



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

2 Bedford Farms Drive, Suite 200
Bedford, New Hampshire 03110
603.391.3900 • FAX 603.518.7495

Legend

- ① DRAIN MANHOLE
- ② CATCH BASIN
- ③ SEWER MANHOLE
- ④ ELECTRIC MANHOLE
- ⑤ TELEPHONE MANHOLE
- MANHOLE
- HH - HANDHOLE
- BOLLARD
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- CUY POLE
- CUY WIRE
- MONITORING WELL
- WELL
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BR BITUMINOUS BERM
- BYL BITUMINOUS CURB
- DYL DOUBLE YELLOW LINE
- SWL SINGLE WHITE LINE
- GUR GUARD RAIL-STEEL POST
- GURW GUARD RAIL-WOOD POST
- CLF CHAIN LINK FENCE
- SFF STOCKADE FENCE
- DLN DRAINAGE LINE
- SFL SEWER LINE
- OWL OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- SWL STONE WALL
- TL TREE LINE

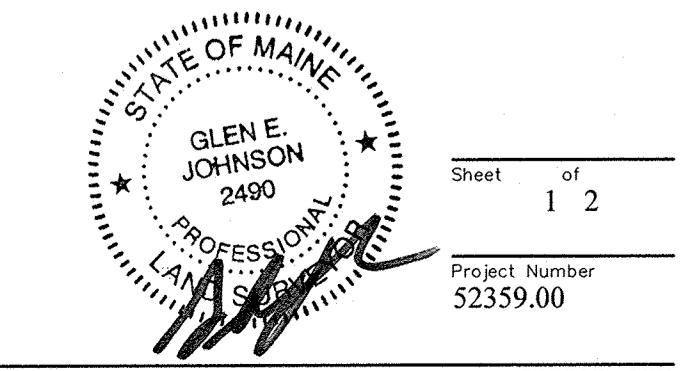
1	SURVEYED SNOW OBSCURED AREAS	2/22/16	GEJ
No.	Revision	Date	Appvd.
Designed by	Drawn by	Checked by	
CAD checked by	Approved by		
Scale 1"=20'	Date February 23, 2015		
Project Title	Proposed AutoZone #3879		

1201 and 1207 Forest Avenue
Portland, Maine 04103
Issued for
ALTA/ACSM
Land Title Survey

