

Marge Schmuckal - Re: 11 Cambridge Street

From: Marge Schmuckal
To: Alex Jaegerman; Lori Cail
Date: 9/30/2010 12:09 PM
Subject: Re: 11 Cambridge Street

151A-A-(10)-119,009

Alex,

There is a copy of a permit that was issued as a single family dwelling on Nov. 10, 1987. I also have a copy of a certificate of occupancy dated 1/12/94. All the copies of the zoning maps that I have seen a) one revised to 1984, b) one revised up to 1993 and c) one revised thru 2/1/01 just before our GIS mapping show the same thing. The lot is split between R-5 Zone and an Industrial Zone. The problem with the old maps is the line that delineates a zone line is very thick in size and takes up one of the described lots that makes up this parcel.

I am not sure that this adds any more light on the matter....
Marge

>>> Alex Jaegerman 9/29/2010 4:41 PM >>>
Mr. and Mrs. Cail

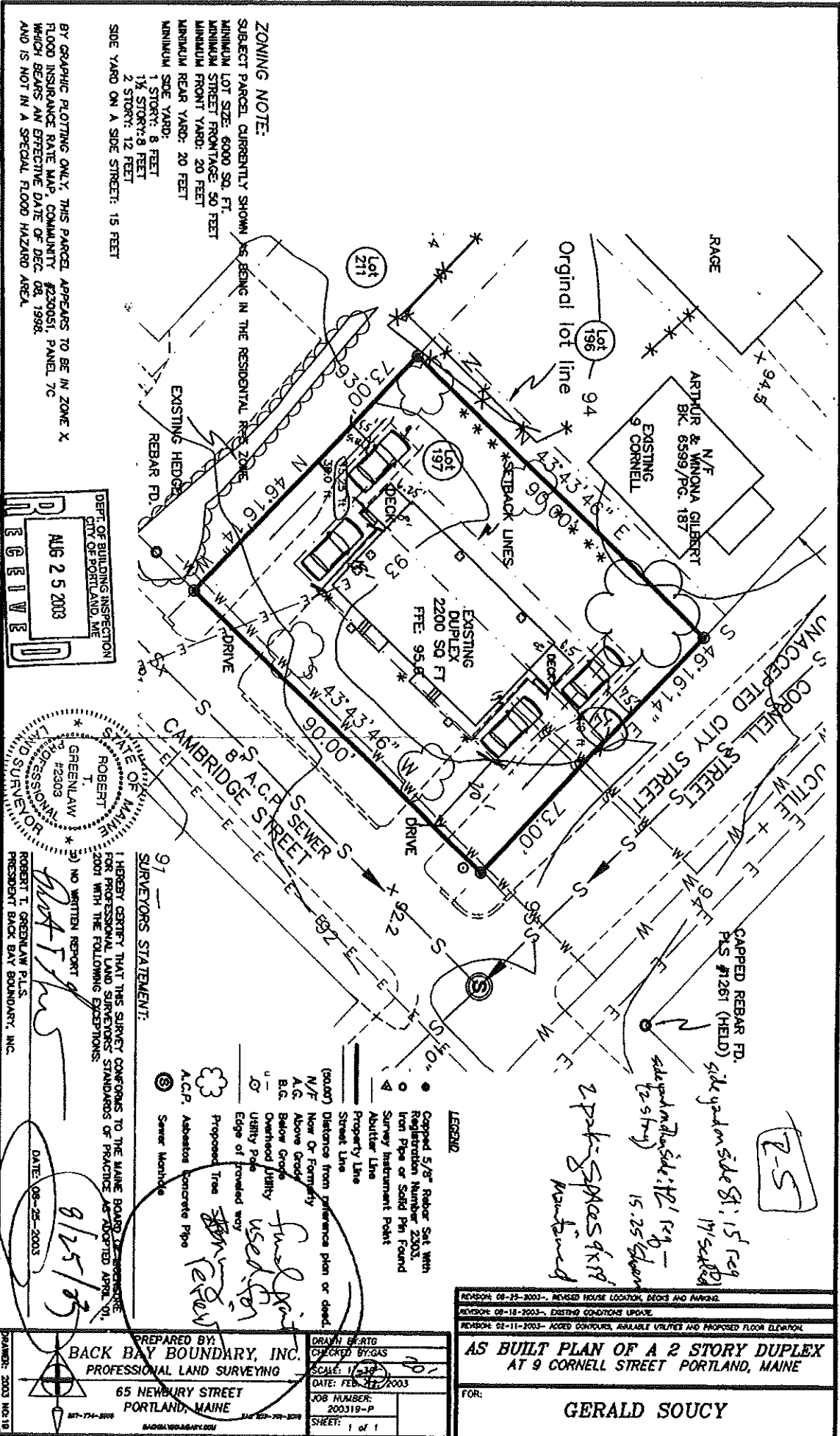
Thanks for the material. It appears to me from the material that the property was described as R-5 back in 1987, but all of our maps show it as I-2 back then, and IL now. I've asked Marge Schmuckal to research the building permit to see if that sheds any light on the subject, and what your options are if it is indeed an IL zone.

Alex Jaegerman

Alexander Jaegerman, AICP
Planning Division Director
389 Congress Street, Suite 400
Portland, ME 04101

Phone: (207)874-8724

>>> Lori Cail <loricail@live.com> 9/29/2010 2:30 PM >>>
Attached please find the paperwork we have on the property.
Thanks for your help,
Lori & Herbert Cail
899-2860



ZONING NOTE:
 SUBJECT PARCEL CURRENTLY SHOWN AS BEING IN THE RESIDENTIAL REAR ZONE.
 MINIMUM LOT SIZE: 6000 SQ. FT.
 MINIMUM STREET FRONTAGE: 50 FEET
 MINIMUM FRONT YARD: 20 FEET
 MINIMUM REAR YARD: 20 FEET
 MINIMUM SIDE YARD:
 1. STORY: 8 FEET
 1 1/2 STORY: 9 FEET
 2. STORY: 12 FEET
 SIDE YARD ON A SIDE STREET: 15 FEET

BY GRAPHIC PLOTTING ONLY, THIS PARCEL APPEARS TO BE IN ZONE X
 FLOOD INSURANCE RATE MAP, COMMUNITY #230051, PANEL 7C
 WHICH BEARS AN EFFECTIVE DATE OF DEC. 02, 1998.
 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
RECEIVED
 AUG 25 2003

STATE OF MAINE
 PROFESSIONAL LAND SURVEYOR
 ROBERT T. GREENLAW #2303

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE AS ADOPTED APRIL 20, 2001 WITH THE FOLLOWING EXCEPTIONS:
 (1) NO WRITTEN REPORT
 ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.

