Location of Construction:	Owner:		Phone:	Permit No: 99022 1
11 Cambridge St	Herbert D.Ca:		878-5702	390261
Owner Address: SAA	Lessee/Buyer's Name:	Phone:	BusinessName:	PERMIT ISSUED
Contractor Name:	Address:	Phone:		Permit Issued:
John Swiger	P.O. Box 8285 Ptld 04		**797–2882	
Past Use:	Proposed Use:	COST OF WORK:		- <b>MR 1 7</b> 1999
		\$ 6,000	\$ 50.00	
Single Family	Same w/detached garage	FIRE DEPT.  Ap	proved INSPECTION:	CITY OF PORTLAND
		Der		
		Signature:	BOCA 96 Signature: Horker.	Zone/ CBL: R-S/IL 151A-A-010 4/
Proposed Project Description:			TIVITIES DISTRICT (7.A.D.)	Zoring Approval:
			proved	0/ 3/16/19
		1	proved with Conditions:	
Construct detached gara	¢ρ	Denied		
construct detached Bara	80			Flood Zone Fre
		Signature:	Date:	□ Subdivision
Permit Taken By:	Date Applied For:			
SP	Marc	ch 15, 1999		Zoning Appeal
1. This permit application does not preclude the	□ Variance			
	11 ··· ·· ·· ·· ·· ··· ··· ··· ··· ······			☐ Miscellaneous
2. Building permits do not include plumbing, s	Conditional Use			
3. Building permits are void if work is not starte		nce. False informa-		□ Interpretation
tion may invalidate a building permit and sto	□ Approved □ Denied			
Call 797-2882 for p/u				Historic Preservation
-	던Not in District or Landmark			
				Does Not Require Review
				Requires Review
				Action:
I hereby certify that I am the owner of record of th				
authorized by the owner to make this application				
if a permit for work described in the application is				
areas covered by such permit at any reasonable h	Date:			
SIGNATURE OF APPLICANT	ADDRESS:	March 15, 199 DATE:	PHONE:	-
		·	PHONE:	- 2
<b>RESPONSIBLE PERSON IN CHARGE OF WOR</b>				
White-P	ermit Desk Green–Assessor's Canar	y–D.P.W. Pink–Publi	c File Ivory Card-Inspector	

## City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

White–Permit Desk Green–Assessor's Canary–D.P.W. Pink–Public File Ivory Card–Inspector

COMMENTS 18/99 - Checked framing w/owner - need proper headers over doors, need triss spees. Mostly framed-went over w/owner. . **Inspection Record** Type Date Foundation: Framing: Plumbing: Final: Other:

### THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE

### PERMIT IS ISSUED

### Building or Use Permit Pre-Application

### Additions/Alterations/Accessory Structures

### To Detached Single Family Dwelling

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

# NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the \_\_\_\_\_\_ City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction ! [ Cambri	dge ST.						
Tax Assessor's Charl, Block & Lot Number Charl# 15/17 Block# 17 Lot#010	Owner: Herbert Di Cait	Telephone#: 207-878-5702					
Owner's Address: - Same-	Lessee/Buyer's Name (If Applicable) $\frac{1}{N/A}$	Cost Of Work. Fee \$ 6000.00 \$50					
Proposed Project Description: (Please be as specific as possible) Build Two Car Garage at 11 cameridge St. Size 26 × 26							
Contractor's Name. Address & Telephone Sk John J. Swiger P.O. Box 8.	Tel: 797-2882 R 285 Autland Me. 04104	ec'd By:					

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation. •All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.

•All plumbing must be conducted in compliance with the State of Maine Plumbing Code.

•All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III. •HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code. You must Include the following with you application:

### 1) A Copy of Your Deed or Purchase and Sale Agreement - Y es

2) A Copy of your Construction Contract, if available - NONE at this time -

MAR 1 5 1999

2.

