

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

DEPARTMENT OF BUILDING INSPECTION PERMIT

Permit Number: 030116

This is to certify that Gilbert Arthur R &/Gerald S, Builders,
has permission to Build a 26'x45' duplex with two 10'x10' decks on vacant land.
AT ~~9 Cornhill St~~ 23-25 Cambridge St ~~Portland, Me~~ Portland, Me ~~151A A006001~~ 151A-A-part of 008
All of 009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and work in permit in progress before this building or part thereof is occupied or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. **PERMIT ISSUED**
Health Dept. _____
Appeal Board **APR 24 2003**
Other _____

Department Name


Director, Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 23-25 Cambridge St.

CBL 151A A009001

Issued to Soucy Gerald /Gerald Soucy, Builder

Date of Issue 08/28/2003

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 03-0116 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire-2 Family Structure

APPROVED OCCUPANCY

Use Group R-3 Type 5B
(Boca 1999)

Limiting Conditions:

This is a temporary Certificate that shall expire on 09/30/03. All required paving/site work shall be completed before that date in order to issue permanent Certificate of Occupancy

This certificate supersedes
certificate issued

Approved:

8/28/03

(Date)

Jon Rose
.....
Inspector

Mike Hunt 8/28/03
.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

PERMIT ISSUED

Ant 2008

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0116	Issue Date: APR 24 2003	CBL: <i>151A-A-2009 (AU)</i> 151A-A006001
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Location of Construction: 9 Cornhill <i>23-25 Cambridge St</i>	Owner Name: Orbert Arthur R &	Owner Address: 9 Cornell St CITY OF PORTLAND	Phone: 415-1909
Business Name:	Contractor Name: Gerald Soucy, Builder	Contractor Address: 14 Ashwood Drive Saco	Phone: 2074151909
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone: <i>R-5</i>

Past Use: Vacant Land	Proposed Use: Build a 26' x 45' Duplex plus two 10' x 10' decks.	Permit Fee: \$1,408.00	Cost of Work: \$130,000.00	CEO District: 2
Proposed Project Description: Build a 26'x45' duplex with two 10'x10' decks on vacant land.		FIRE DEPT: <i>N/A</i> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>BOCA 99</i>	
		Signature:	Signature:	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 02/14/2003	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i> <input type="checkbox"/> Subdivision <i>N/A per LEGAL P.L.</i> <input checked="" type="checkbox"/> Site Plan # 2003-0028 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/16/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

5/29/03 Footing Formwork OK. Set Backs OK. *AL*

6/16/03 Stone/Fabric/Drains OK - out to B/Fill *D*

6/26/03 - checked FRAMING for firewall between duplex units OK - Can close in fire wall only. THIS IS NOT for all framing only wall between units. *TOUR*

7/7/03 Framing, elect, p/b rough in OK *AL*

8/18/03 Final inspection. ^① Need to HAVE all handrails returned on both units. ^② Decks ARE ON the side of the house and the plans show them on the REAR. This is AN issue that must be resolved before issuance of c/o. Contractor will come in today to file AN Amendment. *JR*

8/22/03 Permit Amendment issued. Showing decks on side. However, due to paving being changed, temporary c/o will be written today. Above issues have been corrected. *JR*

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0116	Date Applied For: 02/14/2003	CBL: 151A A009001
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Location of Construction: 23-25 Cambridge St.	Owner Name: Soucy Gerald	Owner Address: 14 Ashwood Dr	Phone: () 415-1909
Business Name:	Contractor Name: Gerald Soucy, Builder	Contractor Address: 14 Ashwood Drive Saco	Phone: (207) 415-1909
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

Proposed Use: Build a 26' x 45' Duplex plus two 10' x 10' decks.	Proposed Project Description: Build a 26'x45' duplex with two 10'x10' decks on vacant land.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/16/2003

Note: 3/20/03 talked to G. Soucy - I need a revised site plan showing the extension of the driveways so there are two parking spaces on each side **Ok to Issue:**
 4/16/03 Just received the plan showing the extended driveway for two cars in each beyond the front yard setback

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted on 4/16/03. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** **Approval Date:** **Ok to Issue:**

*3/20/03 - Spoke with G. Soucy - I need a revised plan showing the driveways expanded for 2 parking spaces on each side
 4/11/03 - OK per IRC & Planning per Jay R.*

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>9 CORNELL STREET</u>		
Total Square Footage of Proposed Structure <u>2385</u>	Square Footage of Lot <u>6570</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>151A</u> <u>A</u> <u>67-8-9</u>	Owner: <u>GERALD SOUOK</u>	Telephone: <u>415-19-09</u>
Lessee/Buyer's Name (if Applicable) <u>PETER M ULEOD</u>	Applicant name, address & telephone: <u>GERALD SOUOK</u> <u>14 ASHWOOD DR. SAFO 04072</u>	Cost Of Work: \$ <u>130,000</u> Fee: \$ <u>933.00</u>
Current use: <u>VACANT</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: <u>FOREVER.</u>		
Proposed use: <u>duplex</u>		
Project description: <u>26' X 45' TWO 10' X 10' COLUMNS</u>		
Contractor's name, address & telephone: <u>GERALD SOUOK 415-1909</u> <u>tx call</u>		
Who should we contact when the permit is ready: _____		
Mailing address: <u>14 ASHWOOD DR. SAFO 04072</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Gerald Souok</u>	Date: <u>2-13-2003</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

730 20030028

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: 9 Cornell Street		Zone: R5
Total Square Footage of Proposed Structure 2385		Square Footage of Lot 6570
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 151A A 6-7-8-9		Property owner, mailing address: Gerald Soucy 14 Ashwood Dr. Saco 04072
		Telephone: 415 1909
Consultant/Agent, mailing address, phone & contact person Peter McLeod % Webber Real Estate 650 Main St South Portland 754-777-4663		Applicant name, mailing address, telephone #/Fax#/Pager#: Gerald Soucy 14 Ashwood Dr. Saco 04072
		Project name: Cornell Street Duplex
Proposed Development (check all that apply) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot ___ Subdivision, amount of lots ___ \$25.00 per lot \$ _____ ___ Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ ___ Traffic Movement \$1,000 ___ Stormwater Quality \$250.00 ___ Other _____ ___ After the fact review - Major project \$1,500.00 ___ After the fact review - Minor project \$1,200.00 Major Development _____ \$500.00 Minor Development <input checked="" type="checkbox"/> \$400.00 Plan Amendments: ___ Board review \$200.00 ___ Staff review \$100.00		
Who billing will be sent to: Gerald Soucy Mailing address: 14 Ashwood Drive State and Zip: Saco Me 04072		
		Contact person: Gerald Soucy
		Phone: 415 1909

Submittals shall include (9) separate folded packets of the following:

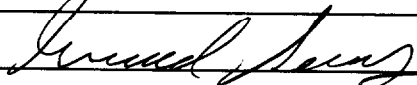
- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 2-12-2003
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This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Applicant: Gerald Soucy

Date: 3/20/03

Address: 9 Cornell St Cambridge MA C-B-L: 151A-008

CHECK-LIST AGAINST ZONING ORDINANCE

What is the size of me remaining lot?
Date - New lot - 92307

~~151A-A~~ 151A-A-1112
part 88
9

Zone Location - R-5 Zone

Interior or corner lot - Cambridge & Cornell

Proposed Use/Work - Construct a Duplex with 2-10'x10' rear deck

Sewage Disposal - city 2-6.5x5 front porch & stairs
NO GARAGES

Lot Street Frontage - 50' req - 90' shown

Front Yard - 20' req - 20' shown to front of foundation

Rear Yard - 20' req - 20' from rear deck

Side Yard - side garden side st = 15' req - 20.5' shown

Projections - 2-10'x10' rear deck - (2) 5x6.5' porch & stairs
less than 50' for each unit

Width of Lot - 60' req - 90' shown

Height - 35' MAX - 24' scaled

Lot Area - 6,000 min - (73x90) = 6,570 shown

Lot Coverage/ Impervious Surface - 40% or 2628# MAX

Area per Family - 3,000# unit or 6,000# in

Off-street Parking - 2 ea unit - 4 pkg spcs req

Loading Bays - N/A

Site Plan - minor # 2003-0028

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 Zone X

26x45 = 1170
(2) 10x10 = 200
(2) 5x6.5 = 65
1435#

Needs to extend driveway
3/20/03 spoke to Gerald Soucy
received on 3/14/03 plan

- Not a subdivision per P.L. in legal - Don't add up Land Divisions & units
This is only one Land Division -

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2003-0028
Application I. D. Number

2/13/2003
Application Date

9 Cornell Street
Project Name/Description

Soucy, Gerald
Applicant
4 Ashwood Drive, Saco, ME 04072
Applicant's Mailing Address
Vebber Real Estate
Consultant/Agent
Applicant Ph: (207) 415-1909 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

9 - 9 Cornell St, Portland, Maine
Address of Proposed Site
151A A006001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

385 sq. Ft. 6570 sq. Ft.
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$400.00 Subdivision _____ Engineer Review _____ Date 2/19/2003

Planning Approval Status:

- Approved w/Conditions See Attached Denied

Approval Expiration 3-24-04 Extension to _____ Additional Sheets Attached
signature date