DATE: 08-25-2003
 8/25/03

SURVEYORS STATEMENT:
 I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE AS ADOPTED APRIL 20, 2001 WITH THE FOLLOWING EXCEPTIONS:
 (1) NO WRITTEN REPORT
 ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.

- LEGEND:**
- Capped 5/8" Rebar Set with Registration Number 2303, Iron Pipe or Solid Pin Found
 - Survey Instrument Point
 - ▲ Abutment Line
 - Property Line
 - Street Line
 - (solid) Distance from preference plan or deed
 - N/F Now Or Formerly
 - A.G. Above Grade
 - B.G. Below Grade
 - Overhead Utility
 - Utility Pole
 - Edge of paved way
 - Proposed Tree
 - A.C.P. Asbestos Concrete Pipe
 - ⊙ Sewer Manhole
- Handwritten notes:*
 futility used for
 2 parking spaces for 19
 side yard on side St. 15' req
 17' setback
 15.25' shown
 2-2-19

REVISION: 08-25-2003 - REVISED HOUSE LOCATION, DECKS AND PORCH.
REVISION: 08-18-2003 - EXISTING CONDITIONS UPDATE.
REVISION: 02-11-2003 - ADDED CONTOURS, AVAILABLE UTILITIES AND PROPOSED FLOOR ELEVATION.
AS BUILT PLAN OF A 2 STORY DUPLEX AT 9 CORNELL STREET PORTLAND, MAINE
FOR: GERALD SOUCY

PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 877-774-8995
 BABA@BAYBOUNDARY.COM

DRAWN BY: RTG
 CHECKED BY: GAS
 SCALE: 1/4" = 1'-0"
 DATE: FEB 21, 2003
 JOB NUMBER: 200319-P
 SHEET: 1 of 1

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

October 14, 1994

Julie and Andrew DeRice
Jandie Corporation
2 Flintlock Road
Falmouth, ME 04105

Re: 9-11 Cambridge Street/Cornell Street

Dear Julie and Andy:

On October 14, 1994, the Portland Planning Authority granted minor site plan approval for construction of a 26' x 36' duplex located off Cambridge Street and Cornell Street. The approval is subject to conditions indicated on the attached site plan and attached check list.

If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before a building permit can be issued.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

If there are any questions, please contact the Planning Staff.

Sincerely,


Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
~~E. Samuel Hoffmann~~, Chief of Building Inspections
William Giroux, Zoning Administrator
George Flaherty, Director of Environmental/Intergovernmental Services
Kathy Staples, Project Engineer, Parks and Public Works
Owens McCullough, P.E., Acting Development Review Coordinator
William Bray, Deputy Director of Public Works
Jeff Taxling, City Arborist
Paul Niehoff, Materials Engineer
Natalie Burns, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Approval Letter File

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: JANDIE CORPORATION
ADDRESS: 2 FLINTLOCK RD FALMOUTH, ME. 0455
SITE ADDRESS/LOCATION: 7-11 CAMBRIDGE ST
DATE: 10/14/94

Review by the Development Review Coordinator is for general conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to not increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

✓
✓
✓
✓
✓

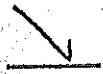
All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a certificate of occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy. SEE ATTACHED SITE PLAN FOR PLANTING REQUIREMENTS

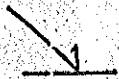
Your new street address is now 9-11 Cambridge St. the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300, ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

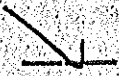
A sewer permit is required for your project. Please notify Paul Niehoff at 874-8300, ext. 8838. The Sewer Division of Parks and Public Works (Jackie Wurslin at 797-5302) must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.



As-built record information for sewer and storm service connections must be submitted to Parks and Public Works engineering Division (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.



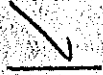
A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)



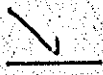
The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvement as necessary due to field conditions.



The site contractor shall establish finish grades at the building foundation to provide positive drainage. Finish grades at front of foundation (street side) shall be set above finish street/curb elevation to provide positive drainage.



The Development Review Coordinator (874-8300, ext. 8722) must be notified at the time the building foundation is completed to perform an inspection.



SEE ATTACHED SITE PLAN FOR
ADDITIONAL CONSTRUCTION REQUIREMENTS

cc: Paul Niehoff, Materials Engineer

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Jandis Corporation Date: 21 Sept. 94

Applicant: Jandis Corporation Falmouth, ME 04105 211 Cambridge St/Cornell Bldg Portland, ME 04102/010

Mailing Address: 211 Cambridge St/Cornell Bldg Portland, ME 04102/010

Address of Proposed Site: 211 Cambridge St/Cornell Bldg Portland, ME 04102/010

Proposed Use of Site: Office 936 sq ft **Site Identifier(s) from Assessors Maps:** _____

Acres of Site: 0.130 **Ground Floor Coverage:** 936 sq ft **Zoning of Proposed Site:** _____

Site Location Review (DEP) Required: () Yes () No **Proposed Number of Floors:** 2

Board of Appeals Action Required: () Yes () No **Total Floor Area:** 1,872 sq ft

Planning Board Action Required: () Yes () No

Other Comments: Street numbers assigned by Jim Reinhart DR

Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN PLANNING	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LEGITIMACY	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	X	X			X	X	X	X	X	X		
APPROVED CONDITIONALLY			X	X							X	X
DISAPPROVED												

CONDITIONS SPECIFIED BELOW _____

REASONS SPECIFIED BELOW _____

REASONS: The site plan has been approved conditionally. The conditions are contained in the Oct. 14, 1994 letter of approval from Joseph Gray, Dir. of Planning + Urban Development. (Letter is attached.)