### 3) A Plot Plan (Sample Attached) - yes

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot. all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and root overliants as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

### 4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction

- Cross Sections w/Framing details (including porches. decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment. HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Terbert	Cail	Date: 03-12-99
			£1,000,00

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter. O:UNSP/CORRESP/MNUGENT/APADSFD.WPD

Call for P/U 797-2882

BUILDING PERMIT REPORT								
	DATE: 17/mar/99 ADDRESS: 11 Cambridge STCBL: 151A - A-010-5011							
	REASON FOR PERMIT: TO CONSTRUCT a detaghed garage.							
	BUILDING OWNER: Herbort D. Cail							
	PERMIT APPLICANT:							
	Use group boca 1996 construction type $5B$							
	<u>CONDITION(S) OF APPROVAL</u>							
	This permit is being issued with the understanding that the following conditions are met:							
	Approved with the following conditions: <u>*1, *2, *4, *6, *27, *29, *32, *34, *35</u> *							
XX								
Å								
	<ul> <li>(A 24 hour notice is required prior to inspection)</li> <li>Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than</li> </ul>							
	10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the							
	footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the							
	top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter							
	membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be							
	placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2							
Å	4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and							
	a maximum 6' o.c. between bolts. (Section 2305.17)							
	5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.							
X	<ul> <li>6. Precaution must be taken to protect concrete from freezing. Section 1908.0</li> <li>7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify</li> </ul>							
	that the proper setbacks are maintained.							
	8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent							
	interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private							
	garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the							
	garage side. (Chapter 4, Section 407.0 of the BOCA/1996)							
	<ol> <li>All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National</li> </ol>							
	Mechanical Code/1993). Chapter 12 & NFPA 211							
	10. Sound transmission control in residential building shall be done in accordance with Chapter 12. Section 1214.0 of the City's Building Code.							
	11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces							
	for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Usc							
	Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open							
	parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but							
	not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section							
	with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of							
	stairway. (Section 1014.7)							
	<ol> <li>Headroom in habitable space is a minimum of 76". (Section 1204.0)</li> <li>Stair construction in Use Group R-3 &amp; R-4is a minimum of 10" tread and 7 <u>¼</u>" maximum rise. All other Use Group minimum 11"</li> </ol>							
	tread. 7" maximum rise. (Section 1014.0)							
	14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4							
	15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door							
	approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separat							
tools. Where windows are provided as <u>means of egress or rescue</u> they shall have a sill height not more than 44 inches (1118r the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24								
	(610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.							
	(Section 1018.6)							

- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)

- 18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.

- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
- 24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 28. All requirements must be met before a final Certificate of Occupancy is issued.
- A29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
  - Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements.
- X32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.

Glass and glazing shall meet the requirements of Chapter 24 of the building code, 33. PrefabricaTed a design professoard NOT ★ 34. 1he proposed Thusses are

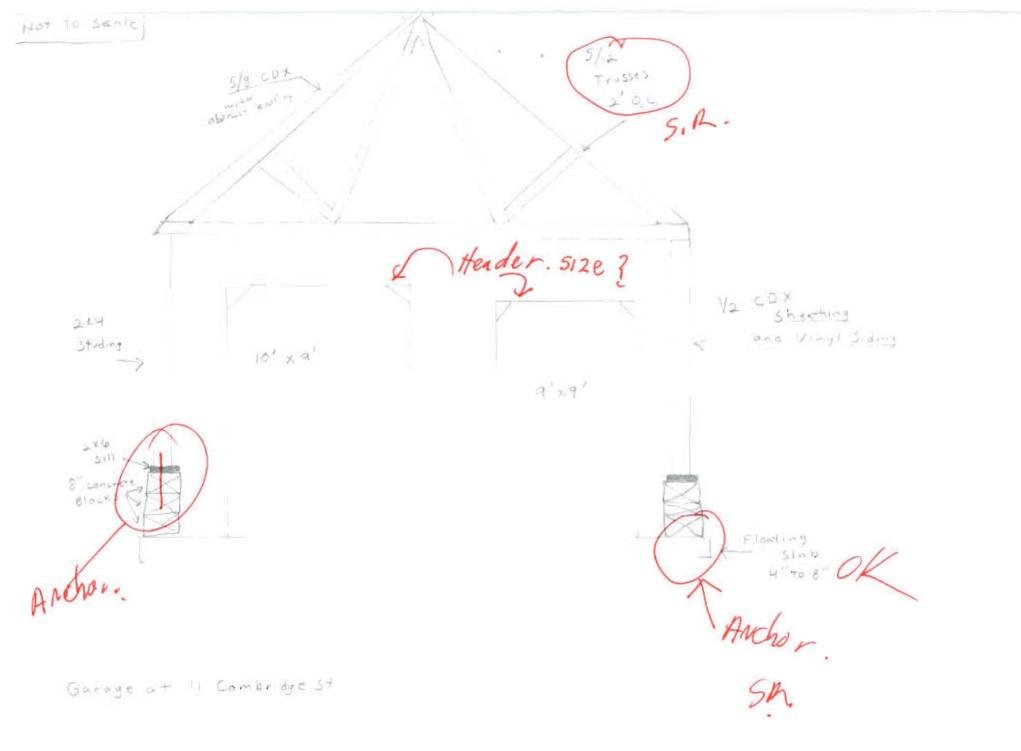
The stah and The 2x6" Sill.