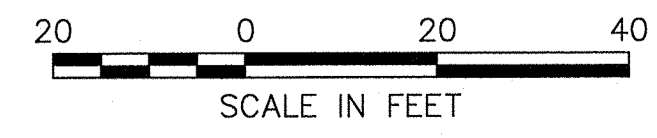
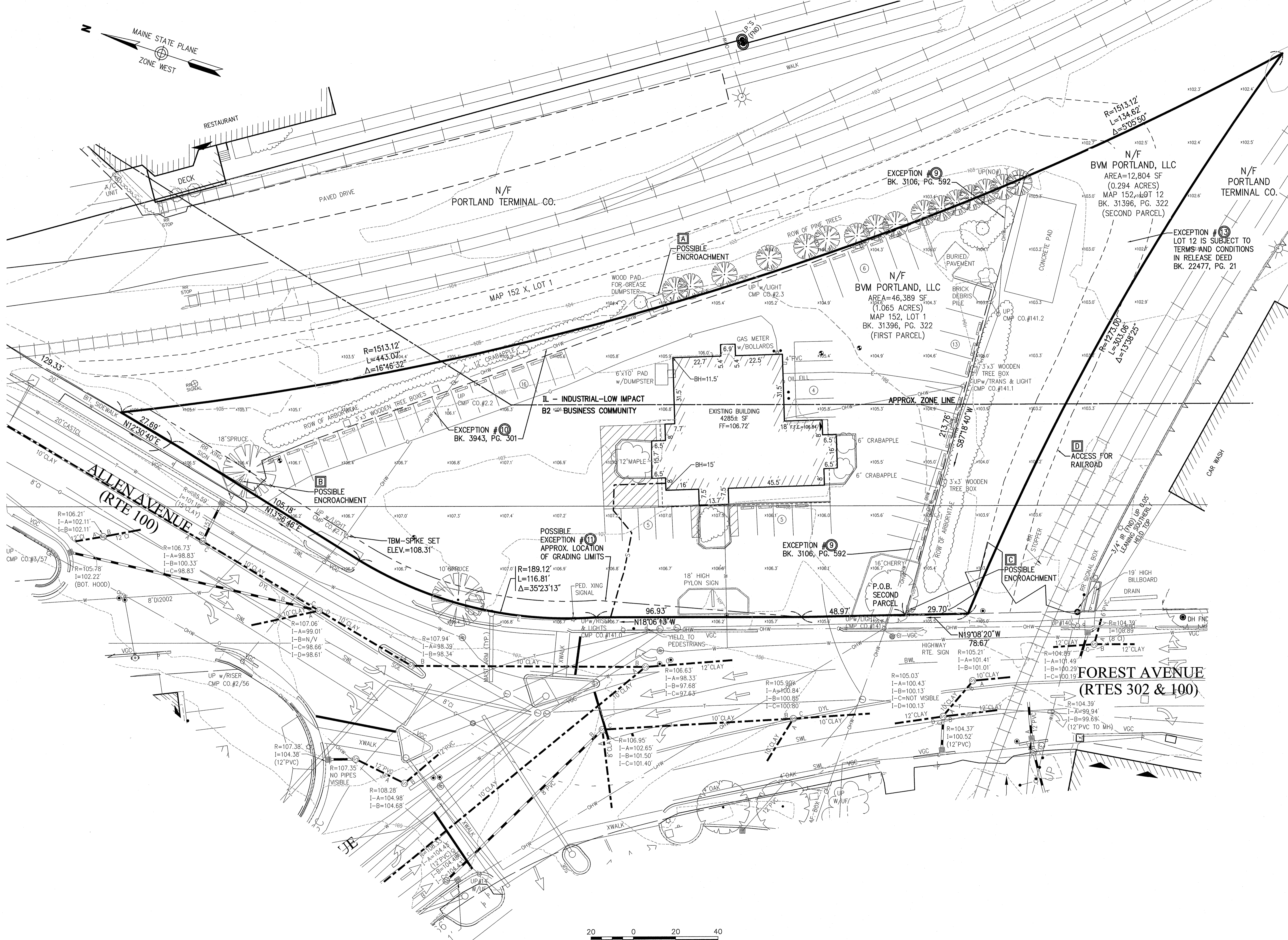
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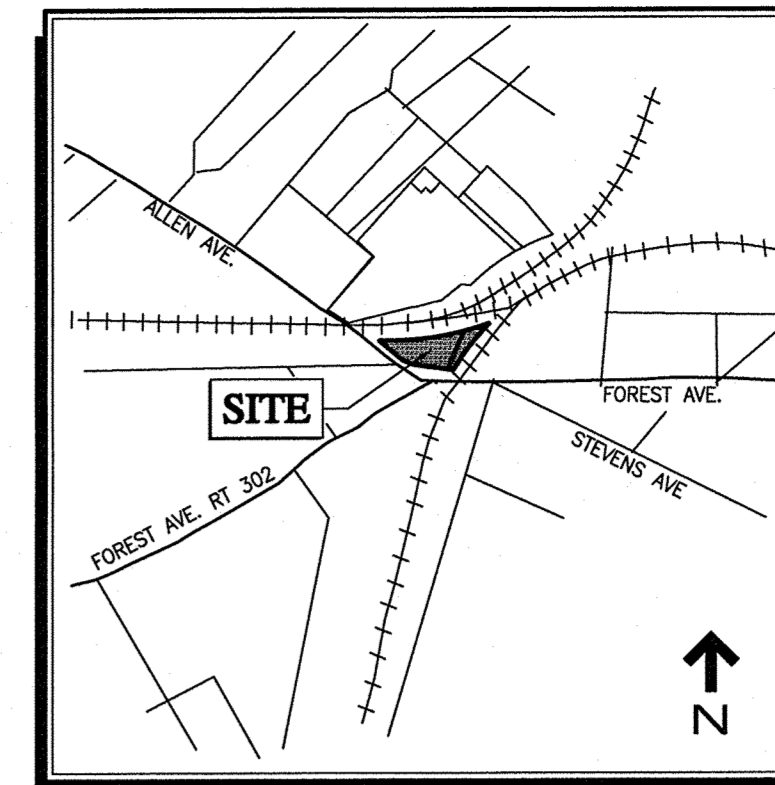
Existing Conditions
Plan of Land



