE: CITY OF PORTLAND ASSESSORS MAP 152, LOT 1.
- HORIZONTAL DATUM: MAINE STATE PLANE, WEST ZONE, NAD83, U.S. FEET.
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- BOUNDARY, PLANIMETRIC AND TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED SOLELY ON A PLAN TITLED "ALTA/ACSM LAND TITLE SURVEY, STORE #3879" PREPARED BY VANASSE HANGEN BRUSTLIN, INC. AND DATED 02/23/2015 AND IDENTIFIED AS MEETING ALTA/ACSM PLAN REQUIREMENTS. REFER TO PLAN REFERENCES AND NOTES ON SAID PLAN FOR MORE INFORMATION.
- THE TOTAL PARCEL AREA IS APPROXIMATELY 1.06 ACRES ±.
 EXISTING IMPERVIOUS SURFACE = 39,660 SF ±
 PROPOSED IMPERVIOUS SURFACE = 28,633 SF ±
- THE PROPERTY IS LOCATED IN THE B-2 AND I-L ZONING DISTRICT
B-2 COMMUNITY BUSINESS ZONE:
 MIN. STREET FRONTAGE - 20 FEET
 FRONT YARD SETBACK - NONE
 REAR YARD SETBACK - 10 FEET, EXCEPT: 5 FEET FOR ACCESSORY STRUCTURES
 SIDE YARD SETBACK - NONE REQUIRED, EXCEPT: 5 FEET FOR ACCESSORY STRUCTURES
 SIDE YARD ON SIDE STREET SETBACK - NONE
 FRONT YARD MAXIMUM - NO MORE THAN 10 FEET
 HEIGHT MAXIMUM - 50 FEET
 MAXIMUM IMPERVIOUS SURFACE RATIO - 80%
I-L INDUSTRIAL LOW IMPACT ZONE:
 MAXIMUM IMPERVIOUS SURFACE RATIO - 65%
 MINIMUM SIDE YARD - 25 FEET
 MINIMUM REAR YARD - 25 FEET
 MINIMUM FRONT YARD - 25 FEET
 PAVEMENT SETBACK FROM LOT BOUNDARY - 15 FEET
- PARKING AREA SUMMARY:**
 REQUIRED PARKING PER TOWN ORDINANCE, 1 SPACE PER 200 SF
 6,970 SF / 200 = 35 SPACES
 TOTAL PARKING PROVIDED = 35 SPACES
 2 SPACES AT 8' X 18'
 33 SPACES AT 9' X 18'
 2 HANDICAP ACCESSIBLE SPACES
 DRIVE AISLE IN PARKING AREAS = 30 FEET
- ALL DISTURBED AREAS ARE TO BE TOPSOILED AND LAWN ESTABLISHED.
- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ARCHITECT OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK CURB AND GUTTER STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE UTILITY PLAN.



SIGN LEGEND

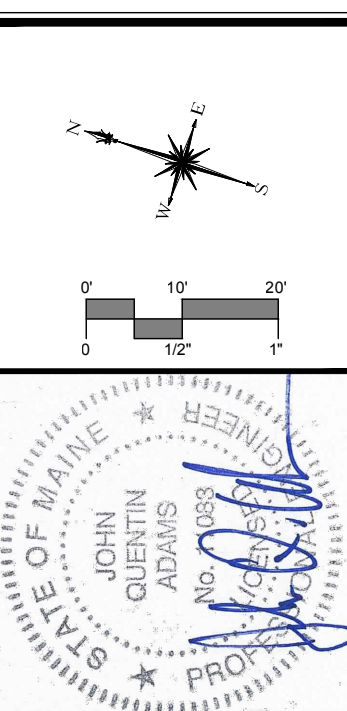


STAIR DETAIL



APPROVED LEVEL 2 SITE PLAN

PLANNING DIRECTOR _____ DATE _____



MILONE & MACBROOM
 121 Middle Street
 Suite 201
 Portland, Maine 04101
 (207) 541-5644 Fax (207) 541-9548
 www.miloneandmacbroom.com

DATE	DESCRIPTION

SITE PLAN
 AUTOZONE STORE NO. 3879
 PORTLAND, MAINE
 1207 FOREST AVE
 PORTLAND, MAINE

SMW	SMW	JQA
DESIGNED	DRAWN	CHECKED
SCALE: 1"=20'		
DATE: MARCH 16, 2016		
PROJECT NO.: 5464-04		
SHEET NO.: 5 OF 12		

C1.0