(Attach Separate Sheet, if Necessary)

Barbara Bahndt 10/18/94
SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

Applicant: Jandic Corp.
Address: 9-11 Cambridge St.
Assessor's No.: 151-C-009/010

Date: 17/Oct/94

CHECK LIST AGAINST ZONING ORDINANCE

Date - 17/Oct
Zone Location - R-5
Interior or corner lot - ~~INTERIOR~~
Use - Duplex Dwelling
Sewage Disposal - Public
Rear Yards - 20' req. - 25' shown
Side Yards - 12' req. 19.5' shown
Front Yards - 20' req. 25' shown
Projections - -
Height - 2 story
Lot Area - 6000
Building Area - 936
Area per Family - *OK*
Width of Lot - 76'
Lot Frontage - 75' shown
Off-street Parking - OK
Loading Bays - N/A
Site Plan - OK
Shoreland Zoning - N/A
Flood Plains - N/A

90

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 9-11 Cambridge St/12 Cornell St Owner: Jandje Corporation Phone: _____
 Owner Address: _____ Leased/Buyer's Name: _____ Phone: _____
 Contractor Name: Jandje Corporation Address: 2 Flintlock Ln Phone: 797-9534
 Pas Use: _____ Proposed Use: _____ COST OF WORK: \$ 200 PERMIT FEE: \$ 25.00

1-fam _____ VACANT _____ FINE DEPT. Approved Denied INSPECTION: _____
 Proposed Project Description: _____ Signature: [Signature] Use Group: DETC
 Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (PADD): _____
 Action: Approved Denied Approved with Conditions Denied

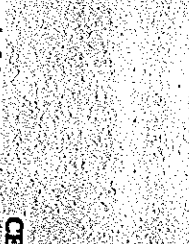
1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. Signature: _____ Date: _____
 2. Building permits do not include plumbing, septic or electrical work.
 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Pick-Up Truck _____
 Permit # 941059
 Date Issued: SEP 3 0 1994
 CITY OF PORTLAND
 Name: _____ CBL: _____
 Zoning Approval: _____
 Special Zoning or Reviews: _____
 Wetland Flood Zone Subdivision Site Plan Other _____
 Zoning: Zoning 3 - local
 Variance Miscellaneous Conditional Use Interpretation Approved Denied

18499 - Reservation _____
 North of 11th or Landmark Does Not Require Review Requires Review
 Action: Approved Approved with Conditions Denied

Signature: _____ AND DATE: 29 Sept 94 ADDRESS: _____ PHONE: _____
 RESPONSIBLE PERSON IN CHARGE OF WORK TITLE: [Signature] PHONE: _____

White-Permit Desk Green-Assessor's Canary-DPW, Plak-Public File Ivory Card-Inspector
 I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as this authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, any work covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