Performance Guarantee Required* Not Required

No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	4-11-03	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	_____
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	_____
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	_____
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

Rec'd 2-19-03

2003-0028
Application I. D. Number
2/13/2003
Application Date
CAMBRIDGE
9 Cornell Street
Project Name/Description

G. Soucy
Soucy, Gerald
Applicant
4 Ashwood Drive, Saco, ME 04072
Applicant's Mailing Address
Webber Real Estate
Consultant/Agent
Applicant Ph: (207) 415-1909 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

#23-25
9 - 9 Cornell St, Portland, Maine
Address of Proposed Site
151A A006001
Assessor's Reference: Chart-Block-Lot *006-70-009*

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

385 sq. Ft. **6570 sq. Ft.**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla **\$400.00** Subdivision _____ Engineer Review _____ Date **2/19/2003**

Approval Status:

Approved Denied

Condition Compliance Approval Expiration **3-24-04** Extension to _____ Additional Sheets Attached
4-11-03 / *J.R.*
signature date

Performance Guarantee Required* Not Required

No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>4-11-03</u> date	<u>13,700</u> amount	<u>10-24-03</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>4-11-03</u> date	<u>300.00</u> amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Building Copy

2003-0028

Application I. D. Number

2/13/2003

Application Date

9 Cornell Street

Project Name/Description

Soucy, Gerald

Applicant

14 Ashwood Drive, Saco, ME 04072

Applicant's Mailing Address

Webber Real Estate

Consultant/Agent

Applicant Ph: (207) 415-1909 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

9 - 9 Cornell St, Portland, Maine

Address of Proposed Site

151A A006001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2385 sq. Ft.

Proposed Building square Feet or # of Units

6570 sq. Ft.

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|---|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> HistoricPreservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla **\$400.00** Subdivision _____ Engineer Review _____ Date **2/19/2003**

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee

- Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

~~Pre-construction Meeting~~ Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of applicant/designee

4/28/03
Date

[Signature]
Signature of Inspections Official

X 4/28/03
Date

CBL: 151AA009 Building Permit #: 030116



single family
Existing House
on 9 Cornell

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 151A A006001
 Location 9 CORNELL ST
 Land Use SINGLE FAMILY

Owner Address GILBERT ARTHUR R & WINONA M JTS
 9 CORNELL ST
 PORTLAND ME 04103

Book/Page
 Legal 151A-A-6 TO 9
 CORNELL ST
 CAMBRIDGE ST
 15800 SF

15800
 6570

 9230 remaining
 lot for 1/4

Valuation Information

Land	Building	Total
\$34,230	\$57,960	\$92,190

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
1920	Old Style	1.5	1365	0.363	3	1	1	6	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1960	26X40	E	A

Sales Information

Date	Type	Price	Book/Page

Picture and Sketch

Picture

Sketch

9230 x 40% = 3692
 780
 176
 112
 10168
 3692
 OK

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury Office at 874-8490 or e-mailed.

New Search!

From: Marge Schmuckal
To: Jay Reynolds; Sarah Hopkins
Date: 3/20/03 3:48PM
Subject: 9 Cornell St - which is the address for the old bldg

Jay,
I called G. Soucy to get a revised site plan showing the driveways extended so that two cars can fit in the driveways on both sides.
Marge

*received
revised site plans
3/21/03*

WEBBER
Real Estate Associates

PETER J. MCLEOD



OFFICE: (207) 772-4663 • RESIDENCE: (207) 829-5331
FAX: (207) 774-0963 • EMAIL: pmcleod1@maine.rr.com

SUMMER RESIDENCE: 428-3979

WARRANTY DEED

Know all Persons by these Presents that we, **Arthur R. Gilbert and Winona M. Gilbert**, City of Portland , State of Maine, in consideration of one dollar and other valuable consideration paid by **Gerald Soucy**, whose mailing address is 14 Ashwood Drive, Saco, ME 04072 the receipt whereof we do hereby acknowledge do hereby **give, grant, bargain, sell and convey** unto the said **Gerald Soucy**, his heirs and assigns forever,

A certain lot and portion of a lot or parcel of land with buildings thereon, if any, on the Southwesterly side of Cornell Street. Being all of Lot Numbered One Hundred Ninety-eight (198) and all of Lot One Hundred Ninety-seven (197) excepting a seven (7) foot strip therefrom along the easterly boundary. Said lots are as shown on a Plan of Subdivision of Addition to Hawthorne Heights Extension made for George T. Edwards Real Estate Co., November 1921, from Surveys of Boundaries by Percy H. Richardson, P.E. and recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 77. Said portion of Lot One Hundred Ninety-seven (197) excepted and reserved to the Grantors herein, Arthur R. Gilbert and Winona M. Gilbert, is particularly bounded and described as follows:

Beginning at the northeasterly corner of Lot 196 as referenced above on what is now or formally Cornell Street;

Thence along the southwesterly sideline of Cornell Street and the northerly property line of Lot 197, South $46^{\circ} 16' 14''$ East, a distance of 7.0 (seven) feet;

Thence, through said Lot 197 on a line parallel with the easterly side of Lot 196, South $43^{\circ} 43' 46''$ West, a distance of 90.00 (ninety) feet, to the land now or formerly of Herbert D. Cail as described and recorded in Book 12953, Page 002 also shown as Lot two hundred eleven (211) on the aforementioned plan;

Thence, along the land of the aforementioned Cail, North $46^{\circ} 16' 14''$ West, a distance of 7.0 (seven) feet to land of the grantor also being the southeasterly corner of Lot 196;

Thence, along the easterly lot line of Lot 196, North $43^{\circ} 43' 46''$ East, a distance of 90 (ninety) feet to the point of Beginning.

Said portion of Lot 197 containing approximately 630 square feet.

Bearings based upon a magnetic observation taken on the above property during October 2002.

The above described bearings and distances are based upon a Standard Boundary Survey performed by Back Bay Boundary, Inc. 65 Newbury Street, Portland, Maine during the month of October, 2002.

Subject to a sewer easement as described in a deed recorded in the Cumberland County Registry of Deeds in Book 11199, Page 33.

Meaning and intending to convey a portion of the premises described in a warranty deed from Richard P. Williams to Arthur R. Gilbert and Winona M. Gilbert dated October 20, 1984 and recorded in the Cumberland County Registry of Deeds in Book 6599, Page 187.

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said **Gerald Soucy**, his heirs and assigns, to them and their use and behoof forever.

And we do **covenant** with the said Grantee(s), his heirs and assigns, that we are lawfully seized in fee of the premises, that they are free of all encumbrances, that we have good right to sell and convey the same to the said Grantee(s) to hold as aforesaid; and that we and our heirs shall and will **warrant and defend** the same to the said Grantee(s), his heirs and assigns forever, against the lawful claims and demands of all persons.

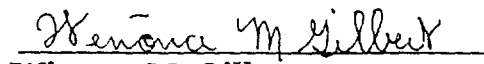
IN WITNESS WHEREOF, we, the said **Arthur R. Gilbert and Winona M. Gilbert**, have hereunto set our hand and seal this 15th day of January, 2003.

*Signed, Sealed and Delivered
in the presence of*

Witness


Arthur R. Gilbert

Witness


Winona M. Gilbert

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

March 6, 2003

Mr. Gerald Soucy
14 Ashwood Drive
Saco, ME 04072

Subject: 9 Cornell Street
(ID # 2003-0028) (CBL# 151AA006)

Dear Mr. Soucy:

Thank you for your application to construct a duplex at 9 Cornell Avenue. Upon review of the plan, it appears that this design would constitute a subdivision.

For this reason, additional submittals will be required, and your application will have to go to the planning board for review and approval.

Please respond to this letter at your earliest convenience to discuss these items. I can be reached at (207) 874-8632.

Sincerely,

Jay Reynolds
Development Review Coordinator

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Cornell Street Duplex 9 Cornell Street
Project Name, Address of Project

Application Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
<u>2/13/03</u>	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
<u>2/13/03</u>	(2)	Name and address of applicant and name of proposed development	a
<u>2/13/03</u>	(3)	Scale and north points	b
<u>2/13/03</u>	(4)	Boundaries of the site	c
<u>2/13/03</u>	(5)	Total land area of site	d
<u>2/13/03</u>	(6)	Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including:	2
<u>N/A</u>	(8)	Existing soil conditions	a
<u>N/A</u>	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
<u>2/13/03</u>	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
<u>2/13/03</u>	(11)	Approx location of buildings or other structures on parcels abutting the site	d
<u>N/A</u>	(12)	Location of on-site waste receptacles	e
<u>2/13/03</u>	(13)	Public utilities	e
<u>2/13/03</u>	(14)	Water and sewer mains	e
<u>2/13/03</u>	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
<u>N/A</u>	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
<u>N/A</u>	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
<u>2/13/03</u>	(18)	Parking areas	g
<u>N/A</u>	(19)	Loading facilities	g
<u>2/13/03</u>	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
<u>N/A</u>	(21)	Curb and sidewalks	g
	(22)	Landscape plan showing:	h
<u>N/A</u>	(23)	Location of existing proposed vegetation	h
<u>N/A</u>	(24)	Type of vegetation	h
<u>N/A</u>	(25)	Quantity of plantings	h
<u>N/A</u>	(26)	Size of proposed landscaping	h
<u>N/A</u>	(27)	Existing areas to be preserved	h
<u>N/A</u>	(28)	Preservation measures to be employed	h
<u>N/A</u>	(29)	Details of planting and preservation specifications	h
<u>N/A</u>	(30)	Location and dimensions of all fencing and screening	i
<u>N/A</u>	(31)	Location and intensity of outdoor lighting system	j
<u>N/A</u>	(32)	Location of fire hydrants, existing and proposed	k
<u>N/A</u>	(33)	Written statement	c
<u>N/A</u>	(34)	Description of proposed uses to be located on site	1
<u>N/A</u>	(35)	Quantity and type of residential, if any	1
<u>2/13/03</u>	(36)	Total land area of the site	b2
<u>2/13/03</u>	(37)	Total floor area and ground coverage of each proposed building and structure	b2
<u>N/A</u>	(38)	General summary of existing and proposed easements or other burdens	c3
<u>N/A</u>	(39)	Method of handling solid waste disposal	4
<u>2/13/03</u>	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
<u>N/A</u>	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
<u>N/A</u>	(42)	An estimate of the time period required for completion of the development	7
<u>N/A</u>	(43)	A list of all state and federal regulatory approvals to which the development may be subject to	8
<u>N/A</u>	(44)	The status of any pending applications	8
<u>N/A</u>	(45)	Anticipated timeframe for obtaining such permits	h8