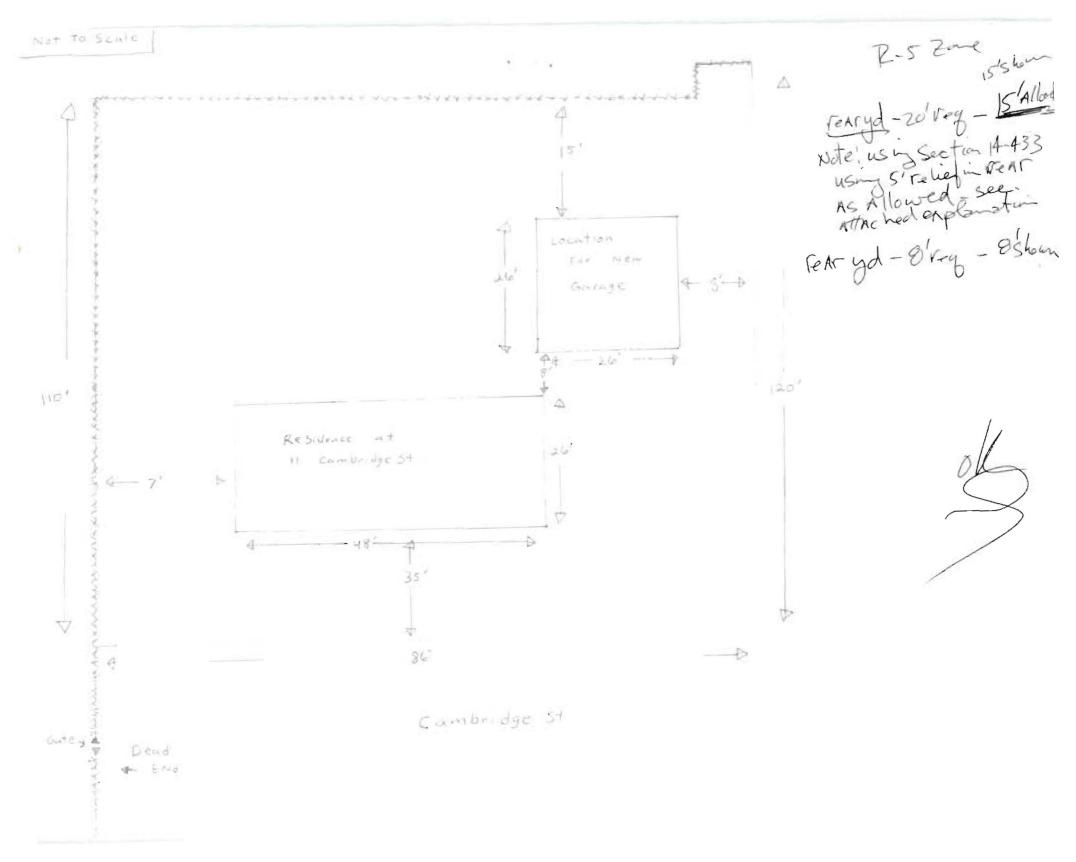
Stamp The design of The Trusse To 8" Concrete block must be anchored \$35.