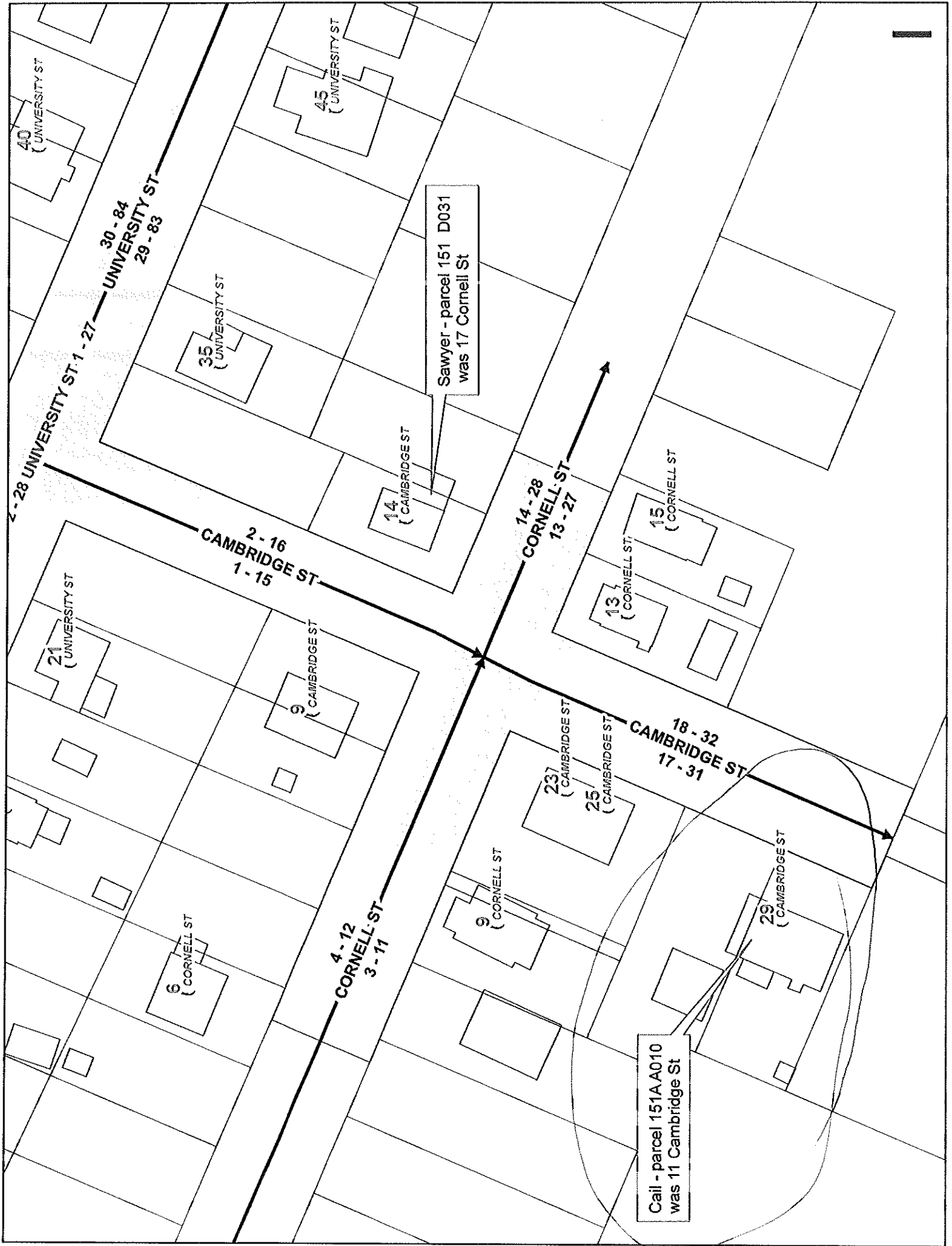


CERTIFICATION
 SIGNATURE OF APPLICANT AND DATE: _____ ADDRESS: _____ PHONE: _____
 RESPONSIBLE PERSON IN CHARGE OF WORK TITLE: _____ PHONE: _____

CEO DISTRICT 6
[Signature]

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 11 Cambridge St Owner Address: SAA	Owner: Herbert D. Caill Lessee/Buyer's Name:	Phone: 878-5702 Business Name:	Permit No: 990221 <div style="border: 1px solid black; padding: 5px; display: inline-block;"> PERMIT ISSUED MAR 17 1999 </div>
Contractor Name: John Swiger Past Use: Single Family	Address: P.O. Box 8285 Portland 04104 Proposed Use: Same w/detached garage	Phone: **797-2882 COST OF WORK: \$ 6,000 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: U Type: 5B Signature: <i>[Signature]</i>	CITY OF PORTLAND
Proposed Project Description: Construct detached garage		Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: _____ Date: _____	Zone: <i>RS-1</i> CBL: 151A-A-0104 Zoning Approval: <i>3/16/99</i> Special Zone of Reviews: <input type="checkbox"/> Shoreland NA <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor Dmm <input type="checkbox"/>
Permit Taken By: SP Date Applied For: March 15, 1999		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.			
Call 797-2882 for p/u			
CERTIFICATION I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit			
SIGNATURE OF APPLICANT _____		ADDRESS: _____ PHONE: _____ DATE: March 15, 1999	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____		ACTION: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>	
White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector		CEO DISTRICT 2	



40
(UNIVERSITY ST

30 - 84
29 - 83
UNIVERSITY ST

45
(UNIVERSITY ST

35
(UNIVERSITY ST

Sawyer - parcel 151 D031
was 17 Cornell St

14
(CAMBRIDGE ST

14 - 28
13 - 27
CORNELL ST

15
(CORNELL ST

13
(CORNELL ST

2 - 16
1 - 15
CAMBRIDGE ST

21
(UNIVERSITY ST

9
(CAMBRIDGE ST

18 - 32
17 - 31
CAMBRIDGE ST

23
(CAMBRIDGE ST

25
(CAMBRIDGE ST

4 - 12
3 - 11
CORNELL ST

6
(CORNELL ST

9
(CORNELL ST

29
(CAMBRIDGE ST

Cail - parcel 151A A010
was 11 Cambridge St

Map



Parcels	Shoreland Overlay Zone	Zoning (continued)	Zoning (continued)
Parcels	Stream Overlay Zone	OP Office Park	C23
Interstate	Stream_protection	R1 Residential	C24
Streets	Island Zoning	R2 Residential	C25
Buildings	C43	R3 Residential	C26
	I-B	R4 Residential	C27
	I-TS	R5 Residential	C28
		R6 Residential	C29

Assessor's Office | 359 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8456

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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

CBL 151A A010001
Land Use Type SINGLE FAMILY
Property Location 29 CAMBRIDGE ST
Owner Information CAIL HERBERT D
 11 CAMBRIDGE ST
 PORTLAND ME 04103
Book and Page 12953/2
Legal Description 151A-A-10-11
 CAMBRIDGE ST 29
Acres 0.228

Current Assessed Valuation:

TAX ACCT NO.	21758	OWNER OF RECORD AS OF APRIL 2010
		CAIL HERBERT D
LAND VALUE	\$65,400.00	11 CAMBRIDGE ST
BUILDING VALUE	\$125,300.00	PORTLAND ME 04103
HOMESTEAD EXEMPTION	(\$10,000.00)	
NET TAXABLE - REAL ESTATE	\$180,700.00	
TAX AMOUNT	\$3,238.14	

[browse city services a-z](#)

[browse facts and links a-z](#)



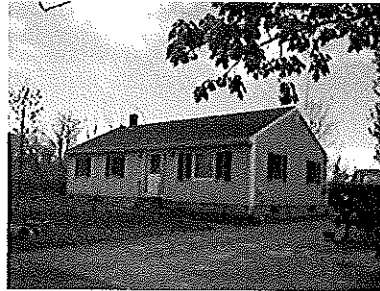
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Card 1 of 1

Year Built 1989
Style/Structure Type RANCH
Stories 1
Bedrooms 3
Full Baths 1
Total Rooms 6
Attic NONE
Basement FULL
Square Feet 1248

[View Sketch](#) [View Map](#) [View Picture](#)



Best viewed at 800x600, with Internet Explorer

Outbuildings/Yard Improvements:

Card 1

Year Built 1999
Structure GARAGE-WD/CB
Size 26X26
Units 1
Grade C
Condition A

Sales Information:

Sale Date	Type	Price	Book/Page
2/20/1997	LAND + BUILDING	\$0.00	12953/2

[New Search](#)

Marge Schmuckal - Fwd: 11 Cambridge Street

From: Alex Jaegerman
To: Marge Schmuckal
Date: 9/29/2010 4:38 PM
Subject: Fwd: 11 Cambridge Street
CC: Barbara Barhydt; Penny St. Louis Littell
Attachments: scan0002.jpg; scan0003.jpg; scan0004.jpg; scan0007.jpg; scan0008.jpg

Marge:

These folks are trying to sell their house they built between 1987 and 1994 at the end of Cambridge Street, north side. Chart 151A - A - 10,11

They must have received a building permit sometime around 1987 for this lot, which was described in correspondence (see attachments) as an R-5 zone. The zoning map shows these lots as IL zone. Their broker has told them that buyers cannot obtain financing due to the zoning classification.