**GERALD SOUCY
14 Ashwood Drive
Saco, Maine 04072**

To: City of Portland

**Enclosed is our application for the construction of a duplex to be built
at 9 Cornell Street in Portland.**

**The building will be constructed in accordance with the enclosed
attachments.**

Thank you for your consideration.

Gerald Soucy

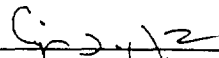
Gerald Soucy 2-17-2003

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

Dated: January 15, 2003

Personally appeared the above-named Arthur R. Gilbert and Winona M. Gilbert and acknowledged the foregoing instrument to be their free act and deed.

Before me,



Attorney at Law/Notary Public

Printed name: Christopher J. Ryer

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Project Name, Address of Project

Application Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
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_____	(4)	Boundaries of the site	c
_____	(5)	Total land area of site	d
_____	(6)	Topography - existing and proposed (2 feet intervals or less)	e
_____	(7)	Plans based on the boundary survey including:	2
_____	(8)	Existing soil conditions	a
_____	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
_____	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
_____	(11)	Approx location of buildings or other structures on parcels abutting the site	d
_____	(12)	Location of on-site waste receptacles	e
_____	(13)	Public utilities	e
_____	(14)	Water and sewer mains	e
_____	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
_____	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
_____	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
_____	(18)	Parking areas	g
_____	(19)	Loading facilities	g
_____	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
_____	(21)	Curb and sidewalks	g
_____	(22)	Landscape plan showing:	h
_____	(23)	Location of existing proposed vegetation	h
_____	(24)	Type of vegetation	h
_____	(25)	Quantity of plantings	h
_____	(26)	Size of proposed landscaping	h
_____	(27)	Existing areas to be preserved	h
_____	(28)	Preservation measures to be employed	h
_____	(29)	Details of planting and preservation specifications	h
_____	(30)	Location and dimensions of all fencing and screening	i
_____	(31)	Location and intensity of outdoor lighting system	j
_____	(32)	Location of fire hydrants, existing and proposed	k
_____	(33)	Written statement	c
_____	(34)	Description of proposed uses to be located on site	l
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_____	(36)	Total land area of the site	b2
_____	(37)	Total floor area and ground coverage of each proposed building and structure	b2
_____	(38)	General summary of existing and proposed easements or other burdens	c3
_____	(39)	Method of handling solid waste disposal	4
_____	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
_____	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
_____	(42)	An estimate of the time period required for completion of the development	7
_____	(43)	A list of all state and federal regulatory approvals to which the development may be subject to	8
_____	(44)	The status of any pending applications	8
_____	(45)	Anticipated timeframe for obtaining such permits	h8

- (46) A letter of non jurisdiction
- (47) Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that is has reviewed the planned development and would seriously consider financing it when approved.

h8

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities;
- erosion and sedimentation controls to be used during construction;
- a parking and/or traffic study;
- and
- a noise study;
- an environmental impact study;
- a sun shadow study;
- a study of particulates and any other noxious emissions;
- a wind impact analysis.

Other comments:

City of Portland INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Peter McLeod</u>	FROM: <u>Tammy Munson</u>
FAX NUMBER: <u>774-0963</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: <u>772-4663</u>	RE: <u>ZB Cambridge</u>
DATE: <u>4/24/03</u>	

Comments:

Sound proof
" "
5

23-25 Cambridge St.

151A-A-009

Gerald Sovey
415-1909

Peter McLead - 772-4663

774-0963 Fax #

Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK	
Foundation Drainage Dampproofing (Section 406)	OK	
Ventilation (Section 409.1) Crawls Space ONLY	N/A	
AnchorBolts/Straps (Section 403.1.4)	OK	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	OK	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	OK	
Sill/Band Joist Type & Dimesions	OK	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	OK	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	OK	

Header Schedule	not shown	
Type of Heating System		
Stairs Number of Stairways 6 Interior 4 Exterior 2 Treads and Risers - OK (Section 314) Width ✗ not shown OK Headroom ✗ not shown OK Guardrails and Handrails ✗ not shown OK (Section 315)		
Smoke Detectors Location and type/Interconnected ✗	Not shown	OK
Plan Reviewer Signature		

See Chimney Summary Checklist

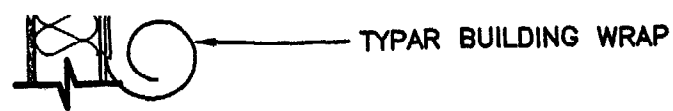
deck on
trusses?

Fire wall doesn't
meet STC Rating
of 45
OK

✗ Cantilever
of 12" on front
exceeds

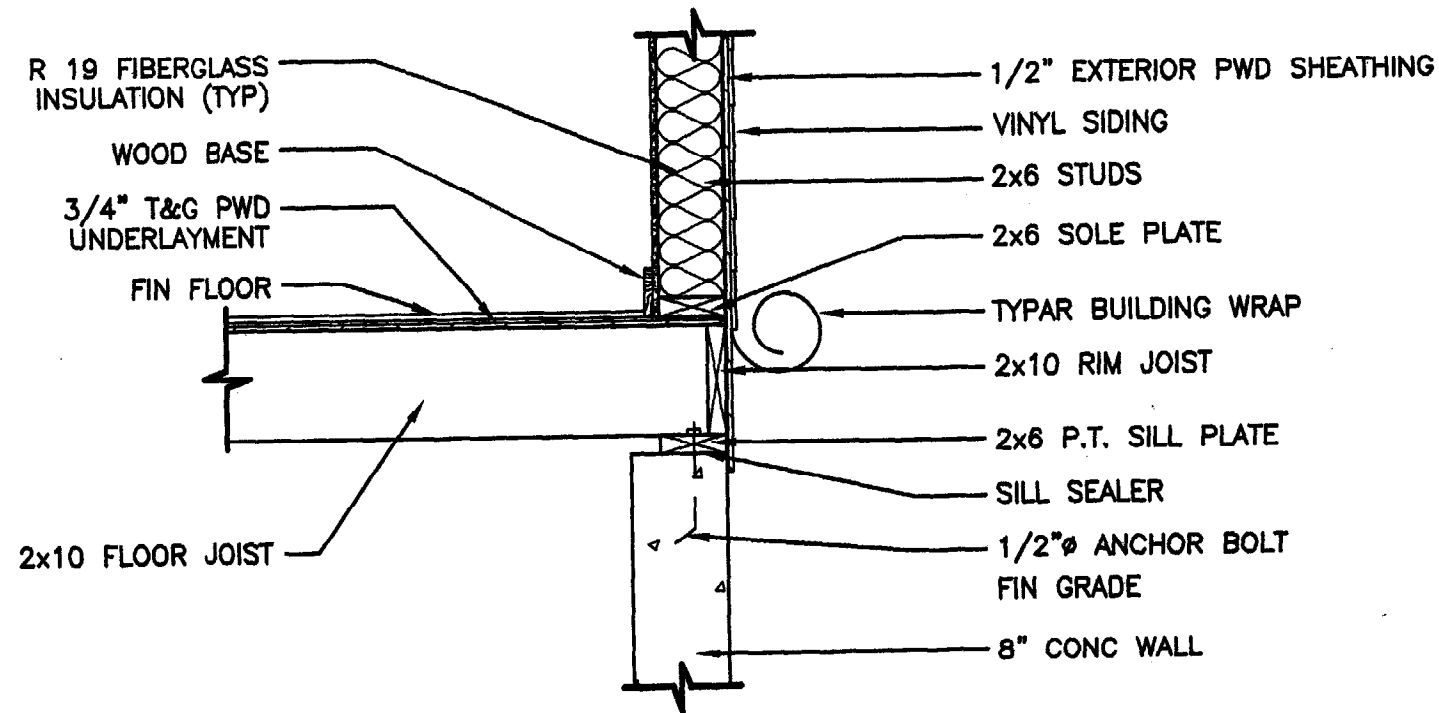
Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	OK	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2))	not shown	OK
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)	N/A	
Fire separation		
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	N/A	
Egress Windows (Section 310)	not shown	OK
Roof Covering (Chapter 9)	OK	
Safety Glazing (Section 308)	not shown in bathrooms	OK
Attic Access (BOCA 1211.1)	not shown	OK
Draft Stopping around chimney	not shown	N/A

38457



2 EXTERIOR WALL DETAIL
3/4" = 1'-0"

NOTE:
SUBSTITUTE JOIST AND RAFTER
SIZES WITH PLAN CALL-OUT.