Sheet of 1 2
Project Number 52359.00



Sheet Wednesday, March 02, 2016 6:11:17 PM PLOERTW Plotted Thursday, March 03, 2016 9:31:17 AM Guehrh, Paul



LOCUS MAP (NOT TO SCALE)



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S STONE WALL
TL TREE LINE

Legal Description

REAL PROPERTY IN THE CITY OF PORTLAND, COUNTY OF CUMBERLAND, STATE OF MAINE, DESCRIBED AS FOLLOWS:

FIRST:

A CERTAIN LOT OR PARCEL OF LAND, WITH THE BUILDINGS THEREON, SITUATED AT MORRILL'S CORNER SO-CALLED, IN THE CITY OF PORTLAND, COUNTY OF CUMBERLAND AND STATE OF MAINE, BOUNDED AND DESCRIBED AS FOLLOWS:

WESTERLY BY FOREST AVENUE; NORTHWESTERLY BY ALLEN AVENUE, EASTERLY BY A LINE WHICH FORMERLY MARKED THE WESTERLY LINE OF THE LOCATION OF THE MAINE CENTRAL RAILROAD COMPANY (NOW THE PORTLAND TERMINAL COMPANY); SOUTHWESTERLY BY A LINE WHICH WAS FORMERLY THE NORTHEASTERLY LINE OF THE LOCATION OF THE PORTLAND & ROCHESTER RAILROAD COMPANY (NOW THE LOCATION OF SAID PORTLAND TERMINAL COMPANY).

EXCEPTING FROM THE ABOVE-DESCRIBED PREMISES SUCH PORTION THEREOF AS WAS TAKEN BY VIRTUE OF A NOTICE OF LAYOUT AND TAKING BY THE STATE OF MAINE DEPARTMENT OF TRANSPORTATION, DATED JUNE 26, 2002 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 18020, PAGE 286.

SECOND:

A CERTAIN LOT OR PARCEL OF LAND SITUATED ON THE EASTERLY SIDE OF FOREST AVENUE IN THE CITY OF PORTLAND, COUNTY OF CUMBERLAND AND STATE OF MAINE DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY SIDELINE OF FOREST AVENUE AT THE SOUTHWESTERLY CORNER OF LAND NOW OR FORMERLY OF WOK INN DESCRIBED IN BOOK 6875, PAGE 46;

THENCE N 87° 18' 40" E ALONG LAND OF SAID WOK INN 213.76 FEET TO A POINT;

THENCE SOUTHEASTERLY ACROSS LAND OF PORTLAND TERMINAL COMPANY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1513.12 FEET AND AN ARC LENGTH OF 134.62 FEET TO A POINT 22 FEET FROM AND NORMAL TO BASELINE STATION 138+36.89 FROM VALUATION SECTION 1-B WHICH CURVE HAS A CHORD OF S 43° 30' 16" E AND 134.58 FEET;

THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1273.00 AN ARC DISTANCE OF 303.04 FEET TO A POINT ON THE EASTERLY SIDELINE OF FOREST AVENUE WHICH POINT IS 22 FEET FROM AND NORMAL TO BASELINE STATION 141+34.78 FROM VALUATION SECTION 1-B WHICH CURVE HAS A CHORD OF N 78° 38' 44" W AND 302.35 FEET;

THENCE N 19° 08' 02" W ALONG THE EASTERLY SIDELINE OF FOREST AVENUE 29.70 FEET TO THE POINT OF BEGINNING.