On the phone, Ms. Cail indicated to me that she believes they received a rezone from the City Council to R-5, sometime between 1987 and 1990, however the correspondence seems to indicate that it was already believed to be R-5 in 1987.

Can you research the building permit records for this property to see what zone it was in when the permit was issued? If the zoning map is in error, we can correct it, if we can document the error. I think it was zoned I-2 back then and made IL in around 1994. In 2004 the adjacent property was zoned C-36 as the Morrill's Crossing project, but this parcel shows on that map as a remaining sliver of IL.

I would be interested in the building permit for the house. If it was I-2, then the permit might not have been able to issue. If the permit was issued in error, where does that leave them? Are they lawfully nonconforming? If so, can the City provide them a letter saying the house is lawfully nonconforming, if that would help them sell the house?

It might be that they need to request rezoning to R-5.

Alex.

Alexander Jaegerman, AICP
Planning Division Director
389 Congress Street, Suite 400
Portland, ME 04101

Phone: (207)874-8724

>>> Lori Cail <loricail@live.com> 9/29/2010 2:30 PM >>>
Attached please find the paperwork we have on the property.
Thanks for your help,
Lori & Herbert Cail
899-2860



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

Cambridge Street

August 19, 1987

Mr. Herbert Cail
86 Wainwright Circle East
South Portland, Maine 04106

Dear Mr. Cail:

This is in reference to your application for a building permit for a single family dwelling on Cambridge Street in the City of Portland. The site plan submitted does not meet the requirements of the City Public Works Department. It is therefore unacceptable due to the following details:

1. Name and address of the applicant were omitted.
2. A boundary survey of the lot and site plan prepared by a registered land surveyor was not provided.
3. Scale and north arrow not shown.
4. Location, dimensions and first floor elevation not indicated.
5. Location and dimensions of driveway(s) and parking area not shown.
6. Location and size of both existing utilities in the street and proposed utilities serving the building not indicated.
7. Location of areas on site which will be used to dispose of surface water drainage and related facilities not shown.
8. Existing and proposed contours (based on mean sea level datum). Except where Public Works has determined that lesser detail would be required. Section 1-526 -C-1-g)

Please have a revised site plan prepared by a registered land surveyor. What arrangements are being made to connect to the public sewer?

Sincerely,

Warren J. Turner
Zoning Enforcement Inspector

cc: P. Samuel Hoffses, Chief, Inspection Services
Fred Williams, Code Enforcement Officer



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION: 11 Cambridge St. 151A 010 001

Issued to: Herbert Call

Date of Issue: 1/12/04

This is to certify that the building, premises, or part thereof, at the above location, built or altered or changed as to use under Building Permit No. 877144 (has had final inspection) has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

antenna

single-family dwelling

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

1/12/04
(Date)

[Signature]
Inspector

[Signature]
Director of Building

Notice: This certificate form, any permits, and plans to be transferred from owner to owner when property changes hands. Copy will be furnished at cost of three dollars.

MIT # 1946 **PORTLAND BUILDING PERMIT APPLICATION** DATE 6/7/87

PERMIT ISSUED

NOV 10 1987

City of Portland

I. GENERAL INFORMATION

Location/address of construction Caribou Street
 1. Owner's name Robert Call Tel. 773-8633
 Address 26 Washington Circle East, So. Portland 04106
 2. Lessor's name _____ Tel. _____
 Address _____
 3. Contractor's name Owner Tel. _____
 Address _____
 4. Is this a legally recorded lot? yes _____ no _____

II. DESCRIPTION OF WORK:

addor site plan to construct single family dwelling 48' x 28'

III. BUILDING DIMENSIONS: length _____ width _____ square footage _____ height _____ #stories _____

IV. ZONE _____ Street frontage _____ Zoning board approval no yes date _____
 Setbacks: front _____ back _____ side _____ Planning board approval no yes date _____

V. REVIEW REQUIRED: variance _____ other _____ Number of off-street parking spaces:
 site plan subdivision _____ shore _____ floodplain mgmt _____ enclosed _____ outdoor _____

VI. FEES:
 base fee 270.00 other fees _____
 subdivision fee _____ late fee _____
 site plan review fee 1000.00 TOTAL _____

VII. DETAILS OF WORK

1. WATER SUPPLY: <input type="checkbox"/> public <input type="checkbox"/> private	7. ELECTRICAL: service entrance size _____ # smoke detectors _____	8. CHIMNEY: # flues _____ material _____ # fireplaces _____
2. SEWER: <input type="checkbox"/> public <input type="checkbox"/> private, type _____	9. FRAMING: floor joists _____ studs _____ ceiling joists _____ rafters _____ studs _____ wall studs _____	11. BEDROOM WINDOWS: height _____ width _____ at height _____ egress window? yes <input type="checkbox"/> no <input type="checkbox"/>
3. HEAT: type _____ fuel _____	10. If 1-story building w/masonry wall: wall thickness _____ height _____	
4. FOUNDATION: type _____ thickness _____ footing _____		
5. ROOF: type _____ pitch _____ covering _____ bad _____		
6. PLUMBING: SPRINKLER SYSTEM? yes <input type="checkbox"/> no <input type="checkbox"/>		

VIII. OFFICE USE:
 TAX MAP # _____
 LOT # _____
 VALUE/STRUCTURE _____
 PERMIT EXPIRATION _____

IX. PROPOSED USE: 103 - single family dwelling Sectional Condominium Apartment

XII. PAST USE: _____
XIII. OWNERSHIP: _____ PUBLIC _____ PRIVATE _____

XIII. EST. CONSTRUCTION COST: 50,000 **XIV. GR. SQ. FT. OF LGT. BUILDING:** _____

COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE

XV. RESIDENTIAL BUILDINGS ONLY: # NEW DWELLING UNITS WITH: 1 BDRM _____ 2 BDRMS _____ 3 BDRMS _____ # EXISTING DWELLING UNITS WITH: 1 BDRM _____ 2 BDRMS _____ 3 BDRMS _____	XVI. # RESIDENTIAL UNITS: # NEW DWELLINGS _____ # EXISTING DWELLINGS _____ TOTAL RESIDENTIAL UNITS _____
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APPROVALS BY: DATE _____
 BUILDING INSPECTION - PLAN EXAMINER _____
 ZONING: _____
 C.E.O. _____
 FIRE DEPT. _____

MISCELLANEOUS
 Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

NOTE TO APPLICANT: Separate permits are required by the installers and contractors of heating, plumbing, electrical, and mechanicals.