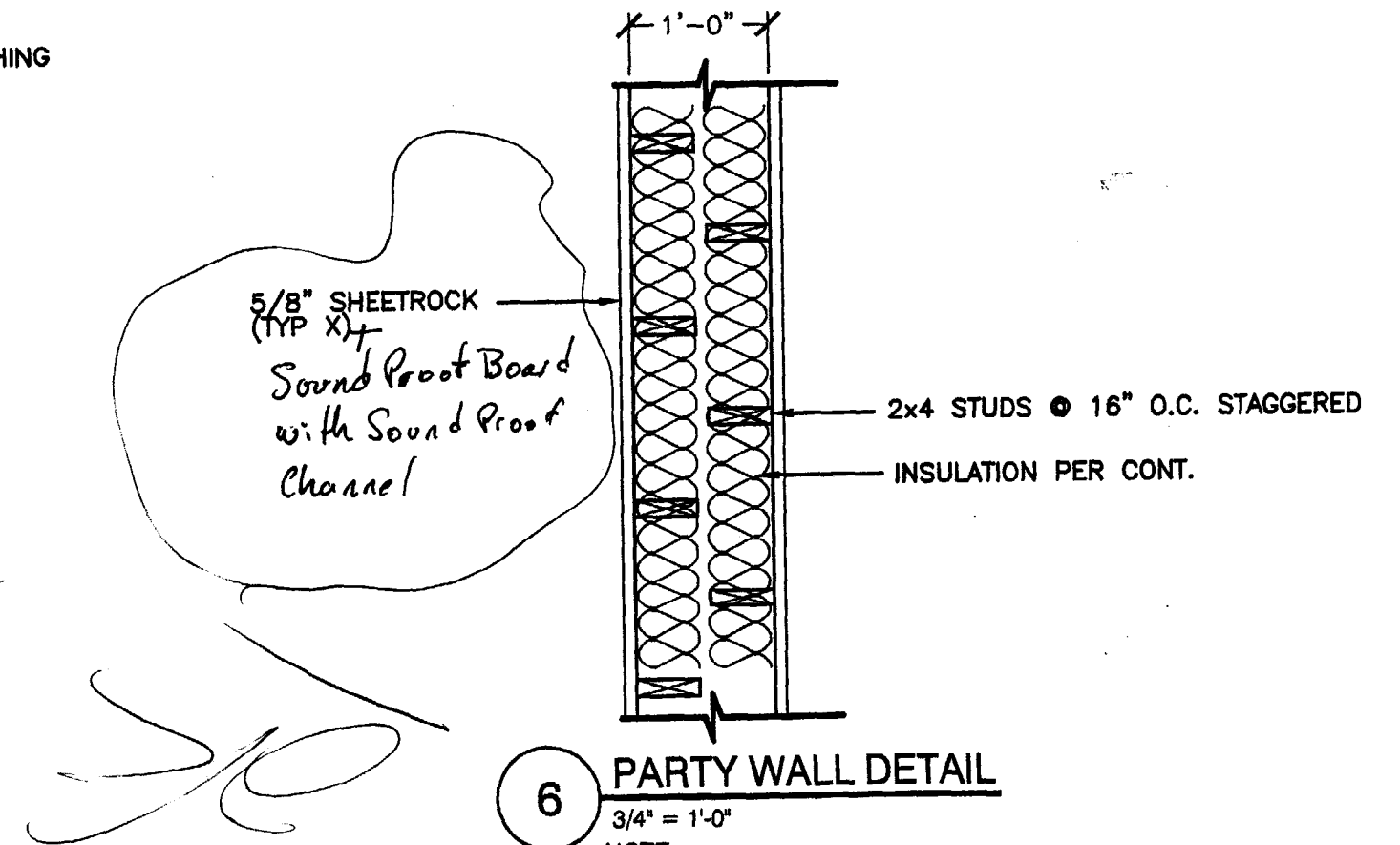


3 WALL BASE DETAIL
3/4" = 1'-0"

NOTE:
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SIZES WITH PLAN CALL-OUT.

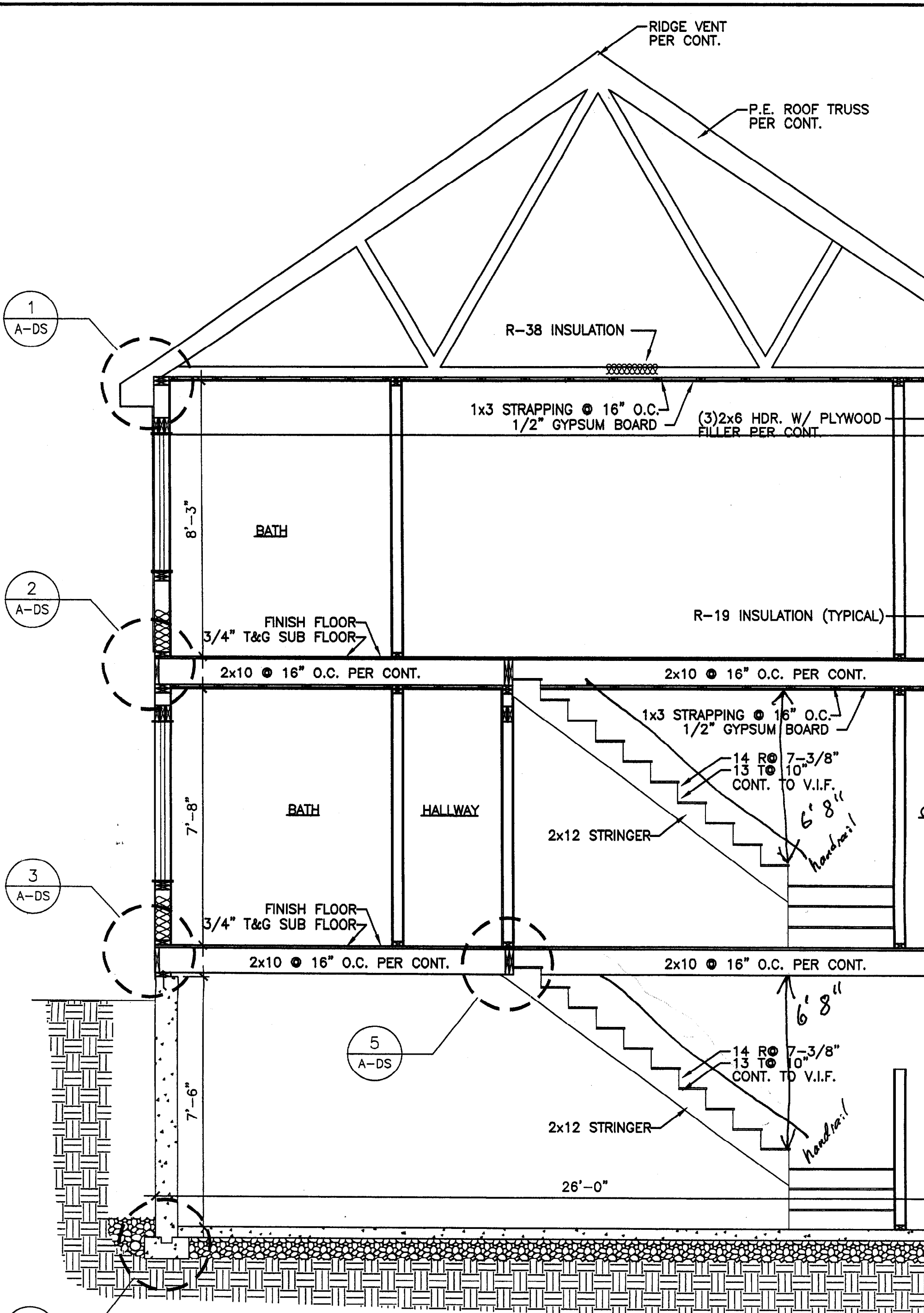
5 COLUMN/GRIDER DETAIL
3/4" = 1'-0"

NOTE:
SUBSTITUTE JOIST AND RAFTER
SIZES WITH PLAN CALL-OUT.