36. P. Sander Hurlses, Building Inspector cc: Kt. McDougall, PFD Marge Schmuckal, Zoning Administrator

PSH 12-14-98

# \*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.





TAMMy 6/30/99 Hi. I Hope this is what you needed. If Not Just Call again and I will see what I can Find out. (This is all I recieved From wood structures) The pitch is a standard 5/12

This is From John J. Swiger at 11 Combridge St. Garage. Tel: 797-2882 Thanks





This safety alert symbol is used to attract your attention! PERSONAL SAFETY IS INVOLVED! When you see this symbol - BECOME ALERT - HEED ITS MESSAGE.



CAUTION: A CAUTION identifies safe operating practices or indicates unsafe conditions that could result in personal injury or damage to structures.

## HIB-91 Summary Sheet COMMENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES ©

It is the responsibility of the installer (builder, building contractor, licensed contractor, erector or erection contractor) to properly receive, unload, store, handle, install and brace metal plate connected wood trusses to protect life and property. The installer must exercise the same high degree of safety awareness as with any other structural material. TPI does not intend these recommendations to be interpreted as superior to the project Architect's or Engineer's design specification for handling, installing and bracing wood trusses for a particular roof or floor. These recommendations are based upon the collective experience of leading technical personnel in the wood



CAUTION: The builder, building contractor, licensed contractor, erector or erection contractor is advised to obtain and read the entire booklet "Commentary and Recommendations for Handling, Installing & Bracing Metal Plate Connected Wood Trusses, HIB-91" from the Truss Plate Institute.



DANGER: A DANGER designates a condition where failure to follow instructions or heed warning will most likely result in serious personal injury or death or damage to structures.

WARNING: A WARNING describes a condition where failure to follow instructions could result in severe personal injury or damage to structures.

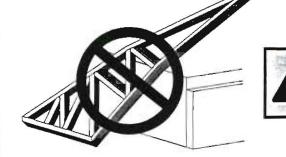


truss industry, but must, due to the nature of responsibilities involved, be presented as a guide for the use of a qualified building designer or installer. Thus, the Truss Plate Institute, Inc. expressly disclaims any responsibility for damages ansing from the use, application or reliance on the recommendations and information contained herein by building designers, installers, and others. Copyright © by Truss Plate Institute, Inc. All rights reserved. This document or any part thereof must not be reproduced in any form without written permission of the publisher. Printed in the United States of America.



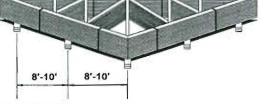
114.4.P

CAUTION: All temporary bracing should be no less than 2x4 grade marked lumber. All connections should be made with minimum of 2-16d nails. All trusses assumed 2' on-center or less. All multi-ply trusses should be connected together in accordance with design drawings prior to installation.



TRUSS STORAGE

CAUTION: Trusses should not be unloaded on rough terrain or uneven surfaces which could cause damage to the truss.



CAUTION: Trusses stored horizontally should be supported on blocking to prevent excessive lateral pending and lessen moisture gain.

WARNING: Do not break banding until installation. begins. Care should be exercised in banding removal to avoid shifting of individual trusses.

WARNING: Do not lift bundled trusses by the bands. Do not use damaged trusses.