District No. XVII

JOHN E. GEARY
Attorney at Law
415 Congress Street
Suite 600
Portland, Maine 04101
(207) 772-2876

? DATE?

Mr. Herbert D. Cail
Portland, Maine

Re: Opinion regarding Map 14, Page 77, Lots 211 and 212

Dear Mr. Cail:

I have researched the status of the above referenced real property by personal inspection of public records in Cumberland County Registry of Deeds and City of Portland municipal offices and well as discussions with representatives of the City of Portland and the Portland Water District. I am of the opinion that the said property complies with the zoning ordinance of the City of Portland and qualifies as a buildable lot.

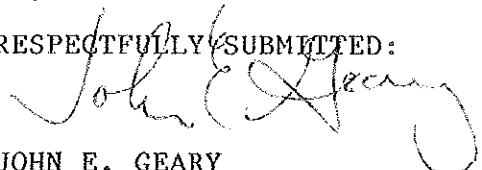
The property is zoned R-5. Minimum lot size is 6,000 square feet. The property contains approximately 9,917 square feet. To qualify as a buildable lot, there must be at least fifty (50) feet of frontage on an accepted, improved street. Cambridge Street was accepted by vote of the Portland City Council on December 12, 1951. Records at Portland Public Works were insufficient to determine whether Cambridge Street has been improved according to City standards. If not, an applicant for a building permit would have the responsibility to make the necessary improvements. I make no representation respecting the state of improvement of Cambridge Street.

Public Works Department sewer maps indicate the existence of an eight (8) inch sewer line in Cambridge Street where it is fronted by the referenced property. The nearest public water is in Cambridge Street at the intersection of Cornell Street. The cost of extending water service to your property would be borne by you. The nearest electrical service is indicated on said maps also at the intersection of Cambridge and Cornell Streets. You would also bear the cost of bringing service to your property.

In the R-5 zone the further considerations are as follows: a minimum lot width of sixty (60) feet is required and your lots are eighty-six (86) feet wide. You are allowed to build a single-family, two- or three-family structure, up to thirty-five (35) feet in height. There appears to be no set-back problems, given the shape of the property.

The approximate real property tax on the land, based on a percentage of the latest tax assessed, is \$150.00.

RESPECTFULLY SUBMITTED:


JOHN E. GEARY

JOHN E. GEARY
Attorney at Law
415 Congress Street
Suite 600
Portland, Maine 04101
(207) 772-2876

August 31, 1987

Mr. Herbert Cail
86 Wainwright Circle East
South Portland, Maine 04106

Re: Cambridge Street

Dear Herb:

Enclosed is an attested copy of the Portland City Council vote establishing Cambridge Street as an accepted street. There is no question that you have a buildable lot.

As we discussed on the phone, you must submit a "minor site-plan" drawn by a surveyor or engineer in order to get the necessary approvals. It is my understanding that you are contacting the surveyor yourself.

I spent one and one-half hours obtaining the proof that you have a buildable lot, discussing the situation with the city building department and public works, and researching the minor site-plan requirements. My bill for these services is \$105.00.

I wish you very good fortune in this project. If I can be of further assistance, please do not hesitate to call.

Very truly yours,

John E. Geary

Encl.

*Paid in full
9-7-87
\$105.00*

Marge Schmuckal - Re: 11 Cambridge Street

From: Alex Jaegerman
To: Lori Cail
Date: 9/29/2010 4:41 PM
Subject: Re: 11 Cambridge Street
CC: Marge Schmuckal

Mr. and Mrs. Cail

Thanks for the material. It appears to me from the material that the property was described as R-5 back in 1987, but all of our maps show it as I-2 back then, and IL now. I've asked Marge Schmuckal to research the building permit to see if that sheds any light on the subject, and what your options are if it is indeed an IL zone.

Alex Jaegerman

Alexander Jaegerman, AICP
Planning Division Director
389 Congress Street, Suite 400
Portland, ME 04101

Phone: (207)874-8724

>>> Lori Cail <loricail@live.com> 9/29/2010 2:30 PM >>>
Attached please find the paperwork we have on the property.
Thanks for your help,
Lori & Herbert Cail
899-2860

K5

ORTHFIELD GREEN

R3

AMERDOWN

HARVARD COMMON

revised up to 1984

FAIR

HARVARD

WOODLAWN

PRINCETON

UNIVERSITY

CORNELL

CAMBRIDGE

100'

R3

340'

490'

100'

120'

02-100'

I2

ROAD

I2

100'

RAT

EDGE

WESLEY

B2

I2

SPRING

ARBOR

R5

120'