6 PARTY WALL DETAIL
3/4" = 1'-0"

NOTE:
FIRE RATE PARTY WALL PER
APPLICABLE CODES/
REQUIREMENTS



1
A-DS

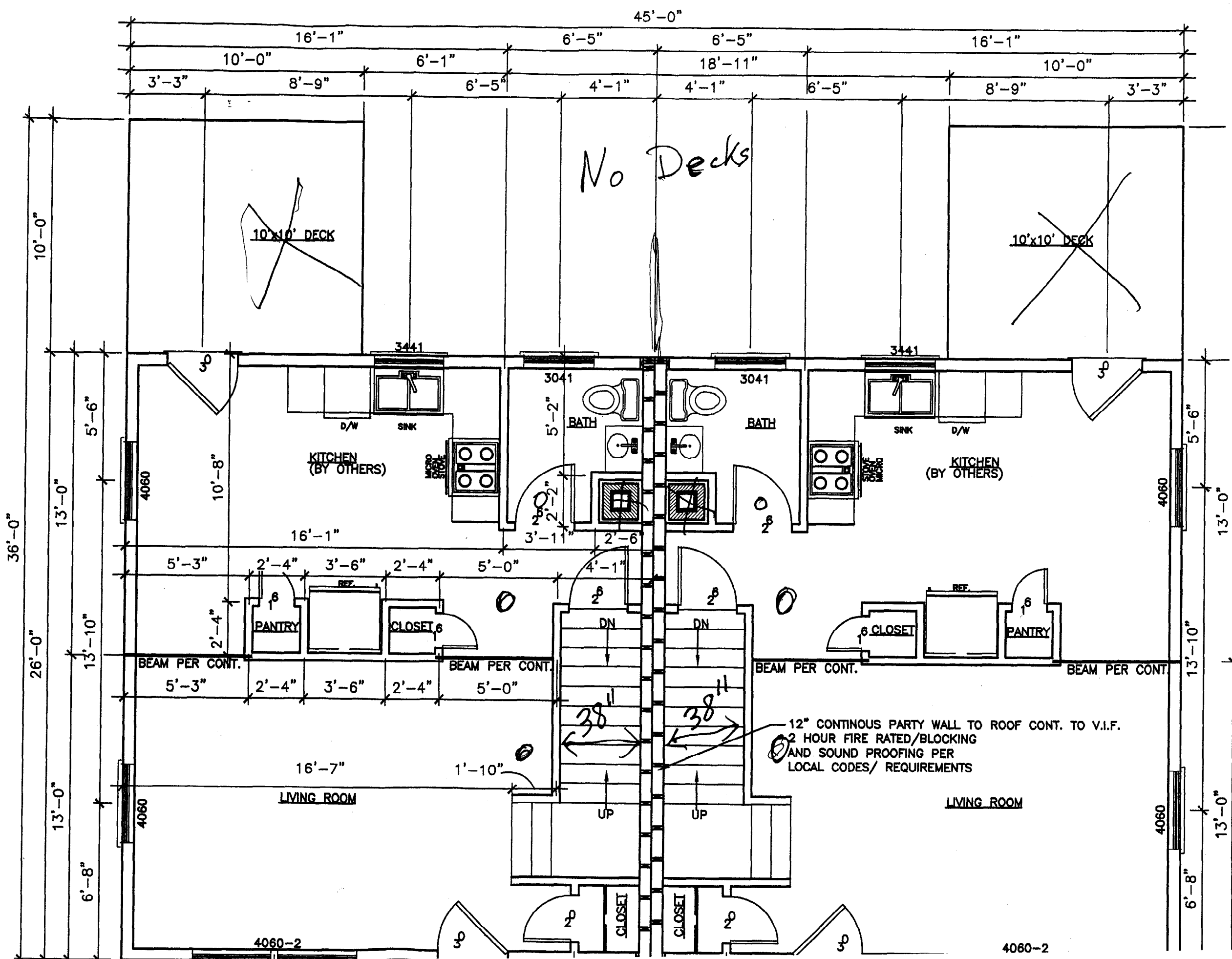
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A-DS

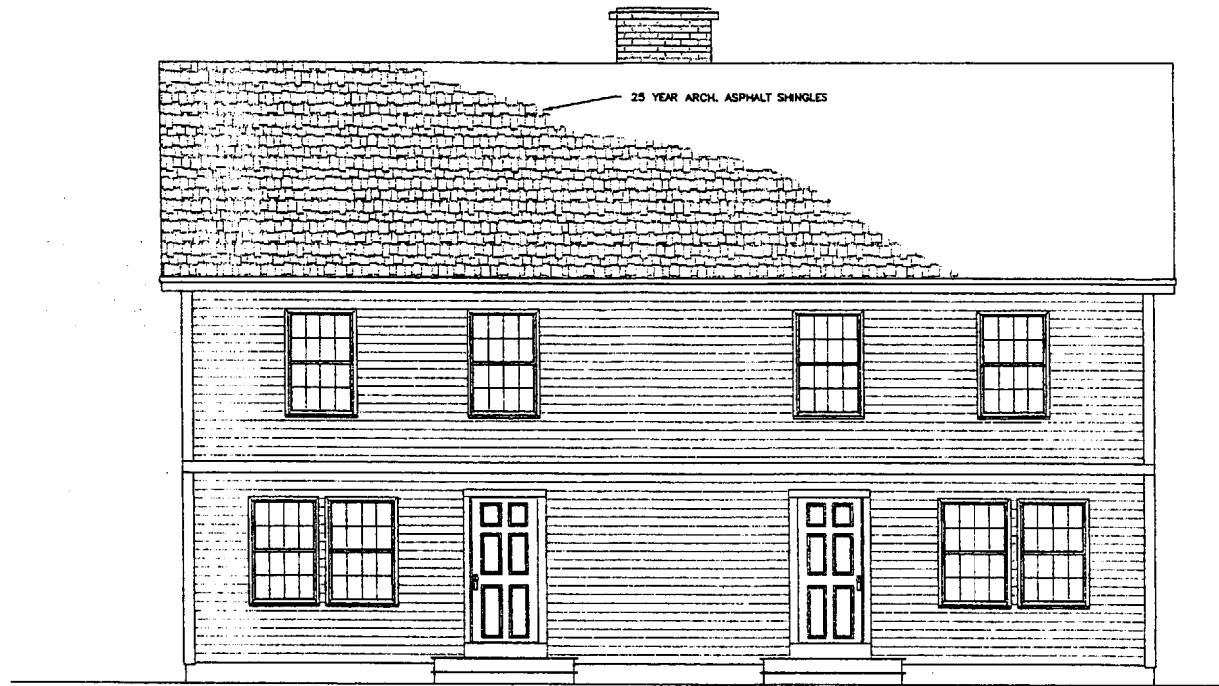
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A-DS