Utility Service Information

GAS SERVICE
BAY STATE GAS COMPANY, RICK BELLEMARE 207-797-8002 X6246
PO BOX 3586
PORTLAND, MAINE 04104

ELECTRIC
CENTRAL MAINE POWER, TOM ATWOOD 207-791-1022
162 CANCO ROAD
PORTLAND, MAINE 04103

WATER
PORTLAND WATER DISTRICT, KEVIN ISHIHARA 207-774-5961 X3072
225 DOUGLASS STREET
PO BOX 3553
PORTLAND, MAINE 04104-3553

PHONE
AT & T, ALICE COUGHLAN 207-879-5050
45 FOREST AVENUE
PORTLAND, MAINE 04101

VERIZON/FAIRPOINT
MARTIN B. PEASE 603-645-3343
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103

CABLE
TIME WARNER, DON JOHNSON 207-253-2291
118 JOHNSON ROAD
PORTLAND, MAINE 04102

Title Notes

REFERENCE SHOULD BE MADE TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE; FILE NO.: NCS-683589-NAS; EFFECTIVE DATE: AUGUST 8, 2014.

SCHEDULE B-2 EXCEPTIONS

- 8 RIGHTS AND EASEMENTS GRANTED TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS SET FORTH IN AN INSTRUMENT FROM COMMUNITY OIL COMPANY, INC., DATED OCTOBER 7, 1955 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 2276, PAGE 291. NOT ABLE TO PLOT.
9 RIGHTS AND EASEMENTS GRANTED TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS SET FORTH IN AN INSTRUMENT FROM FOX & GINN MOVING & STORAGE CO., DATED AUGUST 11, 1969 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 3106, PAGE 592. AS SHOWN ON PLAN.
10 RIGHTS AND EASEMENTS GRANTED TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AS SET FORTH IN AN INSTRUMENT FROM HERBERT E. GINN AND ADAH P. GINN, DATED OCTOBER 29, 1976 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 3943, PAGE 301. AS SHOWN ON PLAN.
11 NOTICE OF LAYOUT AND TAKING BY THE STATE OF MAINE DEPARTMENT OF TRANSPORTATION FOR A PORTION OF STATE HIGHWAY "14" AGAINST WOK INN, ET AL., DATED JUNE 26, 2002 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 18020, PAGE 286 AS DEPICTED ON A PLAN ENTITLED "STATE OF MAINE DEPARTMENT OF TRANSPORTATION STATE HIGHWAY "14" (MORRILLS CORNER)", DATED DECEMBER 2001 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGES 485 AND 486. AS SHOWN ON PLAN.
12 SUCH STATE OF FACTS AS SHOWN ON A PLAN OF TAKING RECORDED IN THE RECORDS OF THE COUNTY COMMISSIONERS FOR THE COUNTY OF CUMBERLAND IN VOLUME 5, PAGE 49, AS REFERENCED IN THE DEED FROM HERBERT E. GINN AND ROBERT E. GINN TO WOK INN, DATED AUGUST 15, 1985 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 6875, PAGE 46. NOT ABLE TO PLOT-PLAN NOT FOUND.
NOTE: SAID PLAN IS NO LONGER LOCATED IN THE OFFICE OF THE COUNTY COMMISSIONERS.
13 TERMS AND CONDITIONS OF A RELEASE DEED FROM PORTLAND TERMINAL COMPANY TO SS MORRILLS, LLC DATED MARCH 24, 2005 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 22477, PAGE 21. AS SHOWN ON PLAN.
14 SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "PLAN OF LAND ON FOREST AVENUE, PORTLAND, MAINE TO BE CONVEYED TO SS MORRILLS, LLC" DATED MARCH 23, 2005 BY OWEN HASKELL, INC. AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 205, PAGE 199. AS SHOWN ON PLAN.
15 MORTGAGE, SECURITY AGREEMENT, ASSIGNMENT OF RIGHTS AND FINANCING STATEMENT FROM BVM PORTLAND, LLC TO BATH SAVINGS INSTITUTION IN THE ORIGINAL PRINCIPAL AMOUNT OF \$500,000.00 DATED MARCH 19, 2014 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 31396, PAGE 325. NOT ABLE TO PLOT.
16 ASSIGNMENT OF LEASES AND RENTS FROM BVM PORTLAND, LLC TO BATH SAVINGS INSTITUTION DATED MARCH 19, 2014 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 31397, PAGE 1. NOT ABLE TO PLOT.