PARK DANFORTH

DOLAND

ADELAIDE

B2

FOREST AVE

R5

WIMWOOD

B2

BELL

READ

B2

B2

QUARRY

I2

GLENGARDEN

R5

CANCO

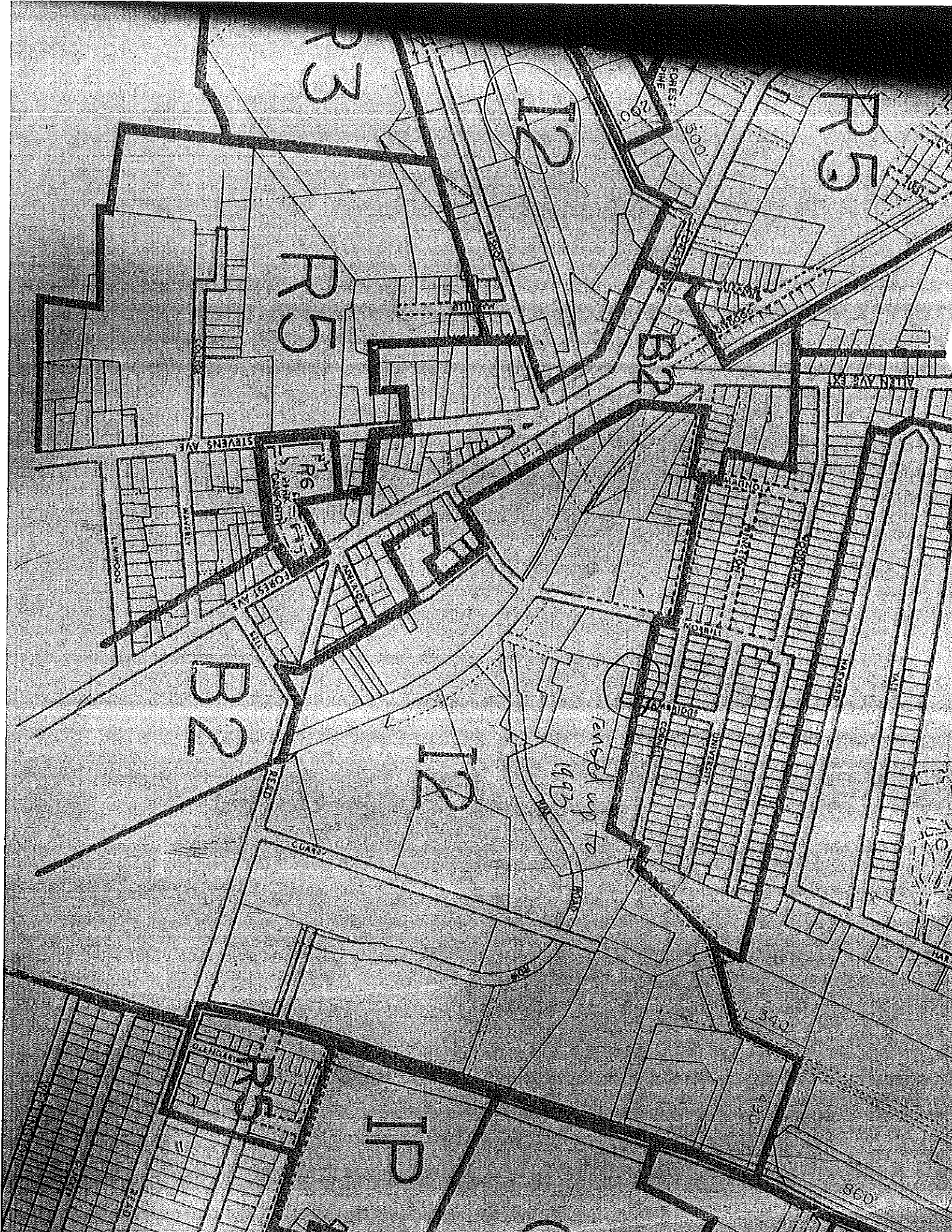
H

STEVENS AVE

WIMBURY

WIMWOOD

H



R5

R3

I2

R5

B2

B2

I2

renovated up to 1993

IP

R5

ALLEN AVE EX

STEVENS AVE

FOREST AVE

CLARK

W. HANCOCK

W. HANCOCK

W. HANCOCK

W. HANCOCK

W. HANCOCK

W. HANCOCK

W. HANCOCK

W. HANCOCK

W. HANCOCK

W. HANCOCK

860

340

430

300

200

500

COOMBS

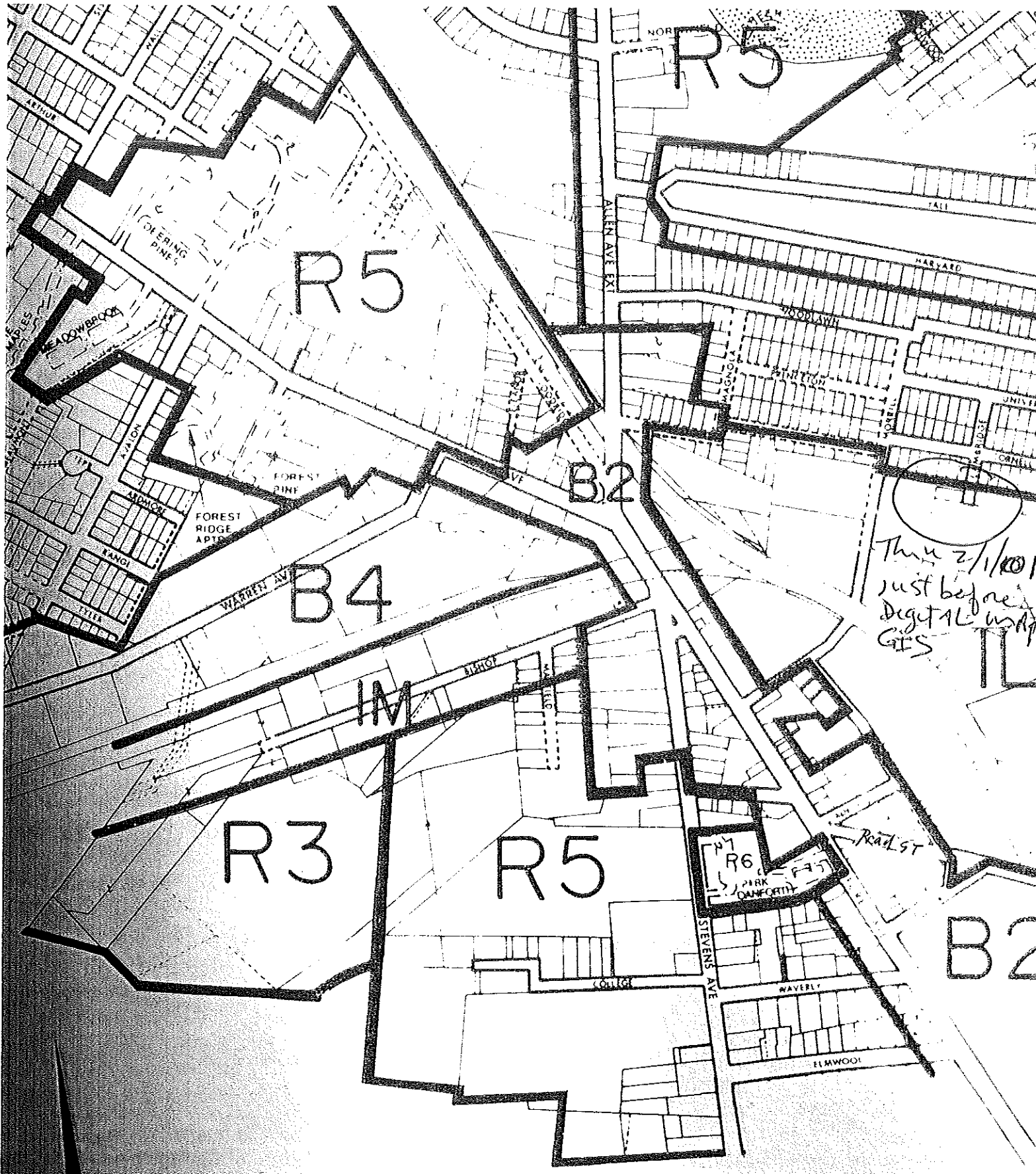
THE

REED