5
A-DS

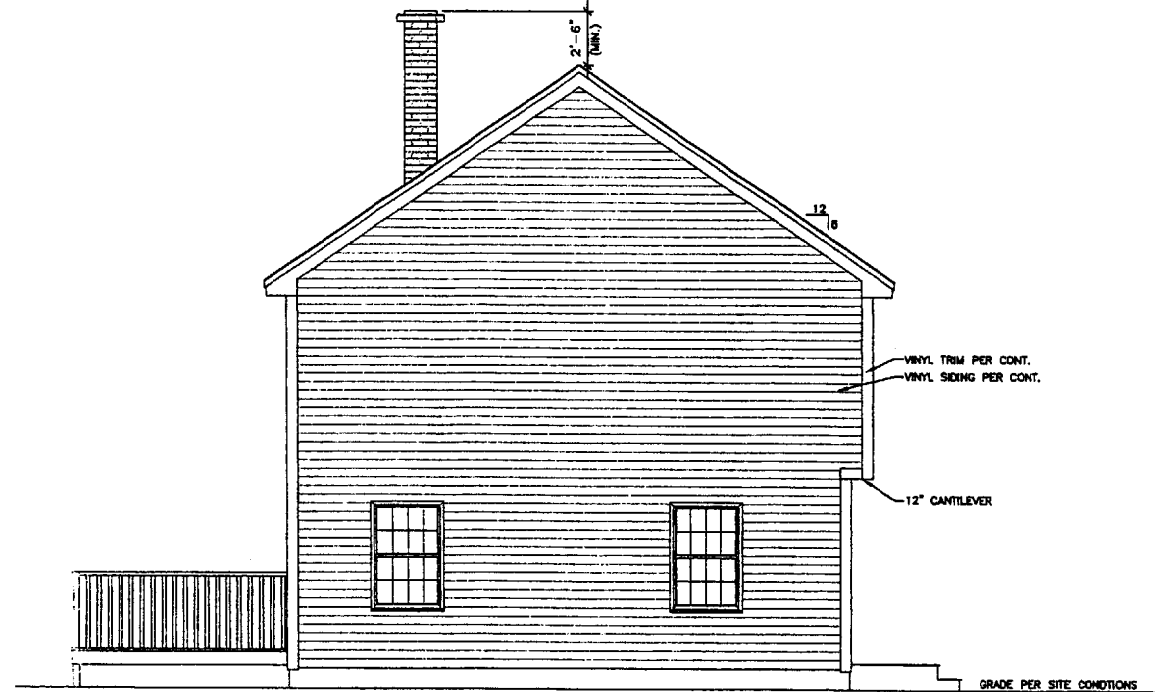
4
A-DS

1 BUILDING SECTION
3/8" = 1'-0"

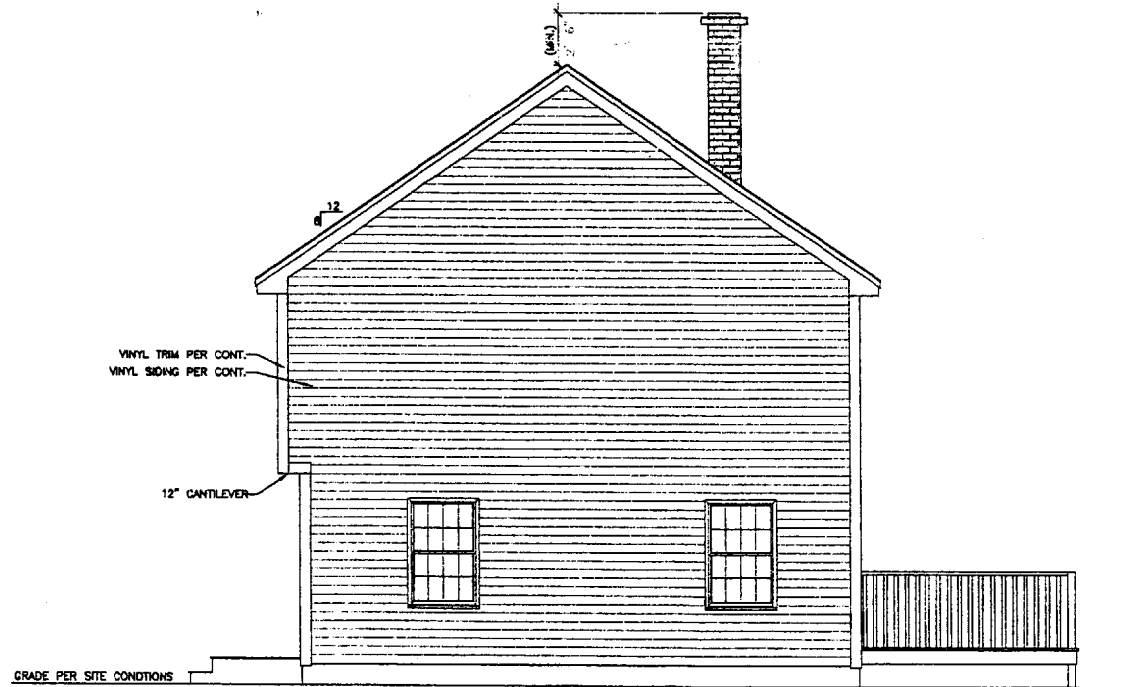




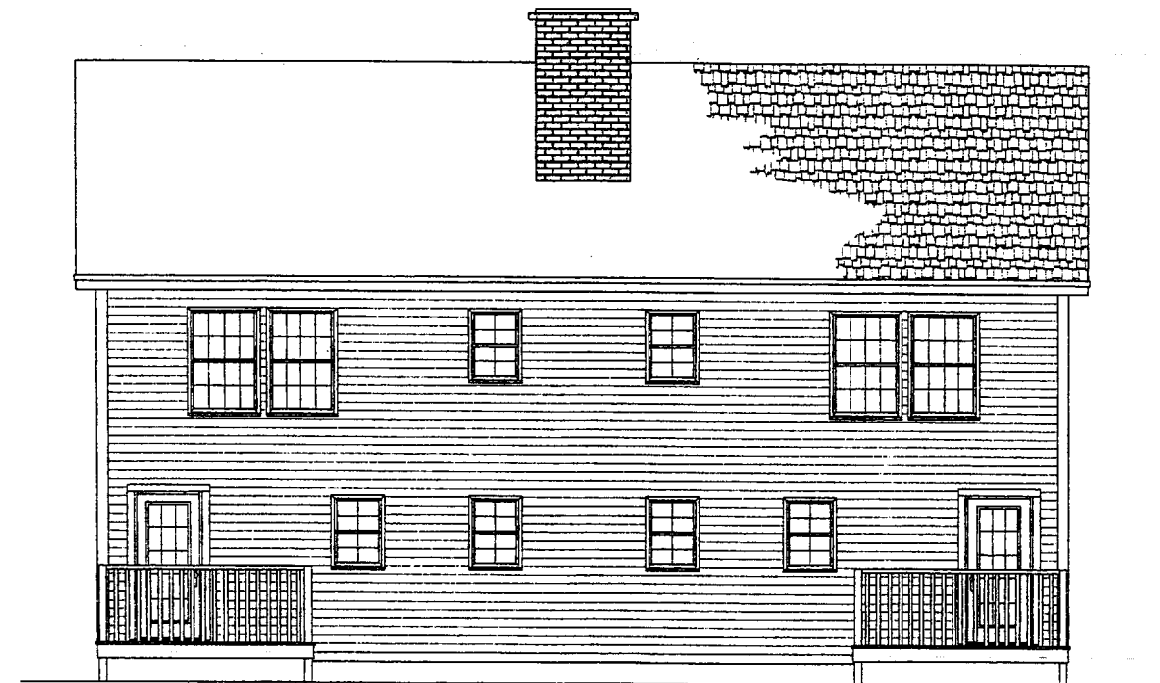
1 FRONT ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"



1 LEFT ELEVATION
1/4" = 1'-0"



1 REAR ELEVATION
1/4" = 1'-0"

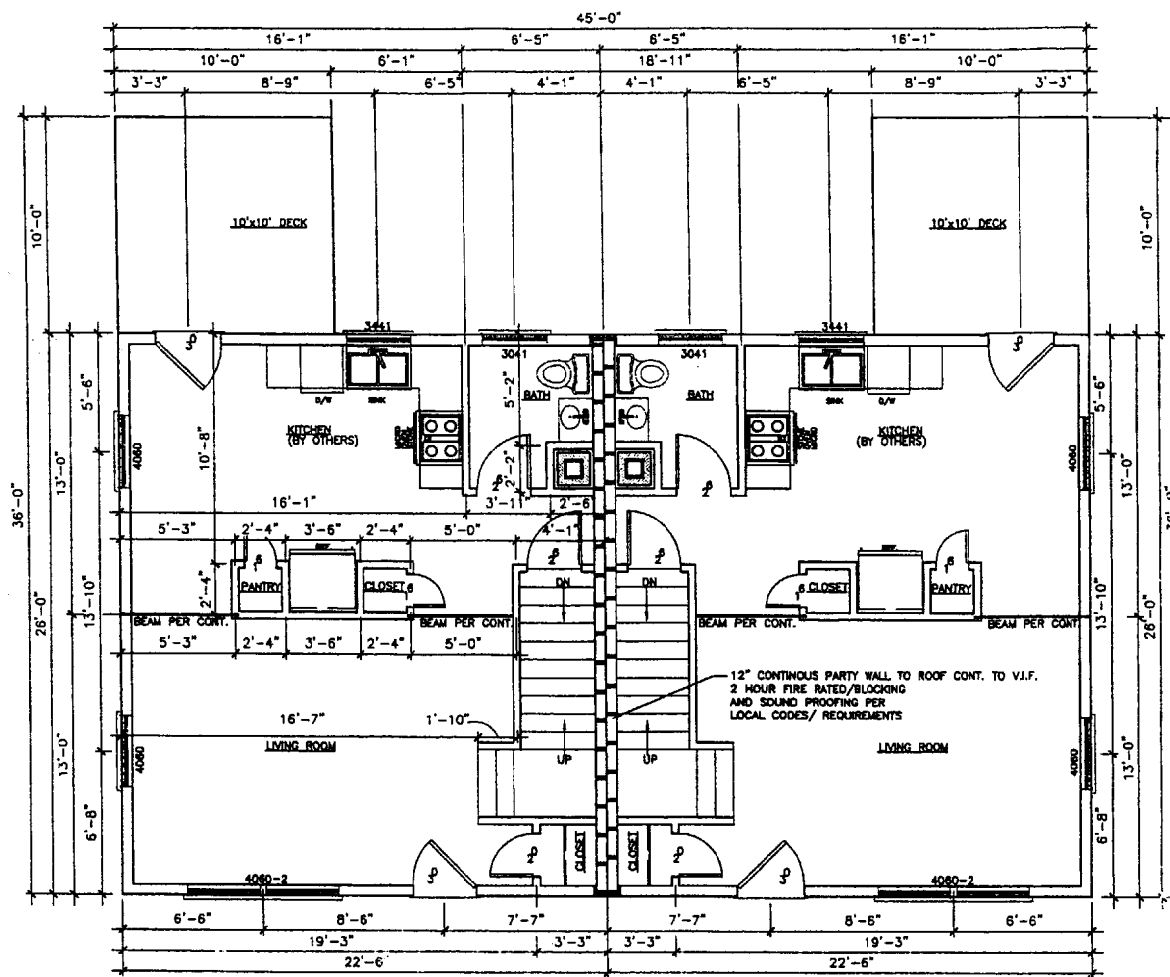
NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.
ALL DRAINAGE PLANS, SKETCHES, ETC. ARE PROVIDED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT
AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
AND LOCAL CODES. NONE OF THE EMPLOYEES OR FIRM CADD DRAFTING
SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND
SURVEYORS. ALL OPINIONS AND SPECIFICATIONS SHOULD BE VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION.
BEANS FMC CADD DRAFTING SERVICES, INC. SHALL BE HELD HARMLESS
IF FMC CADD DRAFTING SERVICES, INC. ANALYZES NO LIABILITY FOR CHANGES
AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