Possible Encroachments

- A GREASE TRAP OVER EASTERLY BOUNDARY LINE 5.5'.
B RAILROAD CROSSING SIGN ON NORTHWESTERLY BOUNDARY 2.2'.
C HIGHWAY ROUTE SIGN ON SOUTHWESTERLY BOUNDARY 1.6'.
D ACCESS FOR RAILROAD ON SECOND PARCEL.

General Notes

- 1. THE OWNER OF RECORD AT THE TIME OF THE SURVEY IS: BVM PORTLAND, LLC BOOK 31396, PAGE 322
2. THE PROPERTY LINES SHOWN WERE DETERMINED BY VHB FROM AN ACTUAL FIELD SURVEY CONDUCTED IN FEBRUARY 2015.
3. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AERIAL MAPPING FROM 2008 SUPPLEMENTED BY AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN FEBRUARY 2015 AND FEBRUARY 2016.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND DESIGN PLANS. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
5. BEARINGS ARE BASED ON MAINE STATE PLANE WEST.
6. THE SITE LIES ENTIRELY WITHIN ZONE X (AREA OUTSIDE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR CITY OF PORTLAND, MAP NUMBER 2300510007C, EFFECTIVE DATE DECEMBER 8, 1998.
7. THE SITE LIES PARTIALLY WITHIN THE INDUSTRIAL-LOW IMPACT ZONING DISTRICT (IL) AND THE BUSINESS COMMUNITY (B2) AS DEFINED BY THE CITY OF PORTLAND ZONING BYLAWS - AS AMENDED JULY 23, 2012. DIMENSIONAL REQUIREMENTS FOR A COM DISTRICT AT THE TIME OF THIS SURVEY ARE AS FOLLOWS:
MINIMUM LOT AREA NONE (IL) NONE (B2)
MINIMUM LOT FRONTAGE 100 FEET 20 FEET
MINIMUM FRONT YARD SETBACK 25 FEET NONE
MINIMUM SIDE YARD SETBACK 25 FEET NONE*
MINIMUM REAR YARD SETBACK 25 FEET 10 FEET*
MAXIMUM BUILDING HEIGHT 45 FEET 45 FEET
* 5 FEET FOR ACCESSORY STRUCTURES
8. 49 PAINTED PARKING SPACES WERE OBSERVED ON LOT 1.
9. CONTOURS AND SPOT ELEVATIONS SHOWN ARE BASED UPON N.A.V.D. 1988.
10. NO WETLANDS WERE OBSERVED ON SITE.
11. MANHOLE INVERT ELEVATIONS ARE ANNOTATED IN A CLOCKWISE DIRECTION, ENDING WITH THE INVERT OUT.
12. NO CEMETERIES WERE OBSERVED ON SITE.
13. NO EVIDENCE OF CURRENT EARTHWORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED AT THE TIME OF THIS SURVEY.

Table with 4 columns: No., Revision, Date, Apprd. (Empty rows)

Table with 4 columns: No., Revision, Date, Apprd. (1 SURVEYED SNOW OBSCURED AREAS 2/22/16 GE)

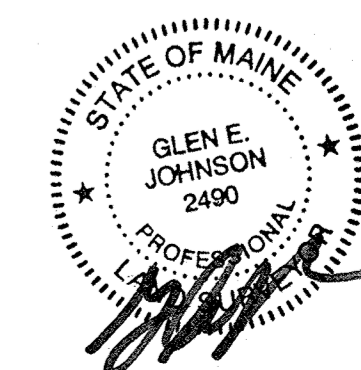
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Plan of Land - Notes



Drawing Number
Sv-2
Sheet 2 of 2
Project Number
52359.00

3/4/2016 DATE
GLEN E. JOHNSON #2490