CLARK

CLARK

CLARK



R5

R5

B2

B4

IM

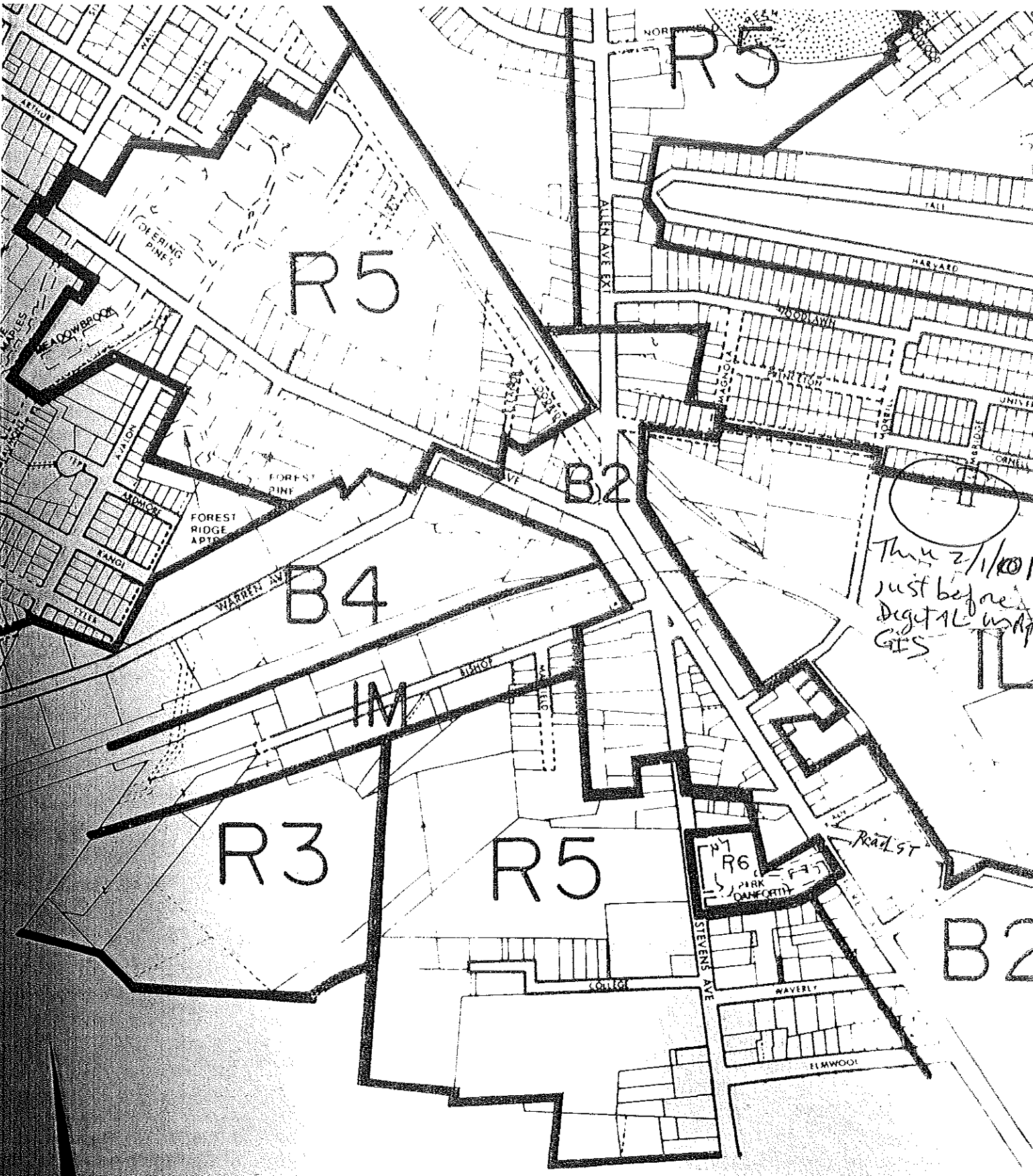
R3

R5

R6

B2

Thru 2/1/01
just before
Digital works
GIS TL



NOR

TALL

HARVARD

WOODLAWN

UNIVERSITY

UNIVERSITY

CORNELL

FOREST PINE

FOREST RIDGE APTS

WARREN AV

BISHOP

W. HILL

W. HILL

STEVENS AVE

COLLEGE

WAYERLY

ELMWOOD

Read St

PARK COMFORTLY

DEERING PINES

SEA COW BROCK

KING

MAYOR

W. HILL

W. HILL

W. HILL

W. HILL

W. HILL

W. HILL

W. HILL

W. HILL

W. HILL

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