PROPERTY OF

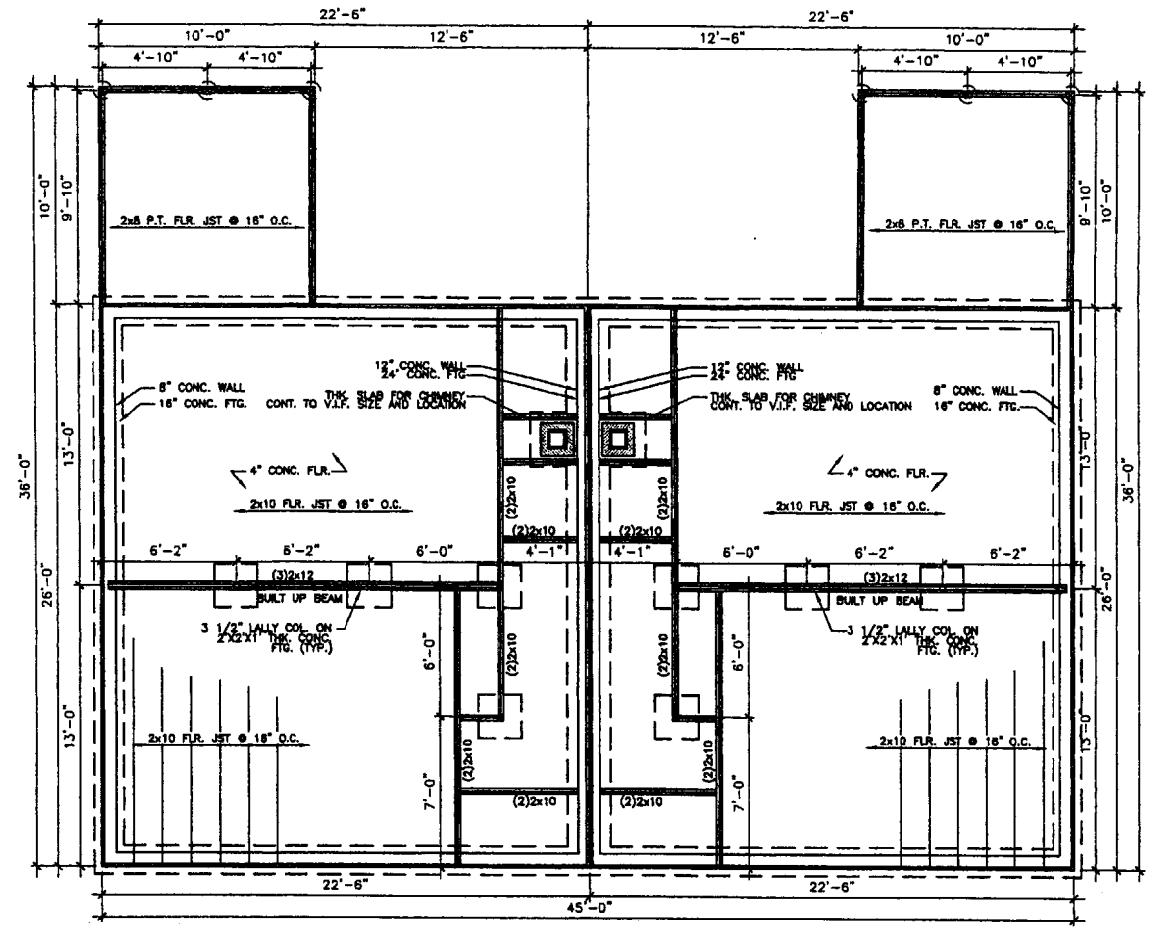
FMC CADD Engineering & Assessment Center
76 Bishop St.
Portland, Maine 04103
207-878-8811 Fax 207-878-8816
E-Mail: report@fmcadd.com

EXTERIOR ELEVATIONS
CONDOMINIUM

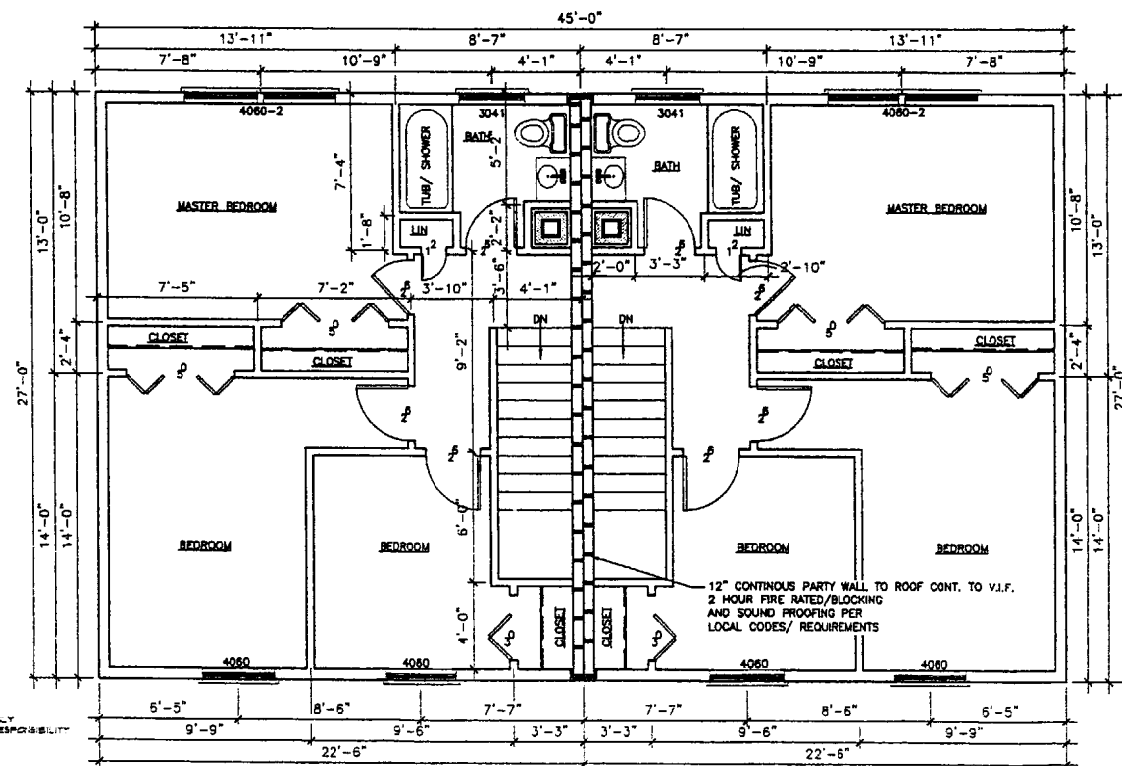
REVISIONS	
CODE	'99
PORTLAND	
DATE	4/2/01
SCALE	1/4"=1'-0"
DRAWN	FMC/JR
FILE	01-0185M
SHEET	A1



1 FIRST FLOOR PLAN
1/4" = 1'-0"



1 FOUNDATION FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"

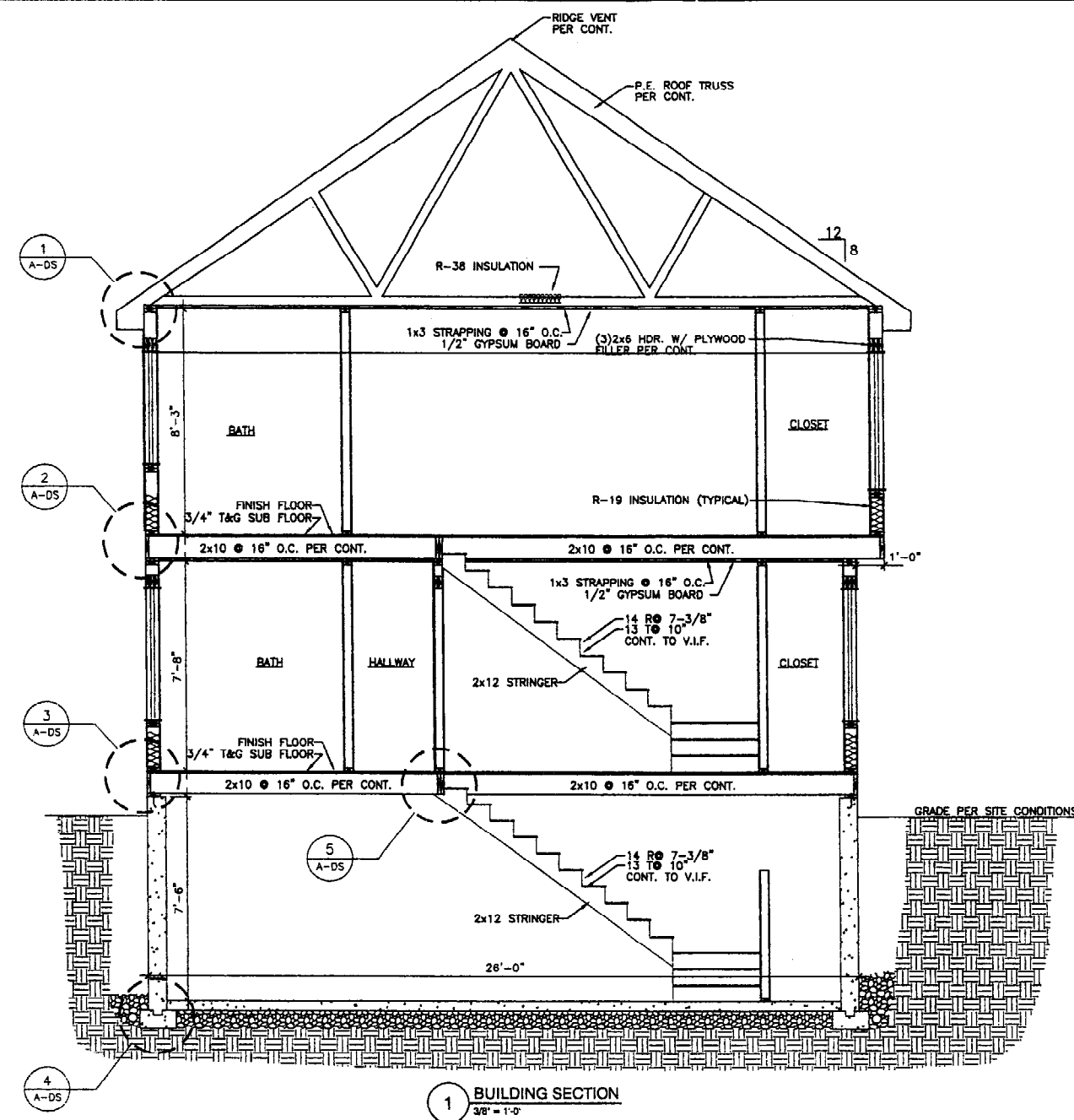
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NO DRAWING SHALL BE CONSIDERED A CONTRACT DOCUMENT
UNLESS IT IS SIGNED AND SEALED BY A REGISTERED ARCHITECT,
ENGINEER, OR LAND SURVEYOR. ALL OPERATIONS AND SPECIFICATIONS SHALL BE
PERFORMED BY THE CLIENT AND/OR CONTRACTOR BEFORE ACTUAL
CONSTRUCTION. FMC/CADD DRAWING SERVICES, INC. SHALL BE HELD HARMLESS
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION.
FMC/CADD DRAWING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES
OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**FOUNDATION PLAN
FIRST AND SECOND FLOOR PLAN
CONDOMINIUM**