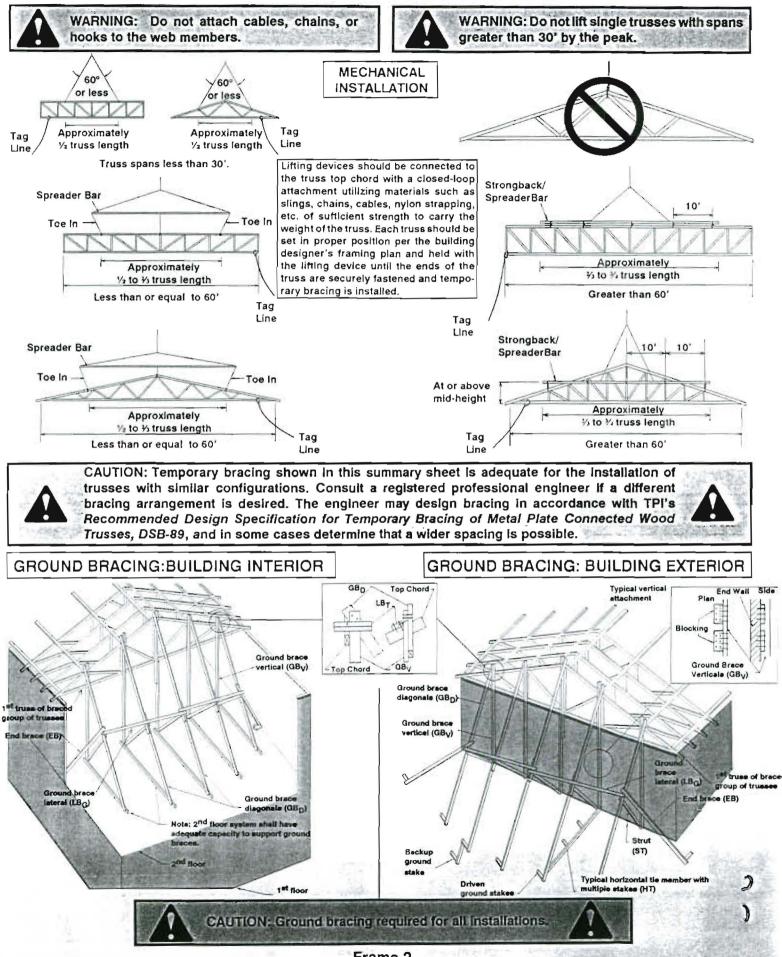
CAUTION: Trusses stored vertically should be braced to prevent toppling or tipping.



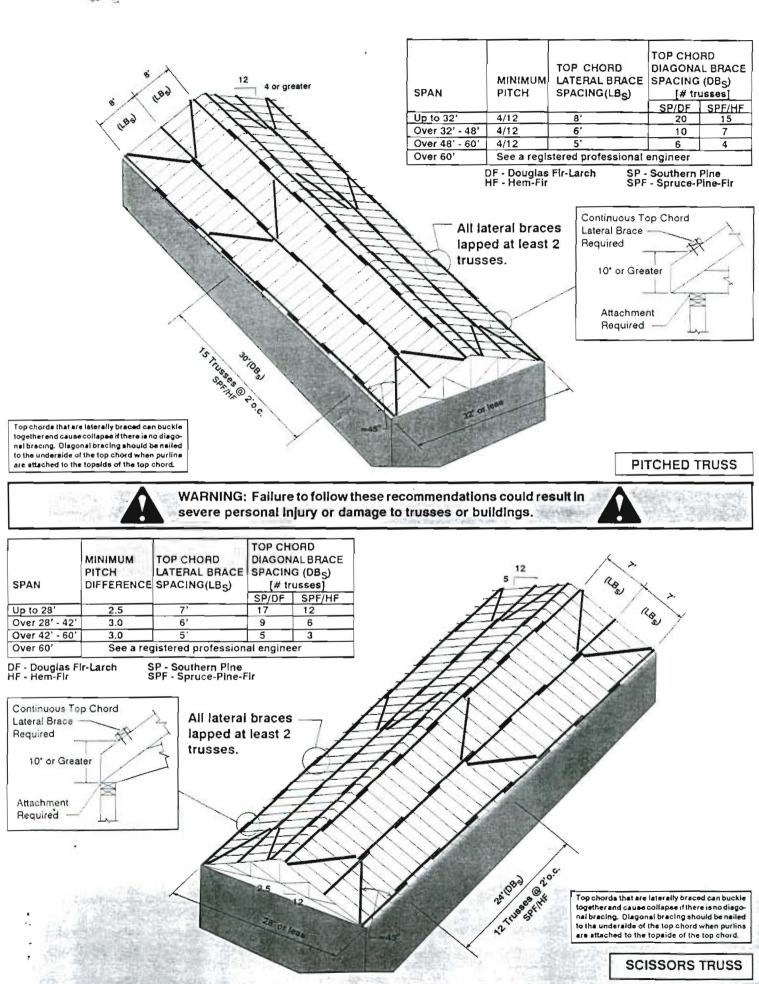
DANGER: Do not store bundles upright unless properly braced. Do not break bands until bundles are placed in a stable horizontal position.

DANGER: Walking on trusses which are lying flat is extremely dangerous and should be strictly prohibited.

Frame 1



Frame 2



Frame 3