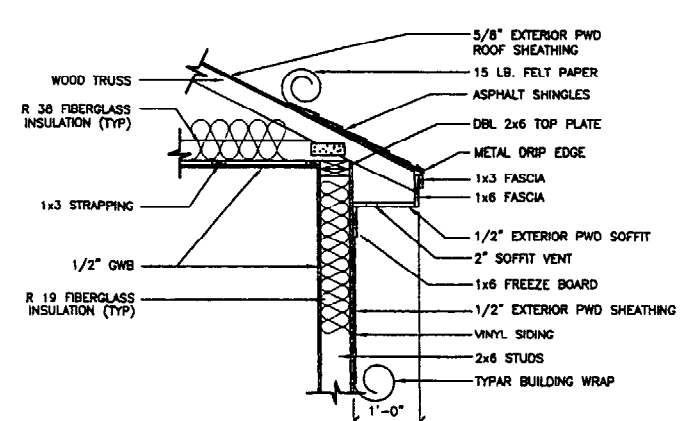
REVISIONS	
CODE	'99
PORTLAND	
DATE	4/2/01
SCALE	1/4" = 1'-0"
DRAWN	FMC/JR
FILE	01-0156M
SHEET	A2

BUILDING CROSS SECTION
SPECIFICATIONS AND DETAILS
CONDOMINIUM

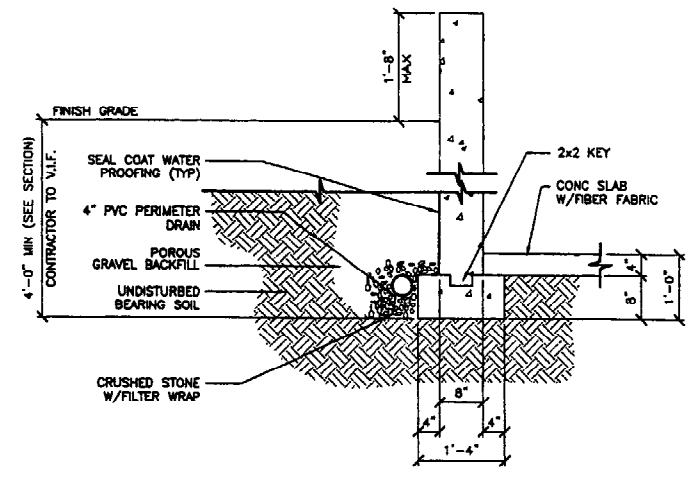
REVISIONS
CODE: '00
PORTLAND
DATE: 4/2/01
SCALE: AS NOTED
DRAWN: FMC/JR
FILE: 01-0165M
SHEET: S1



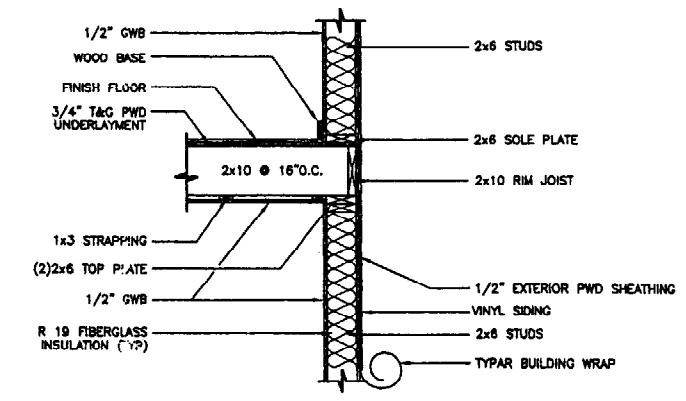
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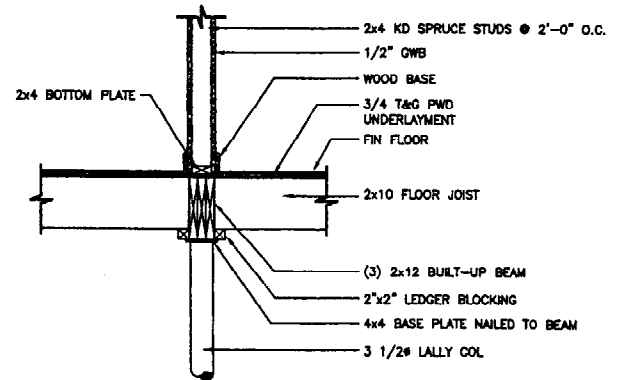
1 SOFFIT DETAIL
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NOTE: SUBSTITUTE JOIST AND RAFTER SIZES WITH PLAN CALL-OUT.



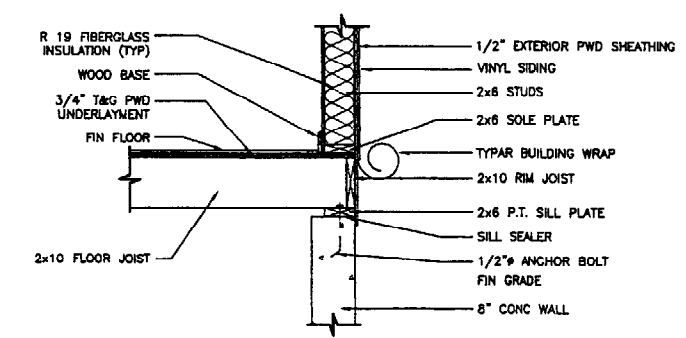
4 FOOTING DETAIL
3/4" = 1'-0"
NOTE: SUBSTITUTE FOOTING AND WALL SIZES WITH PLAN CALL-OUT.



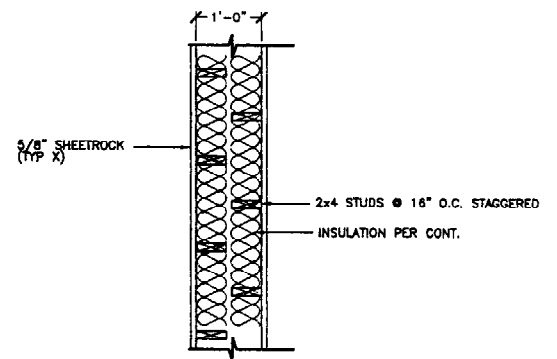
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5 COLUMN/GRIDER DETAIL
3/4" = 1'-0"
NOTE: SUBSTITUTE JOIST AND RAFTER SIZES WITH PLAN CALL-OUT.



3 WALL BASE DETAIL
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NOTE: SUBSTITUTE JOIST AND RAFTER SIZES WITH PLAN CALL-OUT.



6 PARTY WALL DETAIL
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NOTE: FIRE RATE PARTY WALL PER APPLICABLE CODES/REQUIREMENTS

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THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE.
ALL DRAWINGS, PLANS, ELEVATIONS ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES FOR THE EMPLOYERS OF FMC CADD SERVICES. NO ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS FMC CADD DRAWING SERVICES, INC. WILL BE HELD HARMLESS. FMC CADD DRAWING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Feb 13 2009

Received from Meredith Lawry Building

Location of Work 9 Canal St

Cost of Construction \$ _____

Permit Fee \$ 1108.00

Permit Fee 735.00
Copy 75.00
Sub 300.00
1108.00

Building (I/L) Plumbing (I/S) Electrical (I/2) Site Plan (U/2)

Other Copy

CBL: 151 A A006

Check #: 1700

Total Collected \$ 1708.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

[Handwritten signature]